



MAP SYMBOL LEGEND

-  SUBJECT SITE LOCATION
-  PHOTO LOCATION NUMBER

PREPARED FOR:  
 T-MOBILE NORTHEAST LLC  
 15 COMMERCE WAY, SUITE B  
 NORTON, MA 02766  
 OFFICE: (508) 286-2700  
 FAX: (508) 286-2893

PREPARED BY:  
  
**ADVANCED**  
 ENGINEERING GROUP, P.C.  
 Civil Engineering - Site Development  
 Surveying - Telecommunications  
 500 NORTH BROADWAY  
 EAST PROVIDENCE, 02914  
 PH: (401) 354-2403  
 FAX: (401) 633-6354

SITE NO: 4BN0012B  
 SITE NAME: 22 BOSTON WHARF ROAD  
 ADDRESS: 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

KEY MAP OF PHOTOS

PAGE: MAP-1  
 DATE: 6/21/2017  
 DRAWN BY: MR  
 REVISION: 2



**FULL VIEW**



**EXISTING BUILDING  
(UNDER RENOVATION)**

**ZOOM VIEW**

**PREPARED FOR:**

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**SITE NO:** 4BN0012B

**SITE NAME:** 22 BOSTON WHARF ROAD

**ADDRESS:** 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

**VIEW #1**

EXISTING VIEW FROM THE SOUTH, ON  
 CONGRESS STREET

PAGE: V-1E

DATE: 6/21/2017

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**FULL VIEW**



**ZOOM VIEW**

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**SITE NO:** 4BN0012B  
**SITE NAME:** 22 BOSTON WHARF ROAD  
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 BOSTON, MA 02210

**VIEW #1**  
 PROPOSED VIEW FROM THE SOUTH,  
 ON CONGRESS STREET

PAGE: V-1P

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EXISTING BUILDING  
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SITE NO: 4BN0012B

SITE NAME: 22 BOSTON WHARF ROAD

ADDRESS: 22 BOSTON WHARF ROAD  
BOSTON, MA 02210

VIEW #2

EXISTING VIEW FROM THE SOUTHWEST,  
AT THE INTERSECTION OF STILLINGS  
STREET AND CONGRESS STREET

PAGE: V-2E

DATE: 6/21/2017

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PROPOSED 2-STORY  
ADDITION (BY OTHERS)

**PROPOSED ANTENNA STRUCTURES WILL NOT BE VISIBLE FROM THIS LOCATION**

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BOSTON, MA 02210

**VIEW #2**  
PROPOSED VIEW FROM THE SOUTHWEST,  
AT THE INTERSECTION OF STILLINGS  
STREET AND CONGRESS STREET

PAGE: V-2P  
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**VIEW #3**  
 EXISTING VIEW FROM THE NORTHWEST,  
 ON THOMSON PLACE

PAGE: V-3E  
 DATE: 6/21/2017  
 DRAWN BY: MR  
 REVISION: 2



(2) PROPOSED RF-TRANSPARENT  
CHIMNEYS TO CONCEAL  
PROPOSED T-MOBILE ANTENNAS

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15 COMMERCE WAY, SUITE B  
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**VIEW #3**

PROPOSED VIEW FROM THE NORTHWEST,  
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PAGE: V-3P

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 BOSTON, MA 02210

**VIEW #4**  
 EXISTING VIEW FROM THE NORTH,  
 AT THE INTERSECTION OF STILLINGS  
 STREET AND CALVIN PLACE

PAGE: V-4E  
 DATE: 6/21/2017  
 DRAWN BY: MR  
 REVISION: 2





**PROPOSED ANTENNA STRUCTURES WILL NOT BE VISIBLE FROM THIS LOCATION**

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 T-MOBILE NORTHEAST LLC  
 15 COMMERCE WAY, SUITE B  
 NORTON, MA 02766  
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**VIEW #4**  
 PROPOSED VIEW FROM THE NORTH, AT  
 THE INTERSECTION OF STILLINGS STREET  
 AND CALVIN PLACE

PAGE: V-4P  
 DATE: 6/21/2017  
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# 22 BOSTON WHARF ROAD

22 BOSTON WHARF ROAD  
BOSTON, MA 02210

SITE NO: 4BN0012B  
ROOFTOP

T-MOBILE NORTHEAST LLC  
15 COMMERCE WAY, SUITE B  
NORTON, MA 02766  
OFFICE: (508) 286-2700  
FAX: (508) 286-2893



### APPROVALS

LANDLORD \_\_\_\_\_  
LEASING \_\_\_\_\_  
R.F. \_\_\_\_\_  
ZONING \_\_\_\_\_  
CONSTRUCTION \_\_\_\_\_  
A/E \_\_\_\_\_

PROJECT NO: 4BN0012B

DRAWN BY: JWH & DD

CHECKED BY: SA

### SUBMITTALS

NO.	DATE	REVISION
4	06/19/17	ZONING REVISED
3	06/09/17	ZONING REVISED
2	03/22/17	ZONING REVISED
1	02/22/17	ZONING FOR REVIEW
0	12/29/16	ZONING

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4BN0012B  
22 BOSTON WHARF ROAD  
22 BOSTON WHARF ROAD  
BOSTON, MA 02210

SHEET TITLE

TITLE SHEET

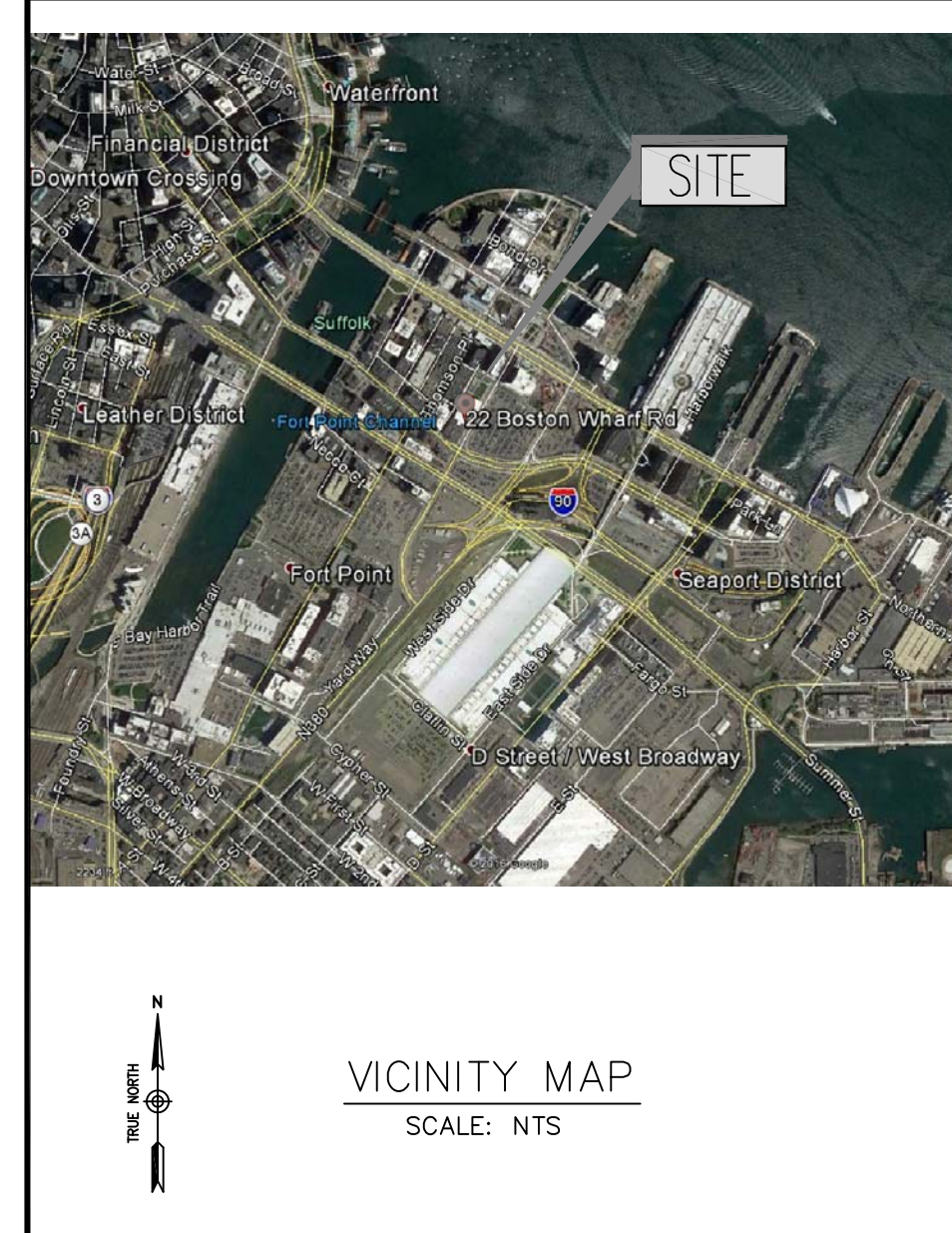
SHEET NUMBER

T-1

### GENERAL NOTES

- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE PROJECT OWNER'S REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM THE PROJECT OWNER'S REPRESENTATIVE TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT OWNER'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE LESSEE/LICENSEE REPRESENTATIVE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
- ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY:  
DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233  
CALL BEFORE YOU DIG (CT): 1-800-922-4455

### VICINITY MAP



VICINITY MAP  
SCALE: NTS

### DO NOT SCALE DRAWINGS

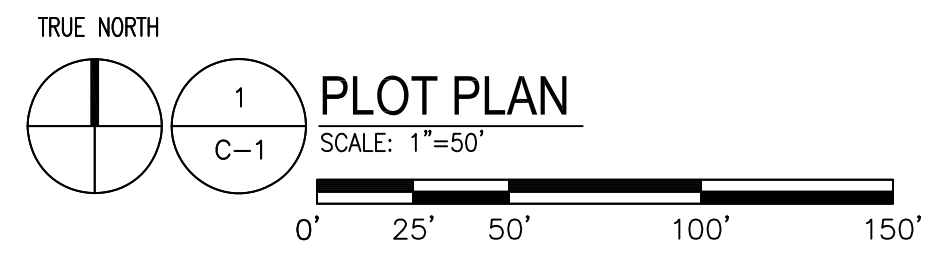
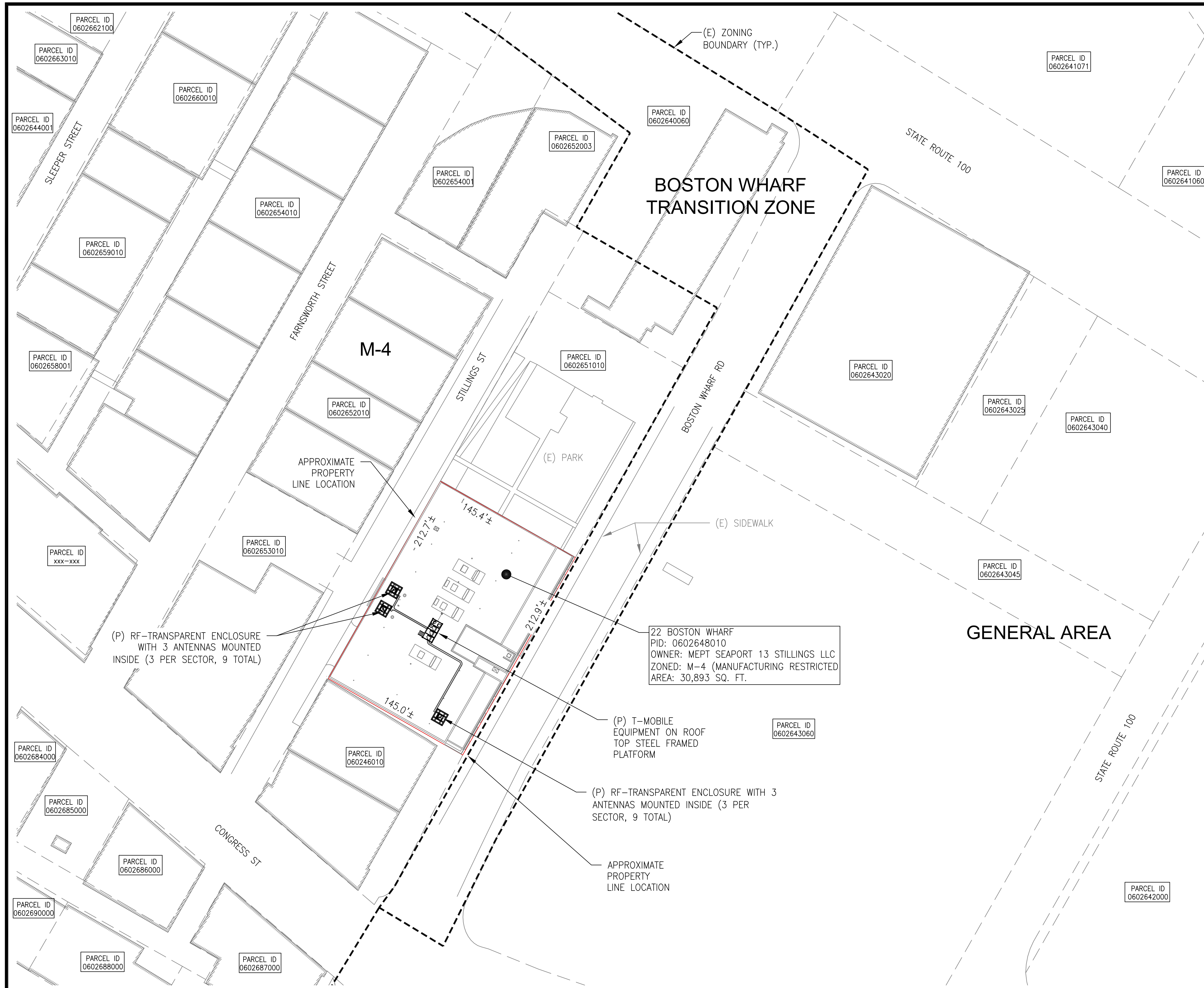
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

### SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	4
C-1	PLOT PLAN & NOTES	4
Z-1	SITE / ROOF PLAN & NOTES	4
Z-2	ELEVATION	4
Z-3	ELEVATION	4
Z-4	TYPICAL DETAILS	4

### PROJECT SUMMARY

SITE NUMBER: 4BN0012B  
SITE NAME: 22 BOSTON WHARF ROAD  
SITE ADDRESS: 22 BOSTON WHARF ROAD BOSTON, MA 02210  
ASSESSOR'S PARCEL NO.: 0602648010  
CONSTRUCTION TYPE: ROOF TOP  
PROPERTY OWNER: MEPT SEAPORT 13 STILLINGS 7315 WISCONSIN AVE SUITE 20 BETHESDA MD, 20814  
STRUCTURE OWNER: MEPT SEAPORT 13 STILLINGS 7315 WISCONSIN AVE SUITE 20 BETHESDA MD, 20814  
APPLICANT, LESSEE/LICENSEE, PROJECT OWNER: T-MOBILE NORTHEAST, LLC 15 COMMERCE WAY, SUITE B NORTON, MA 02766



- NOTES:**
1. PLOT PLAN BASED ON LISTER/ASSESSOR MAPS FROM THE CITY OF BOSTON, DIGITAL PARCEL AND BUILDING MAPPING PROVIDED BY BOSTON GEOGRAPHIC INFORMATION SYSTEMS, PLANS ENTITLED "MEPT SEAPORT 13 STILLING LLC, 22 BOSTON WHARF ROAD-ADDITION" DATED 10.03.2016 BY TRO ARCHITECTS, AND PLAN ENTITLED "PROPOSED PLOT PLAN FOR CONSTRUCTION, 22 WHARF ROAD, BOSTON, MASS." PREPARED BY FELDMAN LAND SURVEYORS DATED 08/15/2015.
  2. SETBACKS ARE SHOWN FROM FACE OF NEAREST RF-TRANSPARENT ENCLOSURE TO THE FUTURE EDGE OF ROOF.
  3. A METES AND BOUNDS SURVEY WAS NOT CONDUCTED BY ADVANCED ENGINEERING GROUP, P.C.

