

Site Plan

155 WARREN AVENUE

07.27.2017



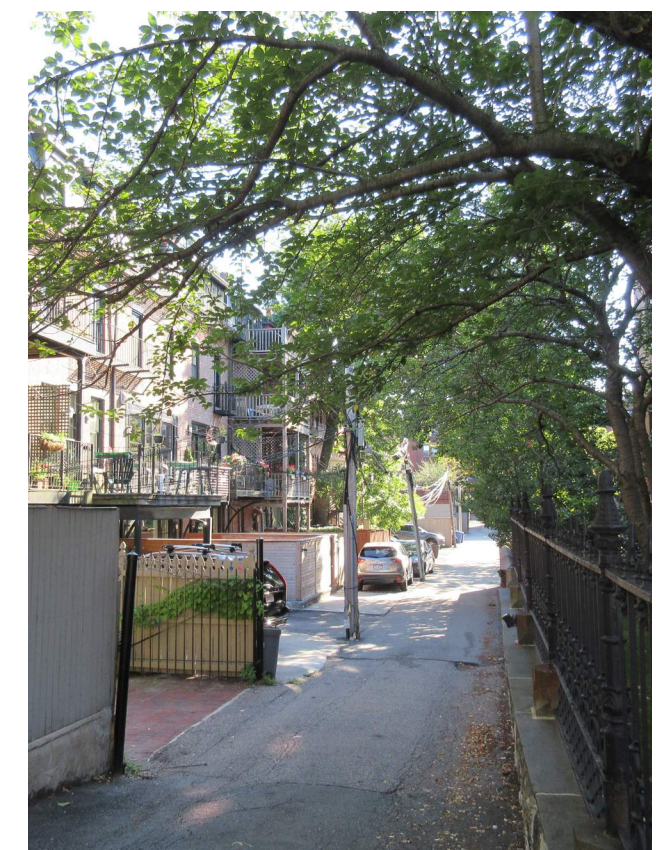
Streetscape across Warren Avenue



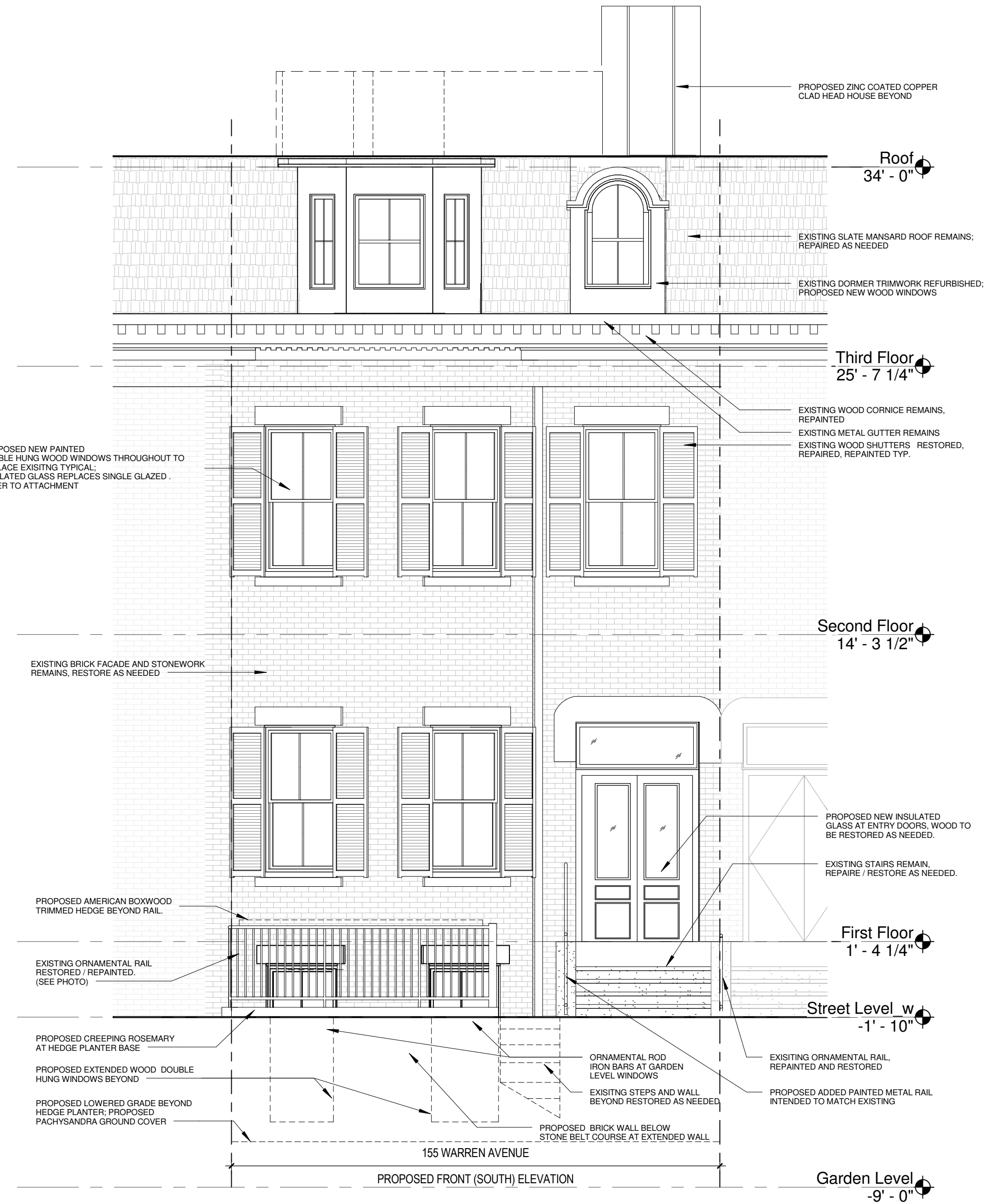
View from W. Canton St.