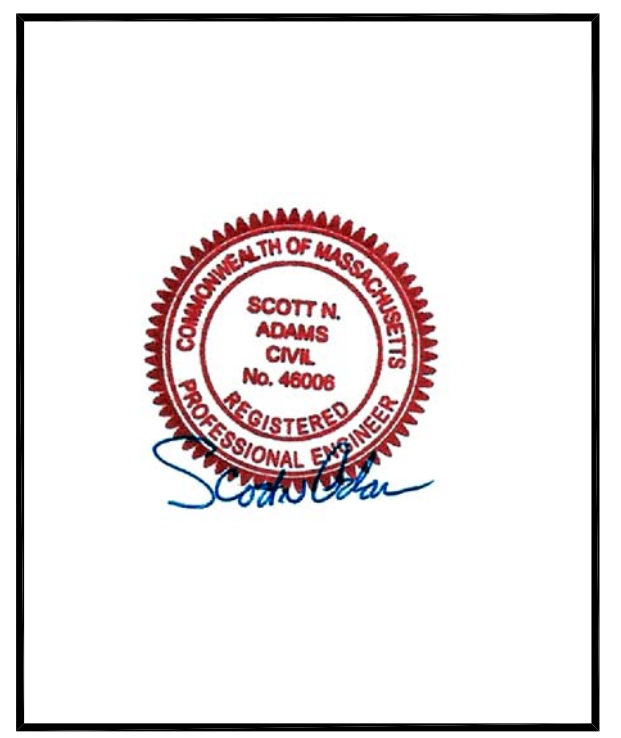
**GENERAL NOTES**

1. THE TYPE, DIMENSIONS, MOUNTING HARDWARE, AND POSITIONS OF ALL PROJECT OWNER'S EQUIPMENT ARE SHOWN IN ILLUSTRATED FASHION. THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION. ACTUAL HARDWARE DETAILS AND FINAL LOCATIONS MAY DIFFER SLIGHTLY FROM WHAT IS SHOWN.
  2. THE PROJECT OWNER'S PCS FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.
  3. THE PROJECT OWNER'S BASE TRANSMISSION STATION (BTS) CABINET IS A VANDAL RESISTANT STEEL CABINET CONTAINING RECTIFIERS, AMPLIFIERS, RADIOS, AND OTHER INTEGRATED ELECTRONIC CONTROL EQUIPMENT. BATTERY BACKUP FOR EMERGENCY STANDBY POWER IS CONTAINED WITHIN A SEPARATE BATTERY BACKUP UNIT CONTAINING SIXTEEN 12-VOLT, CLOSED CELL, DC BATTERIES. THE BATTERIES ARE LEAD-ACID RECHARGEABLE STANDBY INDUSTRIAL POWER CELLS MANUFACTURED TO MEET ENVIRONMENTAL QUALITY AND RUGGEDNESS STANDARDS OF THE INTERNATIONAL AIR TRANSPORT ASSOCIATION (IATA). THE BATTERY CHARGING SYSTEM IS COMPUTER-CONTROLLED AND THE EQUIPMENT CABINET IS REMOTELY MONITORED AT PROJECT OWNER'S NETWORK OPERATIONS CONTROL CENTER 24-HOURS A DAY, 7 DAYS A WEEK FOR FAULTS AND ALARMS.
  4. THE DESIGN OF THE ANTENNA MOUNTING HARDWARE AND STRUCTURAL REINFORCEMENT OF EXISTING BUILDING ROOF/FLOOR (IF NECESSARY) TO SUPPORT THE BTS EQUIPMENT WILL MEET THE ANS/EIA/TIA-222-G STANDARDS FOR STRUCTURAL STEEL ANTENNA SUPPORTING STRUCTURES AND STATE BUILDING CODE REQUIREMENTS. DETAILED CONSTRUCTION DRAWINGS AND STRUCTURAL CALCULATIONS WILL BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER AND SUBMITTED WITH A BUILDING PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE LOCAL BUILDING CODE ENFORCEMENT OFFICIAL.
  5. ONCE THE FACILITY BECOMES FULLY OPERATIONAL, NORMAL AND ROUTINE MAINTENANCE BY PROJECT OWNER'S TECHNICIANS WILL BE PERFORMED ON A MONTHLY BASIS. THEREFORE, THE ESTIMATED VEHICLE TRIP GENERATION RATE IS TWO TRIPS PER MONTH. THE AVERAGE DAILY TRIP GENERATION RATE (ADT) IS 0.07.
  6. PAINT EXPOSED COAX, AC CONDUIT AND ASSOCIATED MOUNTING HARDWARE TO MATCH EXISTING BUILDING. PROPOSED ANTENNAS TO MATCH EXISTING CUPOLA IN COLOR.
  7. PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WIRELESS COMMUNICATIONS SYSTEMS. PROJECT OWNER'S IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE BTS RADIO CABINETS. PROJECT OWNER RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET FEDERALLY MANDATED ACCURACY SPECIFICATIONS.
8. APPLICANT: T-MOBILE NORTHEAST, LLC  
15 COMMERCE WAY, SUITE B  
NORTON, MA 02766
9. OWNER: MEPT SEAPORT 13 STILLING LLC  
7315 WISCONSIN AVE, SUITE 20  
BESTHESDA, MD 20814
10. ZONING DISTRICT: M-4 (MANUFACTURING RESTRICTED)
11. JURISDICTION: CITY OF BOSTON
12. TAX ID: 0602648010
13. APPROXIMATE CENTER OF BUILDING: LAT: N 42° 21' 01.8"  
LONG: W -71° 02' 49.07"

**LEGEND**

- - - - - PROPERTY LINE
  - - - - - ABUTTING PROPERTY LINE
  - - - - - EXIST. R.O.W. LAYOUT
  - - - - - PROP. EASEMENT/LEASE AREA
  - - - - - EXIST. ZONING BOUNDARY
  - x - x - EXIST. CHAIN LINK FENCE
  - x - x - PROP. CHAIN LINK FENCE
  - - - - - TOWN BOUNDARY LINE
- M-4** MANUFACTURING RESTRICTED DISTRICT

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NORTON, MA 02766  
OFFICE: (508) 286-2700  
FAX: (508) 286-2893



**APPROVALS**

LANDLORD \_\_\_\_\_

LEASING \_\_\_\_\_

R.F. \_\_\_\_\_

ZONING \_\_\_\_\_

CONSTRUCTION \_\_\_\_\_

A/E \_\_\_\_\_

PROJECT NO: 4BN0012B

DRAWN BY: JWH & DD

CHECKED BY: SA

**SUBMITTALS**

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3	06/09/17	ZONING REVISED
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4BN0012B  
22 BOSTON WHARF ROAD  
BOSTON, MA 02210

SHEET TITLE  
PLOT PLAN & NOTES

SHEET NUMBER  
**C-1**

- LEGEND**
- (F) = FUTURE
  - (E) = EXISTING
  - (P) = PROPOSED
  - (AGL) = ABOVE GROUND LEVEL



(P) ANTENNAS (3 PER SECTOR, 9 TOTAL) AND REMOTE RADIO UNITS (3 PER SECTOR, 9 TOTAL) MOUNTED INSIDE THE (P) RF-TRANSPARENT ENCLOSURE

(P) RF-TRANSPARENT ENCLOSURE ON STEEL BALLAST FRAME (PAINT TO MATCH (F) FACADE DECORATIVE PANELS)

CL OF (P) ANTENNAS ELEV. = 137'± A.G.L.

(F) ROOF TOP ELEV. = 128'± A.G.L.

(P) T-MOBILE EQUIPMENT CABINETS ON ROOF TOP 20'x10' STEEL FRAMED PLATFORM (BEHIND (F) PENTHOUSE THIS VIEW)

(F) HVAC ENCLOSURE TYP.  
(F) MECHANICAL/HVAC  
TOP OF (F) PARAPET WALL  
(F) ROOF

NOTES:  
PROPOSED RF-TRANSPARENT ENCLOSURES TO BE PAINTED TO MATCH FUTURE FACADE DECORATIVE PANELS

1 SE ELEVATION  
SCALE: 1/16"=1'-0"  
0' 8'-0" 16'-0" 32'-0" 48'-0"

2 NW ELEVATION  
SCALE: 1/16"=1'-0"  
0' 8'-0" 16'-0" 32'-0" 48'-0"

(P) ANTENNAS (3 PER SECTOR, 9 TOTAL) AND REMOTE RADIO UNITS (3 PER SECTOR, 9 TOTAL) MOUNTED INSIDE THE (P) RF-TRANSPARENT ENCLOSURE

(F) HVAC ENCLOSURE TYP.  
(F) MECHANICAL/HVAC  
TOP OF (F) PARAPET WALL  
(F) ROOF

(P) RF-TRANSPARENT ENCLOSURE ON STEEL BALLAST FRAME (PAINT TO MATCH (F) FACADE DECORATIVE PANELS)

(P) T-MOBILE EQUIPMENT CABINETS ON ROOF TOP 20'x10' STEEL FRAMED PLATFORM

(P) ANTENNAS (3 PER SECTOR, 9 TOTAL) AND REMOTE RADIO UNITS (3 PER SECTOR, 9 TOTAL) MOUNTED INSIDE THE (P) RF-TRANSPARENT ENCLOSURE

(P) RF-TRANSPARENT ENCLOSURE ON STEEL BALLAST FRAME (PAINT TO MATCH (F) FACADE DECORATIVE PANELS)

(P) ANTENNAS (3 PER SECTOR, 9 TOTAL) AND REMOTE RADIO UNITS (3 PER SECTOR, 9 TOTAL) MOUNTED INSIDE THE (P) RF-TRANSPARENT ENCLOSURE

(P) RF-TRANSPARENT ENCLOSURE ON STEEL BALLAST FRAME (PAINT TO MATCH (F) FACADE DECORATIVE PANELS)

CL OF (P) ANTENNAS ELEV. = 137'± A.G.L.

(F) ROOF TOP ELEV. = 128'± A.G.L.

T-MOBILE NORTHEAST LLC  
15 COMMERCE WAY, SUITE B  
NORTON, MA 02765  
OFFICE: (508) 286-2700  
FAX: (508) 286-2893

**ADVANCED**  
ENGINEERING GROUP, P.C.  
Civil Engineering - Site Development Surveying - Telecommunications  
500 NORTH BROADWAY  
EAST PROVIDENCE, RI 02914  
PH: 401-354-9400  
FAX: 401-633-6354



APPROVALS

LANDLORD \_\_\_\_\_  
LEASING \_\_\_\_\_  
R.F. \_\_\_\_\_  
ZONING \_\_\_\_\_  
CONSTRUCTION \_\_\_\_\_  
A/E \_\_\_\_\_

PROJECT NO: 4BN0012B  
DRAWN BY: JWH & DD  
CHECKED BY: SA

SUBMITTALS

NO.	DATE	DESCRIPTION
4	06/19/17	ZONING REVISED
3	06/09/17	ZONING REVISED
2	03/22/17	ZONING REVISED
1	02/22/17	ZONING FOR REVIEW
0	12/29/16	ZONING

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4BN0012B  
22 BOSTON WHARF ROAD  
BOSTON, MA 02210

SHEET TITLE  
ELEVATIONS

SHEET NUMBER  
**Z-2**

LEGEND  
(F) = FUTURE  
(E) = EXISTING  
(P) = PROPOSED  
(AGL) = ABOVE GROUND LEVEL

GRADE ELEV. = 0'-0" A.G.L.

NOTES:  
 PROPOSED RF-TRANSPARENT ENCLOSURES  
 TO BE PAINTED TO MATCH FUTURE FACADE  
 DECORATIVE PANELS

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**ADVANCED**  
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 Telecommunications  
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 EAST PROVIDENCE, RI 02914  
 PH: 401-354-7400  
 FAX: 401-633-8324



APPROVALS

LANDLORD \_\_\_\_\_  
 LEASING \_\_\_\_\_  
 R.F. \_\_\_\_\_  
 ZONING \_\_\_\_\_  
 CONSTRUCTION \_\_\_\_\_  
 A/E \_\_\_\_\_

PROJECT NO: 4BN0012B  
 DRAWN BY: JWH & DD  
 CHECKED BY: SA

SUBMITTALS

4	06/19/17	ZONING REVISED
3	06/09/17	ZONING REVISED
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0	12/29/16	ZONING

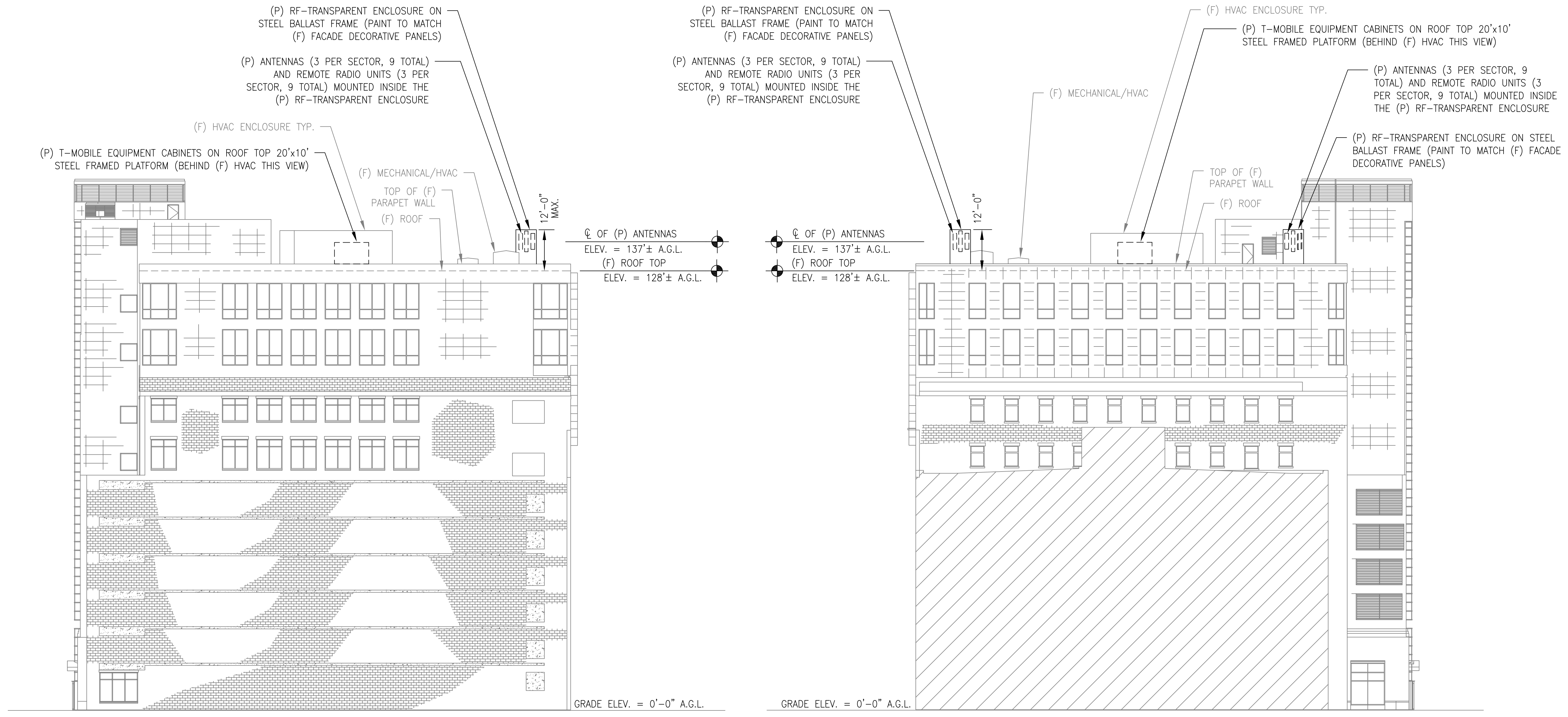
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4BN0012B  
 22 BOSTON WHARF  
 ROAD  
 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

SHEET TITLE  
 ELEVATIONS

SHEET NUMBER  
**Z-3**

LEGEND  
 (F) = FUTURE  
 (E) = EXISTING  
 (P) = PROPOSED  
 (AGL) = ABOVE  
 GROUND LEVEL

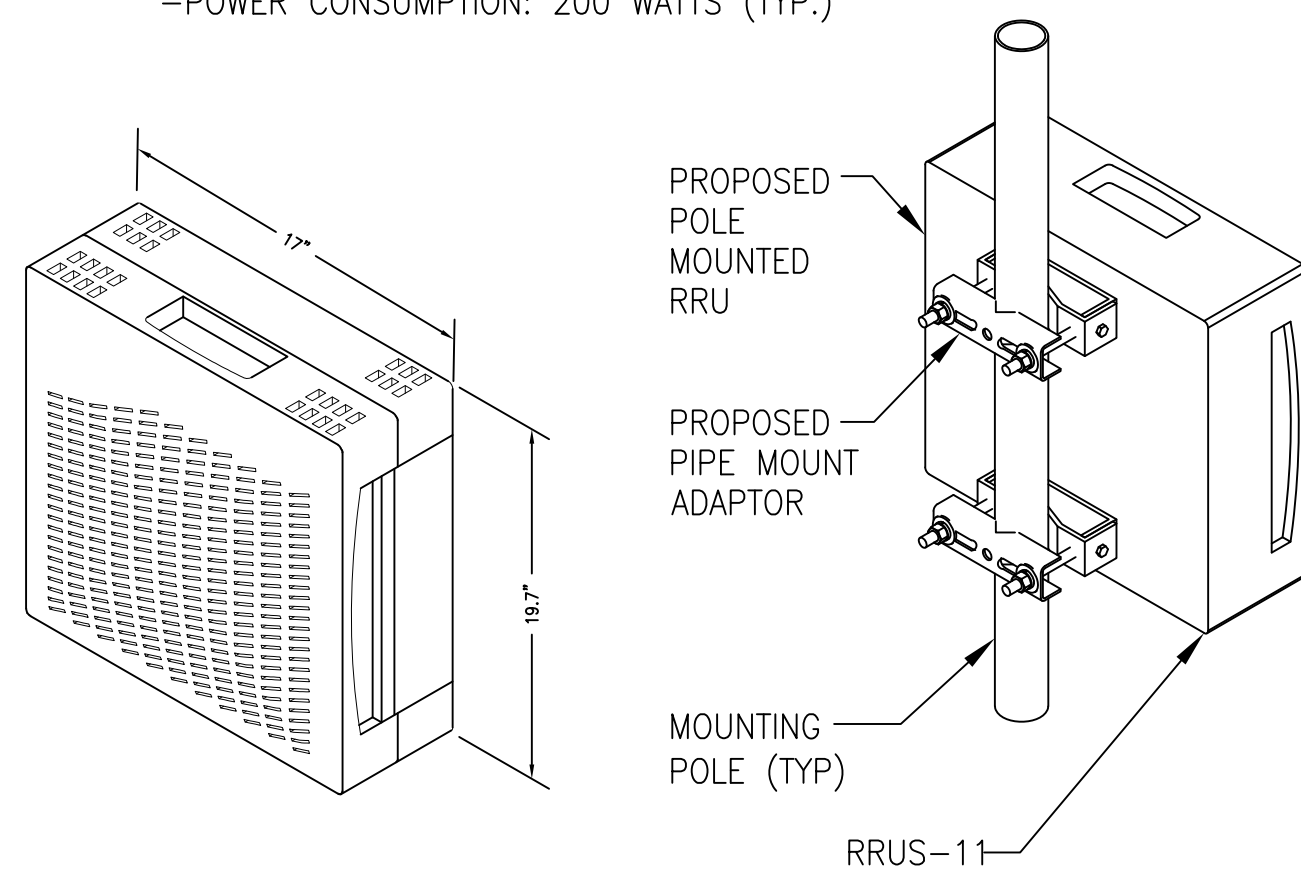


1  
 Z-3  
**NORTHEAST ELEVATION**  
 SCALE: 1/16"=1'-0"  
 0' 8'-0" 16'-0" 32'-0" 48'-0"

2  
 Z-3  
**SOUTHWEST ELEVATION**  
 SCALE: 1/16"=1'-0"  
 0' 8'-0" 16'-0" 32'-0" 48'-0"

**ERICSSON RRUS-11**

- DIMENSIONS (H x W x D): 19.7" x 17.0" x 7.2" (INCLUDES SUNSHIELD)
- WEIGHT: 50 LBS
- CLIMATE: -40°C TO +55°C (SELF CONVECTION SILENT, NO FANS, IP55)
- POWER CONSUMPTION: 200 WATTS (TYP.)



**1 REMOTE RADIO UNIT TYP.**

Z-4 SCALE: N.T.S.

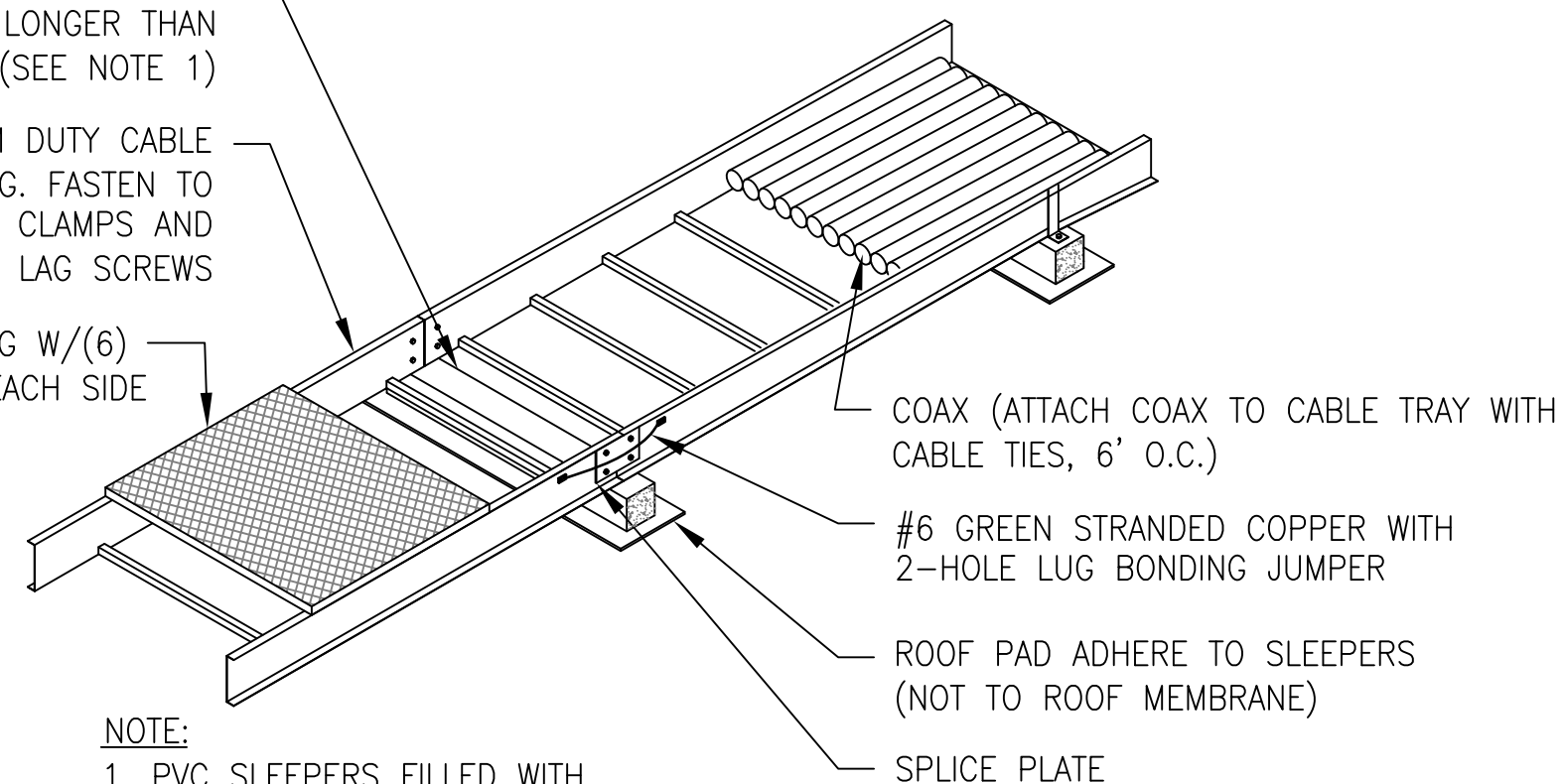
NOTES:  
PROPOSED RF-TRANSPARENT ENCLOSURES TO BE PAINTED TO MATCH FUTURE FACADE DECORATIVE PANELS

4"x4"x4' O.C. PVC SLEEPERS AND AT ALL COAX BRIDGE JOINTS. 6" LONGER THAN WIDTH OF CABLE TRAY (SEE NOTE 1)

PRE-GALVANIZED STEEL MEDIUM DUTY CABLE TRAY WITH 9" RUNG SPACING. FASTEN TO SLEEPERS WITH HOLD DOWN CLAMPS AND 3/8"x1 1/2" GALV LAG SCREWS

4' LONG 3/4" GBB BAR GRATING W/(6) G-STYLE CLIP FASTENERS (3) EACH SIDE

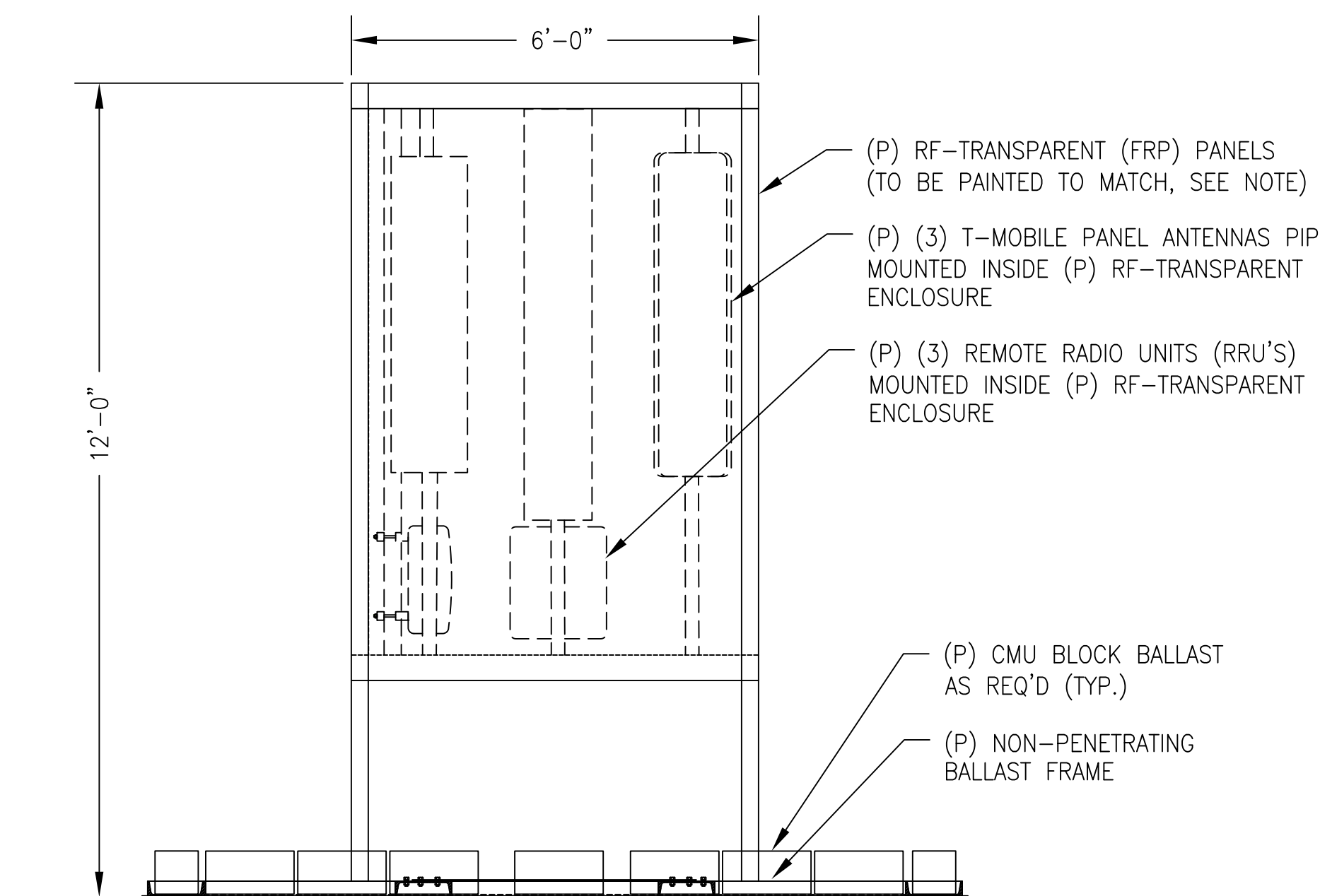
NUMBER OF COAXIAL CABLES	WIDTH OF CABLE TRAY	NOMINAL DEPTH OF CABLE TRAY
18	24"	4"
12	18"	4"
8	12"	4"



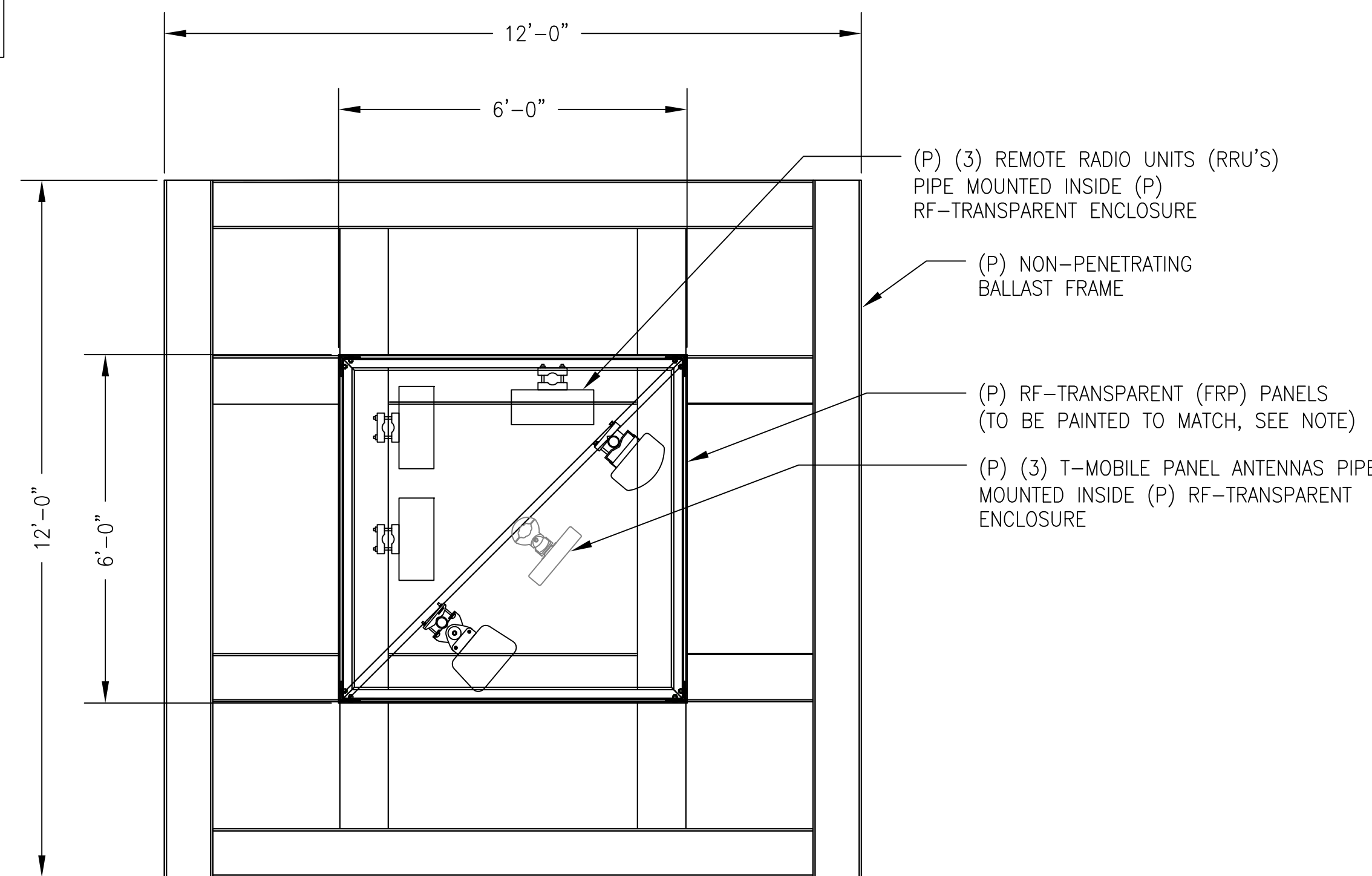
NOTE:  
1. PVC SLEEPERS FILLED WITH CONCRETE EVERY 10'-0".

**2 CABLE TRAY DETAIL**

Z-4 SCALE: N.T.S.



**ELEVATION**



**ELEVATION**

**3 RF-TRANSPARENT ENCLOSURE ON BALLAST FRAME TYP.**

Z-4 SCALE: 1/2"=1'-0"



**LEGEND**

(F)	=	FUTURE
(E)	=	EXISTING
(P)	=	PROPOSED
(AGL)	=	ABOVE GROUND LEVEL

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EAST PROVIDENCE, RI 02914  
PH: 401-354-9400  
FAX: 401-633-6354



**APPROVALS**

LANDLORD \_\_\_\_\_

LEASING \_\_\_\_\_

R.F. \_\_\_\_\_

ZONING \_\_\_\_\_

CONSTRUCTION \_\_\_\_\_

A/E \_\_\_\_\_

PROJECT NO: 4BN0012B

DRAWN BY: JWH & DD

CHECKED BY: SA

**SUBMITTALS**

NO.	DATE	DESCRIPTION
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4BN0012B  
**22 BOSTON WHARF ROAD**  
22 BOSTON WHARF ROAD  
BOSTON, MA 02210

SHEET TITLE  
**DETAILS**

SHEET NUMBER  
**Z-4**

17.1283 FPC

T-Mobile Modifications

Original Landmarks Submission and Proposed Design

For Reference



May 16, 2017

Boston Landmarks Commission  
Environmental Department  
Boston City Hall  
Room 709  
Boston, MA 02201

RE: T-Mobile Northeast LLC  
Proposed Modification to Existing Site  
22 Boston Wharf Road, Boston, MA

Dear Members of the Board:

On behalf of T-Mobile Northeast LLC, we respectfully request a Certificate of Appropriateness for the modification of an existing telecommunication facility at the above location.

**Description of Proposed Installation**

The Applicant proposes to modify their existing installation by adding three (3) additional antennas (1 per sector). Two (2) of the antennas will be located in two (2) stealth flues and installed next to the existing stealth flues housing the existing antennas (3 flues per sector total of 6). The third will be located in a proposed 12'x 6' stealth box painted to match the HVAC units which will replace two (2) existing flues housing one (1) antenna each. The existing antennas (2 total) will be relocated to the stealth box for a total of three (3) antennas within the stealth box. The antennas will be connected via cabling to equipment cabinets located on the rooftop of the building.

The proposed modifications will not be substantially more detrimental than the existing use and installation. The proposed antennas will be installed at within features which mimic the existing rooftop features. The proposed modifications will have minimal, if any impact on the surrounding area.

In support of the requested Certificate of Appropriateness, attached please find the following information:

- 1) Application for Certificate of Appropriateness;
- 2) Evidence of paid fee in the amount of \$50.00;
- 3) Photosimulations of the installation;
- 4) Site plans prepared by Advanced Engineering Group dated March 22, 2017.

We look forward to meeting with the Board at its next available meeting to address any further questions about our proposed facility. In the meantime, should any questions arise, please feel free to contact me at 978-399-8600.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter Cooke", written in a cursive style.

Peter Cooke



**APPLICATION**  
CERTIFICATE of APPROPRIATENESS-or-  
DESIGN APPROVAL-or-EXEMPTION

Deliver or mail to:  
Environment Department  
Boston City Hall, Rm 709  
Boston, MA 02201

For Office Use Only

APPLICATION # \_\_\_\_\_

RECEIVED \_\_\_\_\_

FEE \_\_\_\_\_

HEARING DATE \_\_\_\_\_

**DO NOT RETURN THIS FORM BY FAX OR EMAIL.**

**DO NOT STAMP THIS BOX**

I. PROPERTY ADDRESS 22 Boston Wharf Road  
NAME of BUSINESS/PROPERTY \_\_\_\_\_

The names, telephone numbers, postal and e-mail addresses requested below will be used for all subsequent communications relating to this application. Environment Department personnel cannot be responsible for illegible, incomplete or inaccurate contact information provided by applicants.

II. APPLICANT T-Mobile Northeast LLC  
CONTACT NAME Peter Cooke RELATIONSHIP TO PROPERTY Tenant  
MAILING ADDRESS P.O. Box 176, Orange, MA 01364 ZIP 01364  
PHONE 978-399-8600 EMAIL pcooke@wellmanassociates.net  
PROPERTY OWNER MPT Seaport 13 Stillings LLC CONTACT NAME Phil Down  
MAILING ADDRESS One Federal Street, 25th Floor, Boston, MA ZIP 02110  
PHONE 617-357-6401 EMAIL pdown@bentallkennedy.com  
ARCHITECT Advanced Engineering Group CONTACT NAME Scott Adams  
MAILING ADDRESS 500 North Broadway, East Providence, RI ZIP 02914  
PHONE 401-354-2403 EMAIL sadams@aegpc.net  
CONTRACTOR Timberline CONTACT NAME Kevin Gadsby  
MAILING ADDRESS 300 Pine Street, Canton, MA ZIP 02021  
PHONE 339-502-5000 EMAIL kgadsby@timberlineconstruction.com

III. DESCRIPTION OF PROPOSED WORK  
A BRIEF OUTLINE OF THE PROPOSED WORK **MUST BE GIVEN IN THE SPACE PROVIDED BELOW, OR THE APPLICATION WILL NOT BE ACCEPTED.** This description provides the basis for the official notice and subsequent decision, and it must clearly represent the entirety of the project. Additional pages may be attached, if necessary, to provide more detailed information.

T-Mobile proposes to modify their existing installation by adding three (3) additional antennas (1 per sector). Two (2) of the antennas will be located in two (2) stealth flues and installed next to the existing stealth flues housing the existing antennas (3 flues per sector total of 6). The third will be located in a proposed stealth box painted to match the HVAC units which will replace two (2) existing flues housing one (1) antenna each. The existing antennas (2 total) will be relocated to the stealth box for a total of three (3) antennas within the stealth box.

REQUIRED DOCUMENTATION: Please include all required documentation with this application; review instructions carefully for details.

ESTIMATED COST OF PROPOSED WORK: \$60,000

IV. DULY AUTHORIZED SIGNATURES (both required)

The facts set forth above in this application and accompanying documents are a true statement made under penalty of perjury.

APPLICANT *[Signature]* OWNER\* *[Signature]*

\*(If building is a condominium or cooperative, the chairman must sign.)

PRINT Peter Cook Architect PRINT Philip Down  
The Allston Group  
LLC

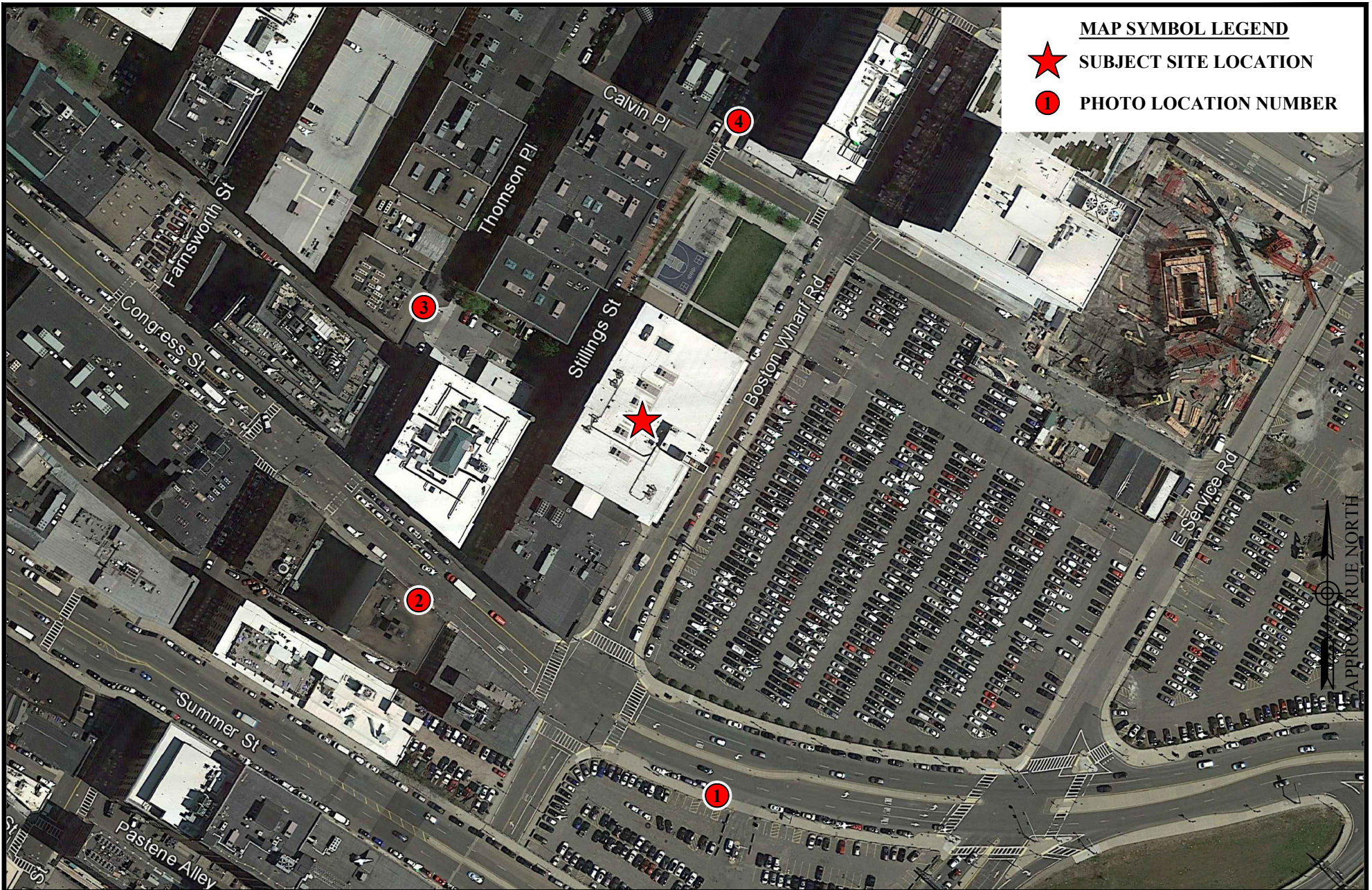
Environment Department personnel cannot be responsible for verifying the authority of the above individuals to sign this application. Misrepresentation of signatory authority may result in the invalidation of the application.

**UNSIGNED OR PARTIALLY SIGNED FORMS WILL BE REJECTED**



**THIS APPLICATION IS NOT COMPLETE WITHOUT SIGNATURES, FEES AND REQUIRED DOCUMENTATION.**

The checklist below is for reference only: Please refer to the detailed application instructions for deadlines, fee schedule and required documentation specific to your proposal.

- COMPLETED APPLICATION FORM
- APPLICATION FEE (Check or money order made payable to City of Boston; see fee schedule in Instructions)
- DESCRIPTION OF WORK (A brief description must be included on the front page; additional pages of detailed information may be attached. **Applications that only note "see attached" will not be accepted.**)
- PHOTOS OF EXISTING CONDITIONS
- DRAWINGS AND SPECIFICATIONS AS REQUIRED (See "documentation requirements" in instructions)



**MAP SYMBOL LEGEND**

-  SUBJECT SITE LOCATION
-  PHOTO LOCATION NUMBER

PREPARED FOR:  
 T-MOBILE NORTHEAST LLC  
 15 COMMERCE WAY, SUITE B  
 NORTON, MA 02766  
 OFFICE: (508) 286-2700  
 FAX: (508) 286-2893

PREPARED BY:  
  
**ADVANCED**  
 ENGINEERING GROUP, P.C.  
 Civil Engineering - Site Development  
 Surveying - Telecommunications  
 500 NORTH BROADWAY  
 EAST PROVIDENCE, 02914  
 PH: (401) 354-2403  
 FAX: (401) 633-6354

SITE NO: 4BN0012B  
 SITE NAME: 22 BOSTON WHARF ROAD  
 ADDRESS: 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

**KEY MAP OF PHOTOS**

PAGE: MAP-1  
 DATE: 4/12/2017  
 DRAWN BY: MR  
 REVISION: 0



**FULL VIEW**



**EXISTING BUILDING  
(UNDER RENOVATION)**

**ZOOM VIEW**

**PREPARED FOR:**

T-MOBILE NORTHEAST LLC  
 15 COMMERCE WAY, SUITE B  
 NORTON, MA 02766  
 OFFICE: (508) 286-2700  
 FAX: (508) 286-2893

**PREPARED BY:**

**EGADVANCED**  
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 Surveying - Telecommunications  
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 EAST PROVIDENCE, 02914  
 PH: (401) 354-2403  
 FAX: (401) 633-6354

**SITE NO:** 4BN0012B

**SITE NAME:** 22 BOSTON WHARF ROAD

**ADDRESS:** 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

**VIEW #1**  
 EXISTING VIEW FROM THE SOUTH, ON  
 CONGRESS STREET

**PAGE:** V-1E

**DATE:** 4/12/2017

**DRAWN BY:** MR

**REVISION:** 0



FULL VIEW



(1) PROPOSED RF-TRANSPARENT CHIMNEY TO CONCEAL PROPOSED T-MOBILE ANTENNAS

PROPOSED 2-STORY ADDITION (BY OTHERS)

ZOOM VIEW

PREPARED FOR:  
 T-MOBILE NORTHEAST LLC  
 15 COMMERCE WAY, SUITE B  
 NORTON, MA 02766  
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 FAX: (508) 286-2893

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 ADDRESS: 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

**VIEW #1**  
 PROPOSED VIEW FROM THE SOUTH,  
 ON CONGRESS STREET

PAGE: V-1P  
 DATE: 4/12/2017  
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EXISTING BUILDING  
(UNDER RENOVATION)

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T-MOBILE NORTHEAST LLC  
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NORTON, MA 02766  
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Surveying - Telecommunications  
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EAST PROVIDENCE, 02914  
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FAX: (401) 633-6354

SITE NO: 4BN0012B

SITE NAME: 22 BOSTON WHARF ROAD

ADDRESS: 22 BOSTON WHARF ROAD  
BOSTON, MA 02210

**VIEW #2**

EXISTING VIEW FROM THE SOUTHWEST,  
AT THE INTERSECTION OF STILLINGS  
STREET AND CONGRESS STREET

PAGE: V-2E

DATE: 4/12/2017

DRAWN BY: MR


REVISION: 0





PROPOSED 2-STORY  
ADDITION (BY OTHERS)

**PROPOSED ANTENNA STRUCTURES WILL NOT BE VISIBLE FROM THIS LOCATION**

<p>PREPARED FOR:</p> <p>T-MOBILE NORTHEAST LLC 15 COMMERCE WAY, SUITE B NORTON, MA 02766 OFFICE: (508) 286-2700 FAX: (508) 286-2893</p>	<p>PREPARED BY:</p>  <p><b>EG ADVANCED</b> ENGINEERING GROUP, P.C. Civil Engineering - Site Development Surveying - Telecommunications 500 NORTH BROADWAY EAST PROVIDENCE, 02914 PH: (401) 354-2403 FAX: (401) 633-6354</p>	<p>SITE NO: 4BN0012B</p> <p>SITE NAME: 22 BOSTON WHARF ROAD</p> <p>ADDRESS: 22 BOSTON WHARF ROAD BOSTON, MA 02210</p>	<p style="text-align: center;"><b>VIEW #2</b></p> <p style="text-align: center;">PROPOSED VIEW FROM THE SOUTHWEST, AT THE INTERSECTION OF STILLINGS STREET AND CONGRESS STREET</p>	<p>PAGE: V-2P</p> <p>DATE: 4/12/2017</p> <p>DRAWN BY: MR</p> <p>REVISION: 0</p>
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EXISTING BUILDING  
(UNDER RENOVATION)

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 Surveying - Telecommunications  
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 EAST PROVIDENCE, 02914  
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 FAX: (401) 633-6354

SITE NO: 4BN0012B  
 SITE NAME: 22 BOSTON WHARF ROAD  
 ADDRESS: 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

**VIEW #3**  
 EXISTING VIEW FROM THE NORTHWEST,  
 ON THOMSON PLACE

PAGE: V-3E  
 DATE: 4/12/2017  
 DRAWN BY: MR  
 REVISION: 0



(6) PROPOSED RF-TRANSPARENT  
FALSE FLUES TO CONCEAL  
PROPOSED T-MOBILE ANTENNAS

PREPARED FOR:  
T-MOBILE NORTHEAST LLC  
15 COMMERCE WAY, SUITE B  
NORTON, MA 02766  
OFFICE: (508) 286-2700  
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 BOSTON, MA 02210

**VIEW #3**  
 PROPOSED VIEW FROM THE NORTHWEST,  
 ON THOMSON PLACE

PAGE: V-3P  
 DATE: 4/12/2017  
 DRAWN BY: MR  
 REVISION: 0



EXISTING BUILDING  
(UNDER RENOVATION)

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SITE NO: 4BN0012B  
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 BOSTON, MA 02210

**VIEW #4**  
 EXISTING VIEW FROM THE NORTH,  
 AT THE INTERSECTION OF STILLINGS  
 STREET AND CALVIN PLACE

PAGE: V-4E  
 DATE: 4/12/2017  
 DRAWN BY: MR  
 REVISION: 0



**PROPOSED ANTENNA STRUCTURES WILL NOT BE VISIBLE FROM THIS LOCATION**

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 T-MOBILE NORTHEAST LLC  
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**VIEW #4**  
 PROPOSED VIEW FROM THE NORTH, AT  
 THE INTERSECTION OF STILLINGS STREET  
 AND CALVIN PLACE

PAGE: V-4P  
 DATE: 4/12/2017  
 DRAWN BY: MR  
 REVISION: 0

# 22 BOSTON WHARF ROAD

22 BOSTON WHARF ROAD  
BOSTON, MA 02210

SITE NO: 4BN0012B

ROOFTOP

T-MOBILE NORTHEAST LLC  
15 COMMERCE WAY, SUITE B  
NORTON, MA 02766  
OFFICE: (508) 286-2700  
FAX: (508) 286-2893



### APPROVALS

LANDLORD \_\_\_\_\_  
LEASING \_\_\_\_\_  
R.F. \_\_\_\_\_  
ZONING \_\_\_\_\_  
CONSTRUCTION \_\_\_\_\_  
A/E \_\_\_\_\_

PROJECT NO: 4BN0012B

DRAWN BY: JWH & DD

CHECKED BY: SA

### SUBMITTALS

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BOSTON, MA 02210

SHEET TITLE

TITLE SHEET

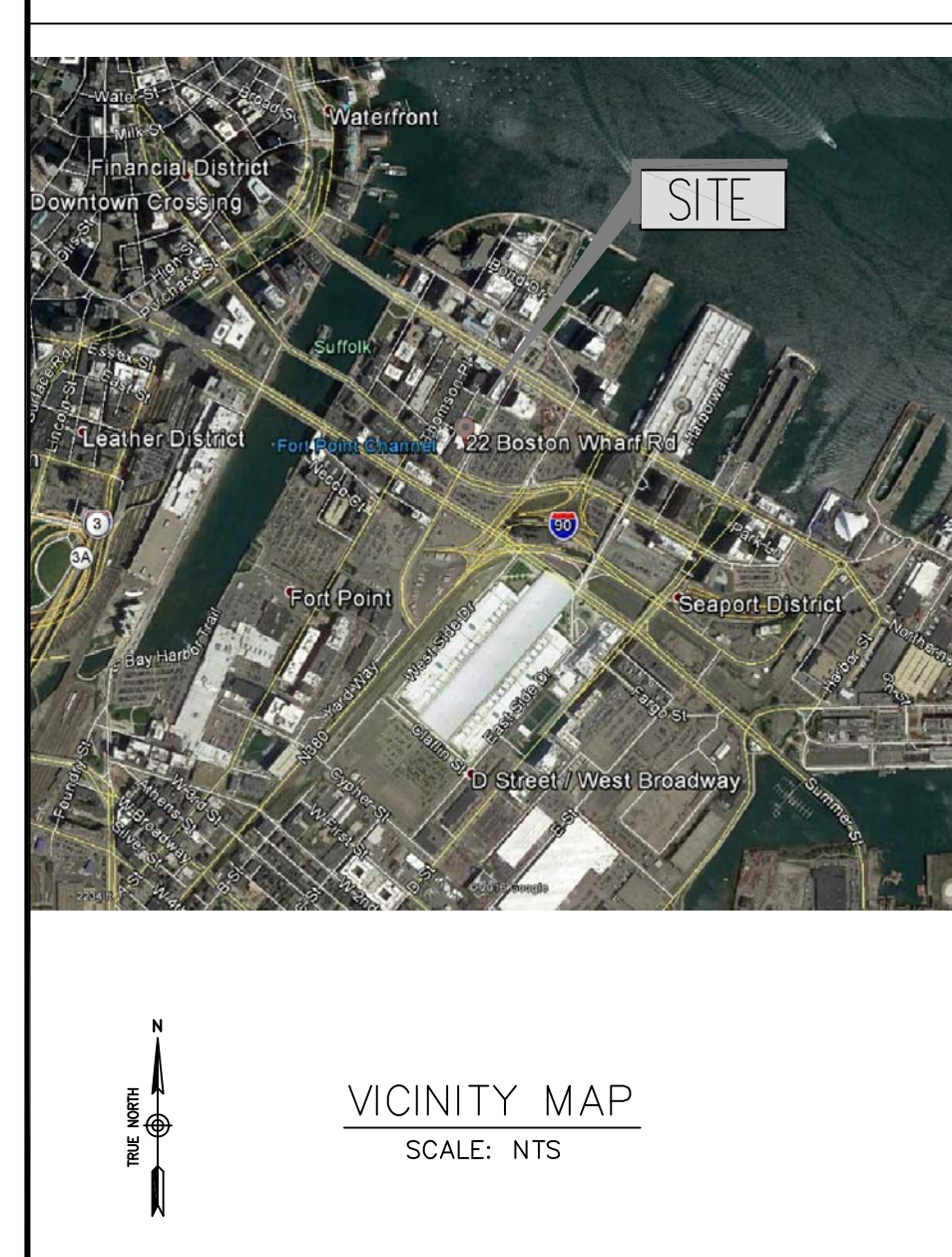
SHEET NUMBER

T-1

### GENERAL NOTES

- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE PROJECT OWNER'S REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION FROM THE PROJECT OWNER'S REPRESENTATIVE TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT OWNER'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE LESSEE/LICENSEE REPRESENTATIVE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
- ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY:  
DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233  
CALL BEFORE YOU DIG (CT): 1-800-922-4455

### VICINITY MAP



VICINITY MAP  
SCALE: NTS

### DO NOT SCALE DRAWINGS

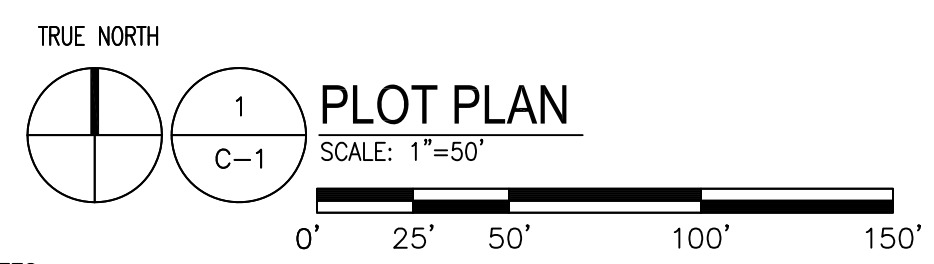
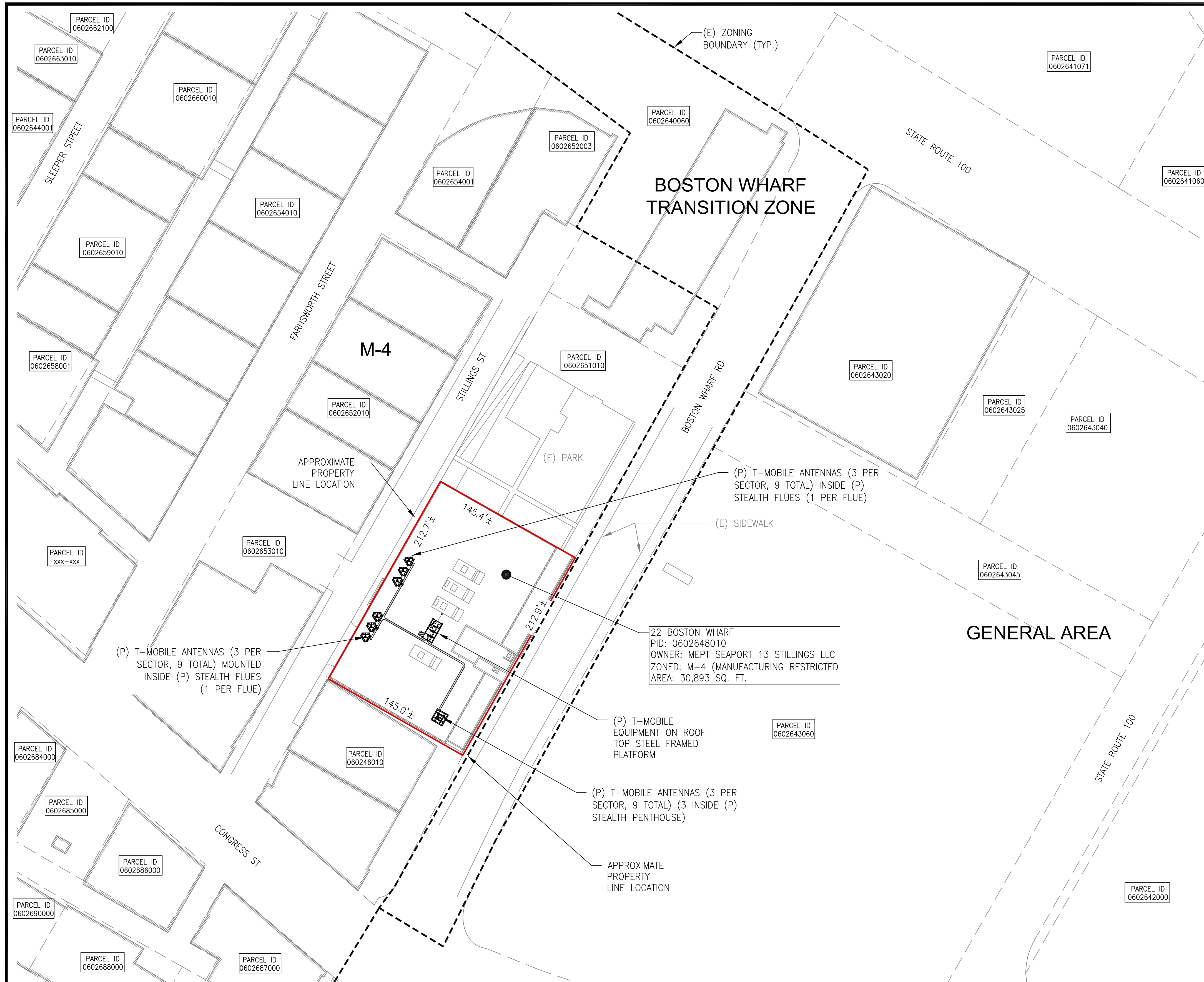
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

### SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	2
C-1	PLOT PLAN & NOTES	2
Z-1	SITE / ROOF PLAN & NOTES	2
Z-2	ELEVATION	2
Z-3	ELEVATION	2
Z-4	TYPICAL DETAILS	2

### PROJECT SUMMARY

SITE NUMBER: 4BN0012B  
SITE NAME: 22 BOSTON WHARF ROAD  
SITE ADDRESS: 22 BOSTON WHARF ROAD BOSTON, MA 02210  
ASSESSOR'S PARCEL NO.: 0602648010  
CONSTRUCTION TYPE: ROOF TOP  
PROPERTY OWNER: MEPT SEAPORT 13 STILLINGS 7315 WISCONSIN AVE SUITE 20 BETHESDA MD, 20814  
STRUCTURE OWNER: MEPT SEAPORT 13 STILLINGS 7315 WISCONSIN AVE SUITE 20 BETHESDA MD, 20814  
APPLICANT, LESSEE/LICENSEE, PROJECT OWNER: T-MOBILE NORTHEAST, LLC 15 COMMERCE WAY, SUITE B NORTON, MA 02766

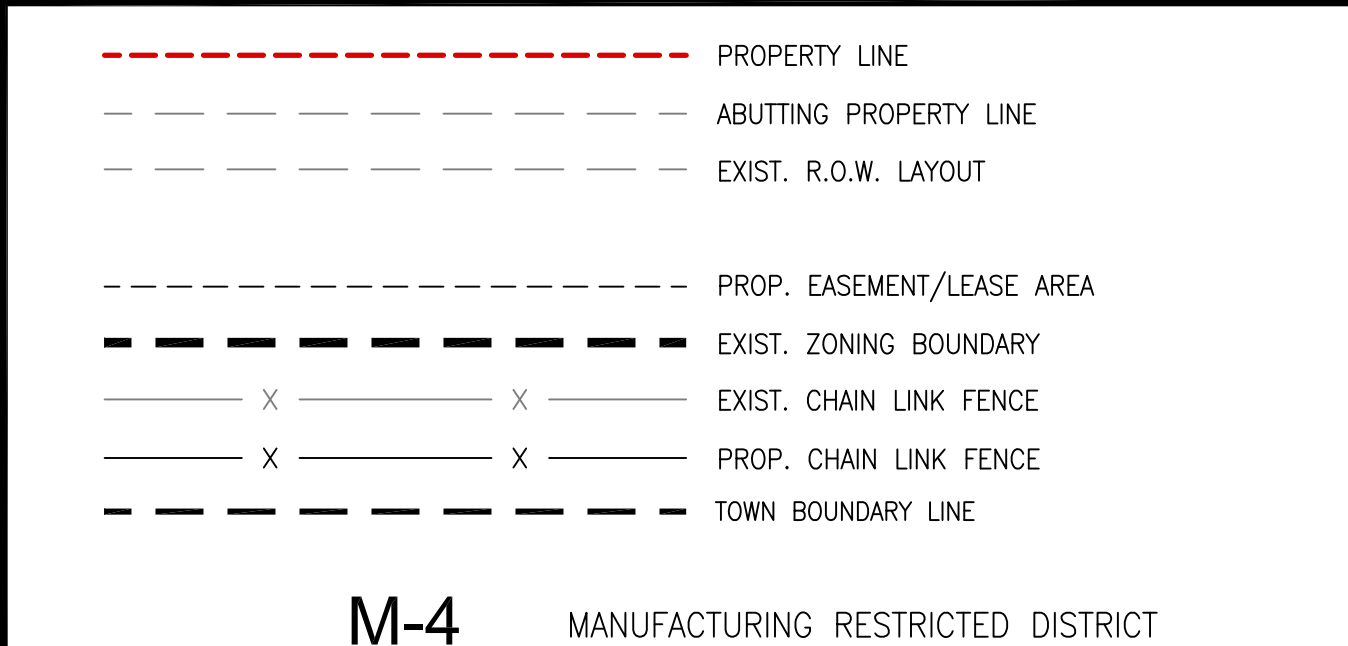


- NOTES:
1. PLOT PLAN BASED ON LISTER/ASSESSOR MAPS FROM THE CITY OF BOSTON, DIGITAL PARCEL AND BUILDING MAPPING PROVIDED BY BOSTON GEOGRAPHIC INFORMATION SYSTEMS, PLANS ENTITLED "MEPT SEAPORT 13 STILLING LLC, 22 BOSTON WHARF ROAD-ADDITION" DATED 10.03.2016 BY TRO ARCHITECTS, AND PLAN ENTITLED "PROPOSED PLOT PLAN FOR CONSTRUCTION, 22 WHARF ROAD, BOSTON, MASS." PREPARED BY FELDMAN LAND SURVEYORS DATED 08/15/2015
  2. SETBACKS ARE TAKEN FROM FACE OF NEAREST STEALTH TO THE FUTURE EDGE OF ROOF
  3. A METES AND BOUNDS SURVEY WAS NOT CONDUCTED BY ADVANCED ENGINEERING GROUP, P.C.

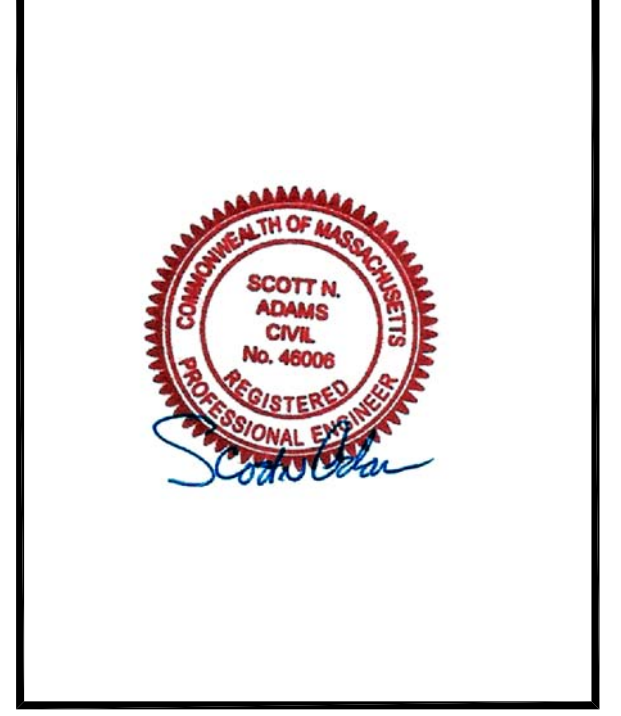
**GENERAL NOTES**

1. THE TYPE, DIMENSIONS, MOUNTING HARDWARE, AND POSITIONS OF ALL PROJECT OWNER'S EQUIPMENT ARE SHOWN IN ILLUSTRATED FASHION. THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION. ACTUAL HARDWARE DETAILS AND FINAL LOCATIONS MAY DIFFER SLIGHTLY FROM WHAT IS SHOWN.
  2. THE PROJECT OWNER'S PCS FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.
  3. THE PROJECT OWNER'S BASE TRANSMISSION STATION (BTS) CABINET IS A VANDAL RESISTANT STEEL CABINET CONTAINING RECTIFIERS, AMPLIFIERS, RADIOS, AND OTHER INTEGRATED ELECTRONIC CONTROL EQUIPMENT. BATTERY BACKUP FOR EMERGENCY STANDBY POWER IS CONTAINED WITHIN A SEPARATE BATTERY BACKUP UNIT CONTAINING SIXTEEN 12-VOLT, CLOSED CELL, DC BATTERIES. THE BATTERIES ARE LEAD-ACID RECHARGEABLE STANDBY INDUSTRIAL POWER CELLS MANUFACTURED TO MEET ENVIRONMENTAL QUALITY AND RUGGEDNESS STANDARDS OF THE INTERNATIONAL AIR TRANSPORT ASSOCIATION (IATA). THE BATTERY CHARGING SYSTEM IS COMPUTER-CONTROLLED AND THE EQUIPMENT CABINET IS REMOTELY MONITORED AT PROJECT OWNER'S NETWORK OPERATIONS CONTROL CENTER 24-HOURS A DAY, 7 DAYS A WEEK FOR FAULTS AND ALARMS.
  4. THE DESIGN OF THE ANTENNA MOUNTING HARDWARE AND STRUCTURAL REINFORCEMENT OF EXISTING BUILDING ROOF/FLOOR (IF NECESSARY) TO SUPPORT THE BTS EQUIPMENT WILL MEET THE ANS/EIA/TIA-222-G STANDARDS FOR STRUCTURAL STEEL ANTENNA SUPPORTING STRUCTURES AND STATE BUILDING CODE REQUIREMENTS. DETAILED CONSTRUCTION DRAWINGS AND STRUCTURAL CALCULATIONS WILL BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER AND SUBMITTED WITH A BUILDING PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE LOCAL BUILDING CODE ENFORCEMENT OFFICIAL.
  5. ONCE THE FACILITY BECOMES FULLY OPERATIONAL, NORMAL AND ROUTINE MAINTENANCE BY PROJECT OWNER'S TECHNICIANS WILL BE PERFORMED ON A MONTHLY BASIS. THEREFORE, THE ESTIMATED VEHICLE TRIP GENERATION RATE IS TWO TRIPS PER MONTH. THE AVERAGE DAILY TRIP GENERATION RATE (ADT) IS 0.07.
  6. PAINT EXPOSED COAX, AC CONDUIT AND ASSOCIATED MOUNTING HARDWARE TO MATCH EXISTING BUILDING. PROPOSED ANTENNAS TO MATCH EXISTING CUPOLA IN COLOR.
  7. PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS FOR WIRELESS COMMUNICATIONS SYSTEMS. PROJECT OWNER'S IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE BTS RADIO CABINETS. PROJECT OWNER RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET FEDERALLY MANDATED ACCURACY SPECIFICATIONS.
8. APPLICANT: T-MOBILE NORTHEAST, LLC  
15 COMMERCE WAY, SUITE B  
NORTON, MA 02766
9. OWNER: MEPT SEAPORT 13 STILLING LLC  
7315 WISCONSIN AVE, SUITE 20  
BETHESDA, MD 20814
10. ZONING DISTRICT: M-4 (MANUFACTURING RESTRICTED)
11. JURISDICTION: CITY OF BOSTON
12. TAX ID: 0602648010
13. APPROXIMATE CENTER OF BUILDING: LAT: N 42° 21' 01.8"  
LONG: W -71° 02' 49.07"

**LEGEND**



T-MOBILE NORTHEAST LLC  
15 COMMERCE WAY, SUITE B  
NORTON, MA 02766  
OFFICE: (508) 286-2700  
FAX: (508) 286-2893



**APPROVALS**

LANDLORD \_\_\_\_\_

LEASING \_\_\_\_\_

R.F. \_\_\_\_\_

ZONING \_\_\_\_\_

CONSTRUCTION \_\_\_\_\_

A/E \_\_\_\_\_

PROJECT NO: 4BN0012B

DRAWN BY: JWH & DD

CHECKED BY: SA

**SUBMITTALS**

NO.	DATE	DESCRIPTION
2	03/22/17	ZONING REVISED
1	02/22/17	ZONING FOR REVIEW
0	12/29/16	ZONING

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4BN0012B  
22 BOSTON WHARF ROAD  
BOSTON, MA 02210

SHEET TITLE  
PLOT PLAN & NOTES

SHEET NUMBER  
**C-1**

**LEGEND**

(F) = FUTURE  
(E) = EXISTING  
(P) = PROPOSED  
(AGL) = ABOVE GROUND LEVEL

T-MOBILE NORTHEAST LLC  
 15 COMMERCE WAY, SUITE B  
 NORTON, MA 02766  
 OFFICE: (508) 286-2700  
 FAX: (508) 286-2893



APPROVALS

LANDLORD \_\_\_\_\_  
 LEASING \_\_\_\_\_  
 R.F. \_\_\_\_\_  
 ZONING \_\_\_\_\_  
 CONSTRUCTION \_\_\_\_\_  
 A/E \_\_\_\_\_

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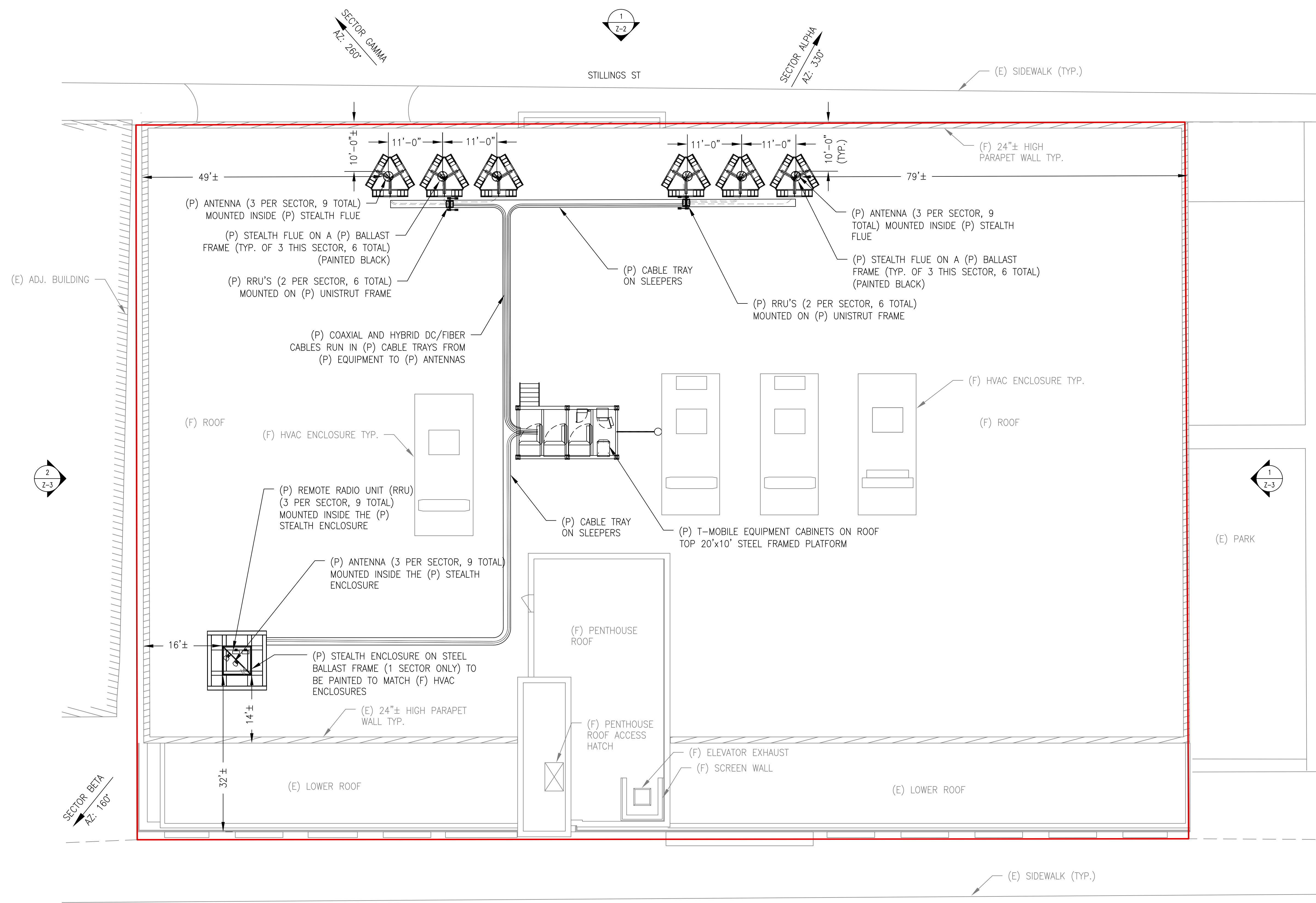
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4BN0012B  
 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

SHEET TITLE  
 SITE/ROOF PLAN & NOTES

SHEET NUMBER  
**Z-1**

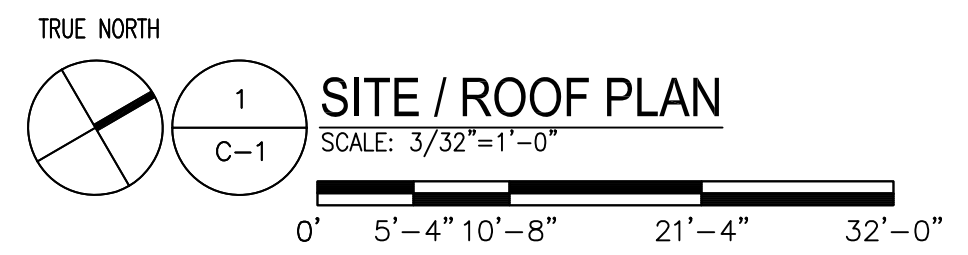
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ZONING SUMMARY TABLE

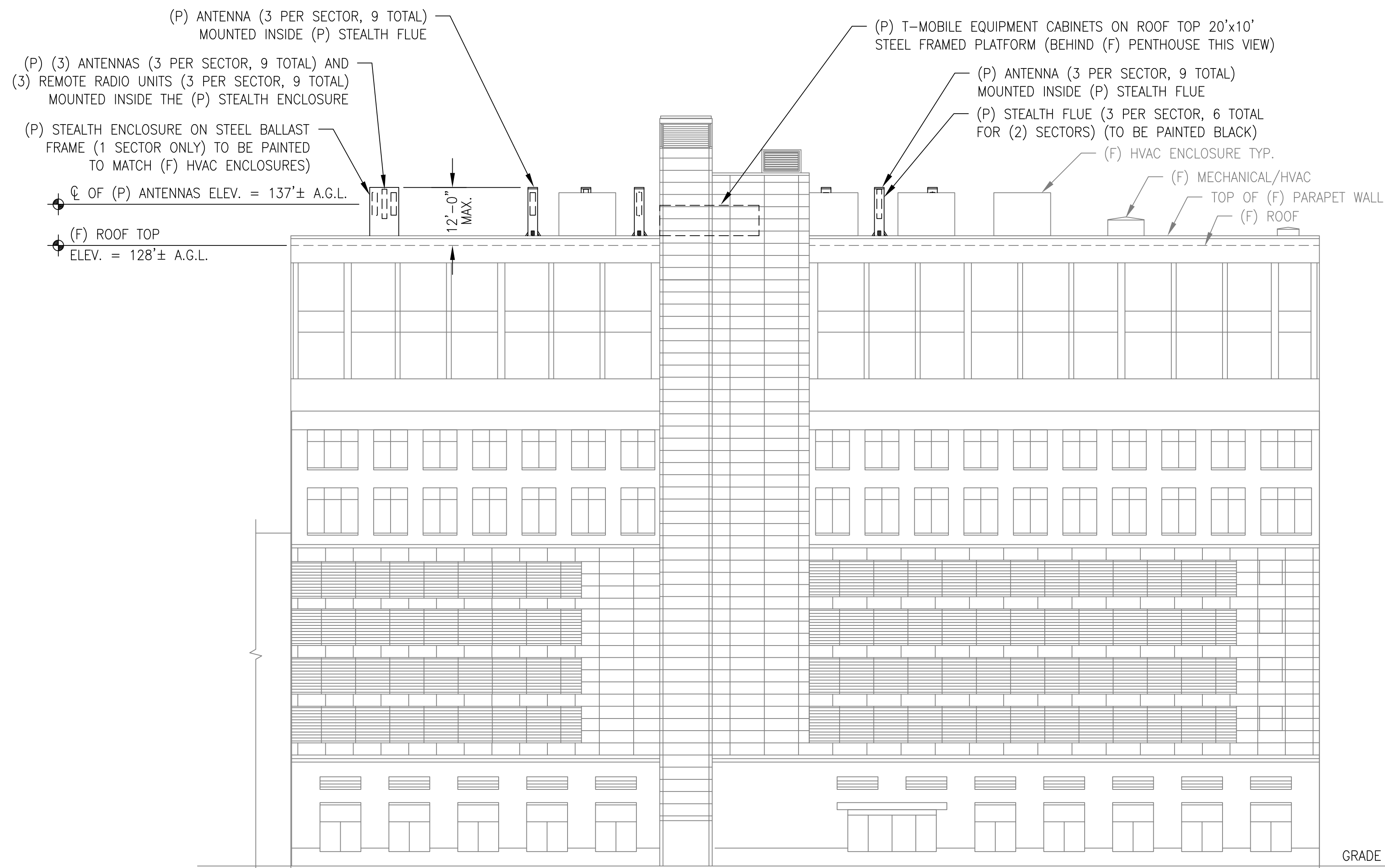
DIMENSION:	REQUIRED MINIMUM	PROVIDED
MINIMUM LOT AREA	NONE	31,980± SF
MINIMUM LOT FRONTAGE	NONE	213 ± FT
FRONT YARD SETBACK*	NONE	26 ± FT
SIDE YARD SETBACK*	NONE	34 ± FT
REAR YARD SETBACK*	12 FT	14 ± FT
BUILDING HEIGHT	NONE	150 ± FT

\* DIMENSIONS MEASURED FROM FACE OF CLOSEST STEALTH TO FUTURE EDGE OF ROOF

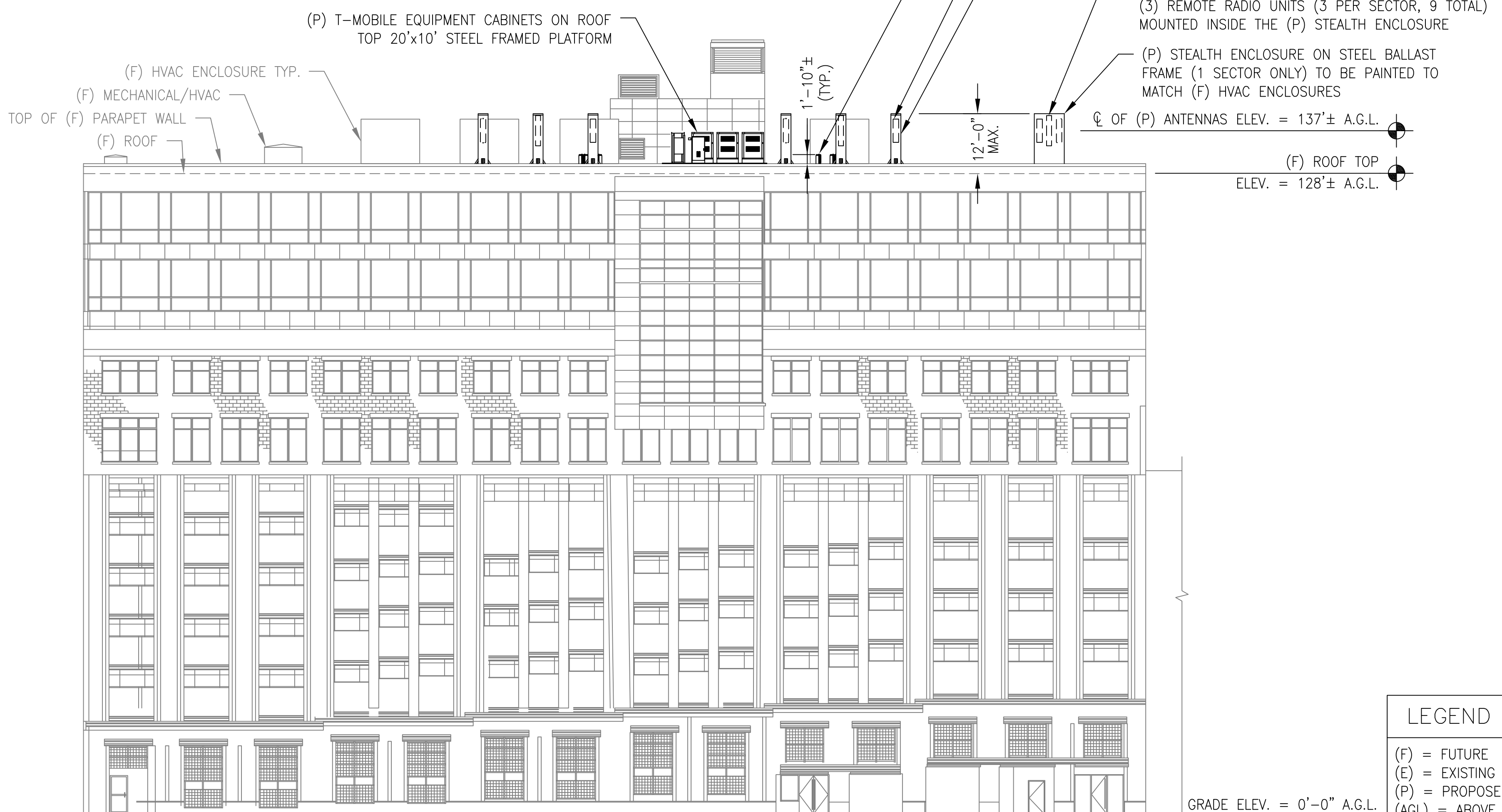


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1 SE ELEVATION  
SCALE: 1/16"=1'-0"  
0' 8'-0" 16'-0" 32'-0" 48'-0"



2 NW ELEVATION  
SCALE: 1/16"=1'-0"  
0' 8'-0" 16'-0" 32'-0" 48'-0"

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T-MOBILE NORTHEAST LLC  
15 COMMERCE WAY, SUITE B  
NORTON, MA 02766  
OFFICE: (508) 286-2700  
FAX: (508) 286-2893



APPROVALS

LANDLORD \_\_\_\_\_  
LEASING \_\_\_\_\_  
R.F. \_\_\_\_\_  
ZONING \_\_\_\_\_  
CONSTRUCTION \_\_\_\_\_  
A/E \_\_\_\_\_

PROJECT NO: 4BN0012B

DRAWN BY: JWH & DD

CHECKED BY: SA

SUBMITTALS

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4BN0012B  
22 BOSTON WHARF ROAD  
BOSTON, MA 02210

SHEET TITLE

ELEVATIONS

SHEET NUMBER

Z-2

GRADE ELEV. = 0'-0" A.G.L.

T-MOBILE NORTHEAST LLC  
 15 COMMERCE WAY, SUITE B  
 NORTON, MA 02766  
 OFFICE: (508) 286-2700  
 FAX: (508) 286-2893



APPROVALS

LANDLORD \_\_\_\_\_  
 LEASING \_\_\_\_\_  
 R.F. \_\_\_\_\_  
 ZONING \_\_\_\_\_  
 CONSTRUCTION \_\_\_\_\_  
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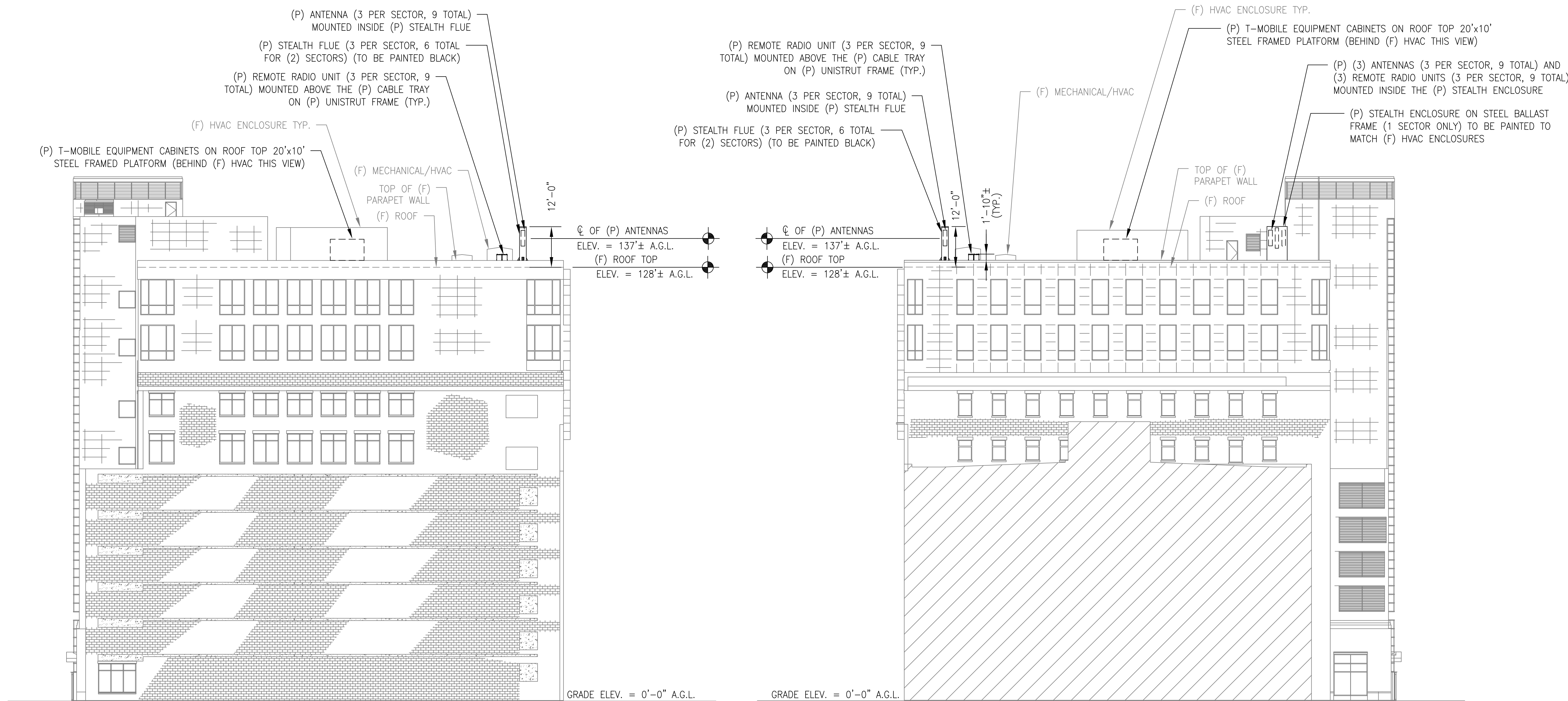
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4BN0012B  
 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

SHEET TITLE  
 ELEVATIONS

SHEET NUMBER  
**Z-3**

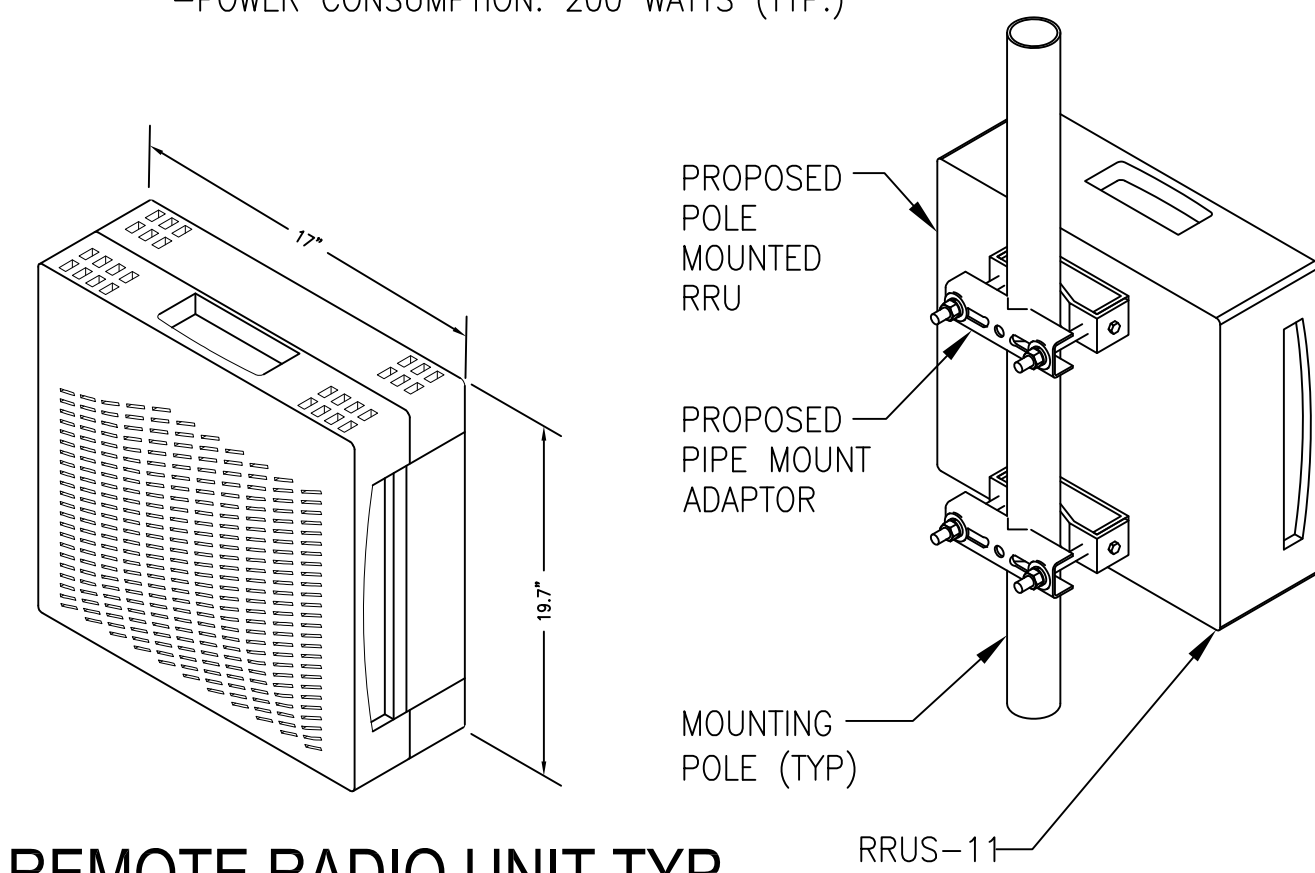
LEGEND  
 (F) = FUTURE  
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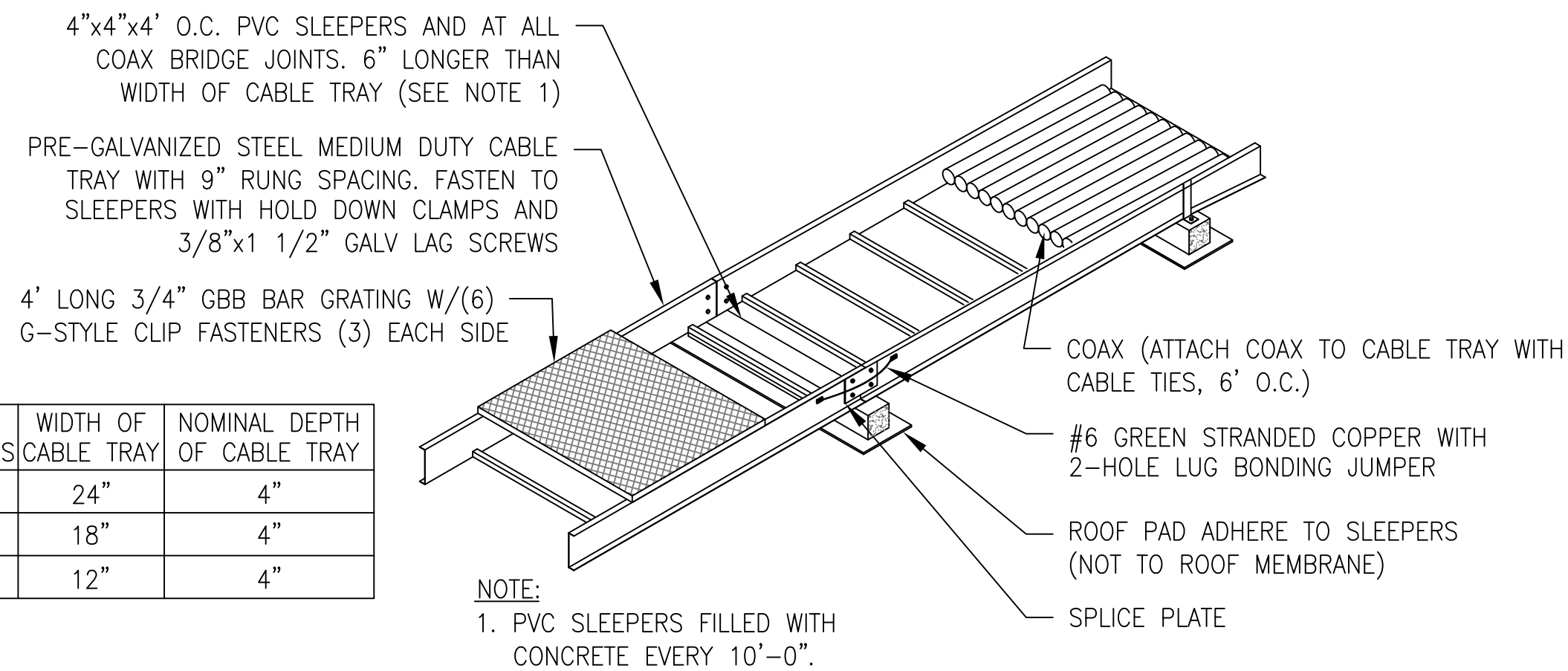
1  
 Z-3  
**NORTHEAST ELEVATION**  
 SCALE: 1/16"=1'-0"  
 0' 8'-0" 16'-0" 32'-0" 48'-0"

2  
 Z-3  
**SOUTHWEST ELEVATION**  
 SCALE: 1/16"=1'-0"  
 0' 8'-0" 16'-0" 32'-0" 48'-0"

**ERICSSON RRUS-11**  
 -DIMENSIONS (H x W x D): 19.7" x 17.0" x 7.2" (INCLUDES SUNSHIELD)  
 -WEIGHT: 50 LBS  
 -CLIMATE: -40°C TO +55°C (SELF CONVECTION SILENT, NO FANS, IP55)  
 -POWER CONSUMPTION: 200 WATTS (TYP.)



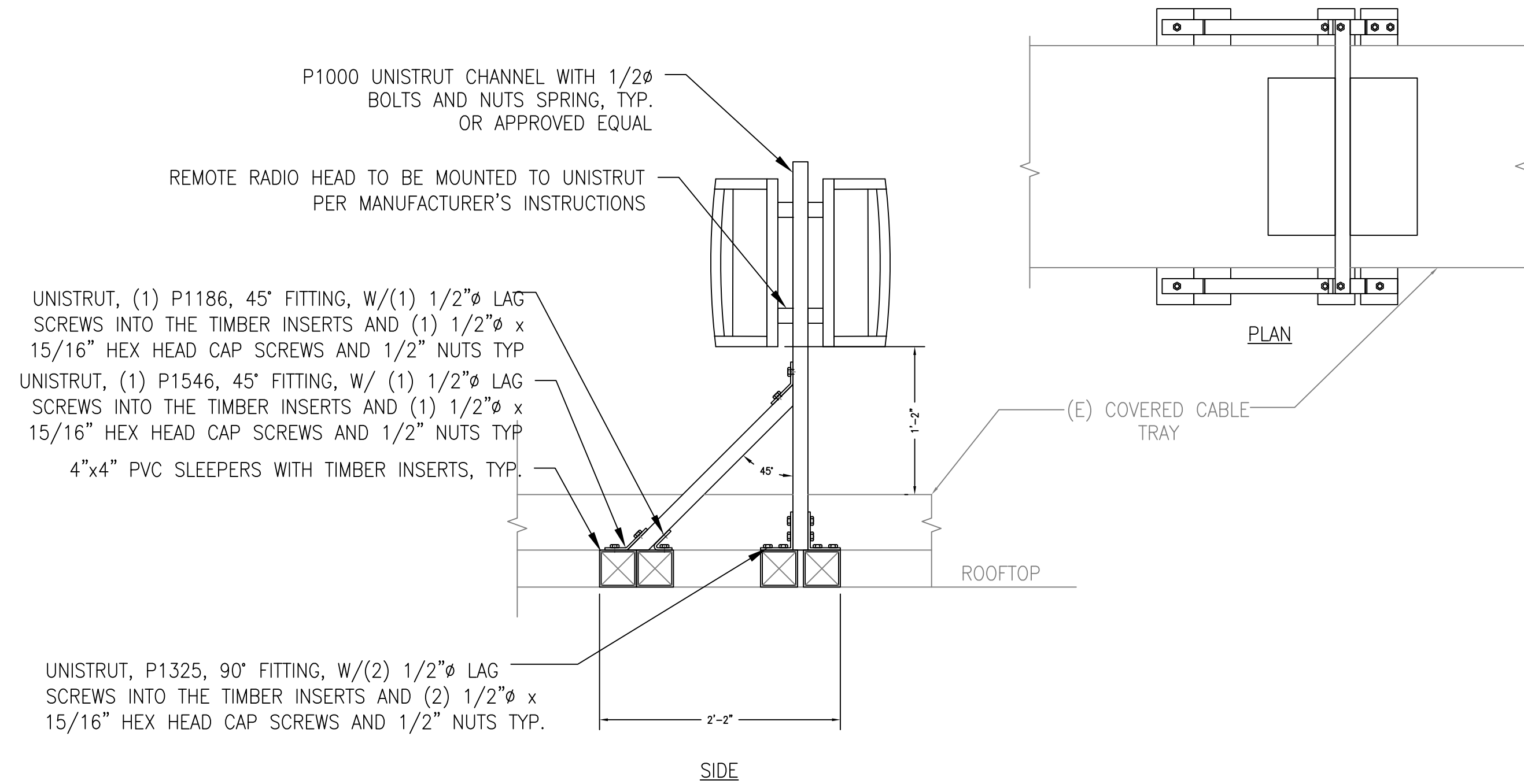
**1 REMOTE RADIO UNIT TYP.**  
 Z-4 SCALE: N.T.S.



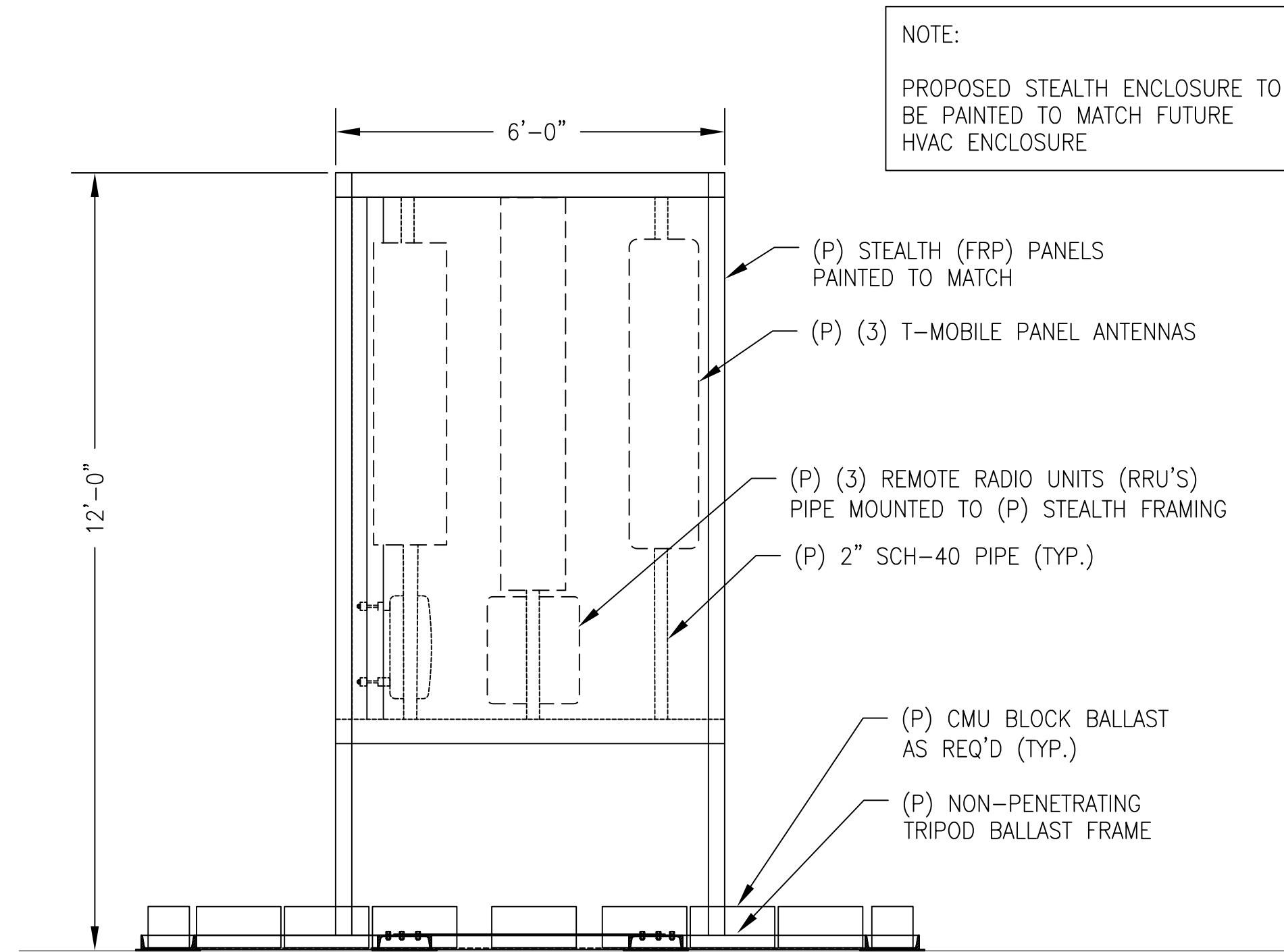
NUMBER OF COAXIAL CABLES	WIDTH OF CABLE TRAY	NOMINAL DEPTH OF CABLE TRAY
18	24"	4"
12	18"	4"
8	12"	4"

NOTE:  
 1. PVC SLEEPERS FILLED WITH CONCRETE EVERY 10'-0".

**2 CABLE TRAY DETAIL**  
 Z-4 SCALE: N.T.S.

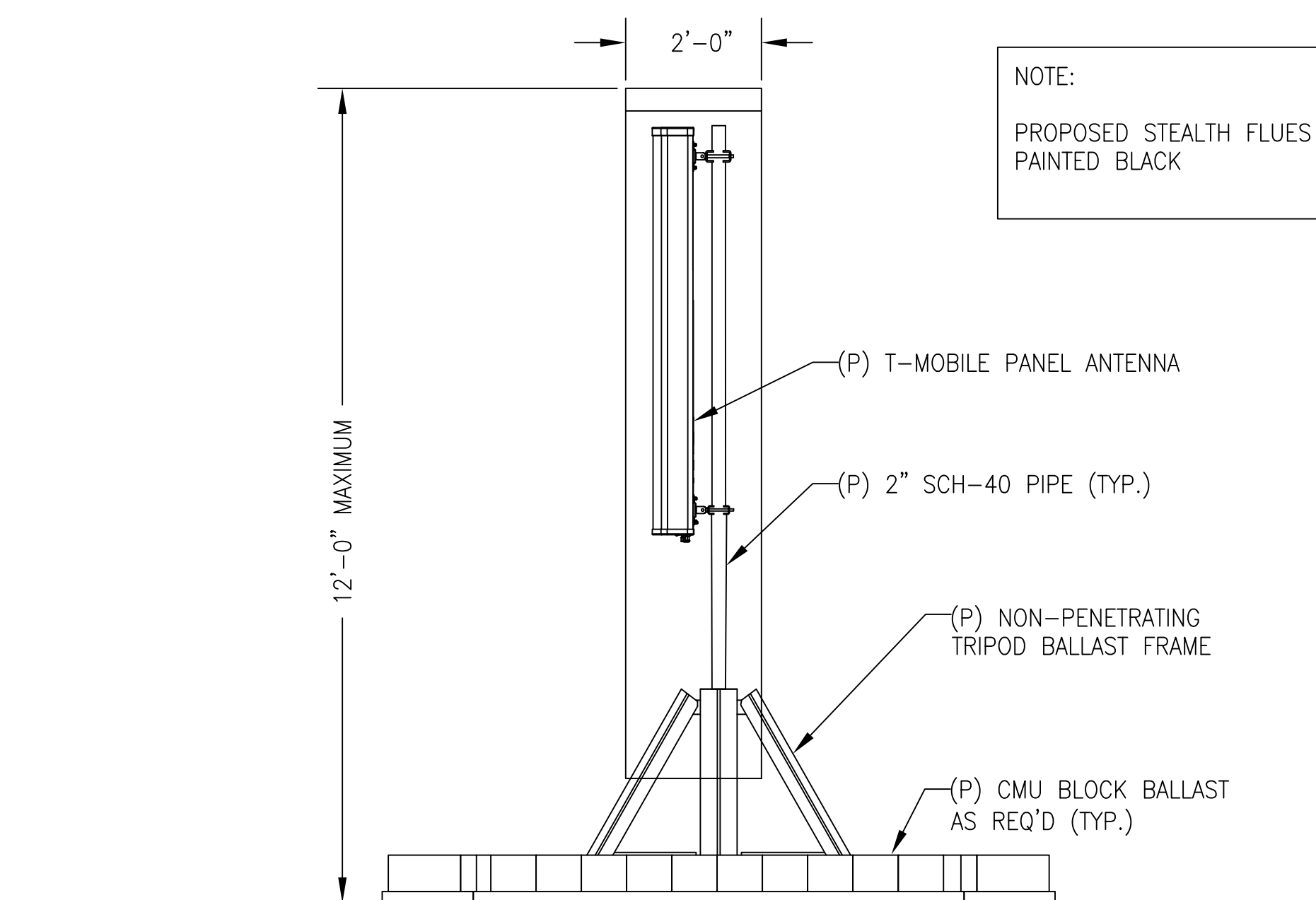


**3 RRH UNISTRUT FRAME MOUNT TYP.**  
 Z-4 SCALE: N.T.S.



NOTE:  
 PROPOSED STEALTH ENCLOSURE TO BE PAINTED TO MATCH FUTURE HVAC ENCLOSURE

**4 STEALTH ENCLOSURE ON BALLAST FRAME TYP.**  
 Z-4 SCALE: 1/2"=1'-0"



NOTE:  
 PROPOSED STEALTH FLUES TO BE PAINTED BLACK

**5 STEALTH FLUE ON BALLAST FRAME TYP.**  
 Z-4 SCALE: 1/2"=1'-0"

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T-MOBILE NORTHEAST LLC  
 15 COMMERCE WAY, SUITE B  
 NORTON, MA 02766  
 OFFICE: (508) 286-2700  
 FAX: (508) 286-2893

**ADVANCED**  
 ENGINEERING GROUP, P.C.  
 Civil Engineering - Site Development Surveying -  
 Telecommunications  
 500 NORTH BROADWAY  
 EAST PROVIDENCE, RI 02914  
 PH: 401-354-9400  
 FAX: 401-633-6354



**APPROVALS**

LANDLORD \_\_\_\_\_  
 LEASING \_\_\_\_\_  
 R.F. \_\_\_\_\_  
 ZONING \_\_\_\_\_  
 CONSTRUCTION \_\_\_\_\_  
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PROJECT NO: 4BN0012B  
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4BN0012B  
 22 BOSTON WHARF ROAD  
 BOSTON, MA 02210

SHEET TITLE  
 DETAILS

SHEET NUMBER  
**Z-4**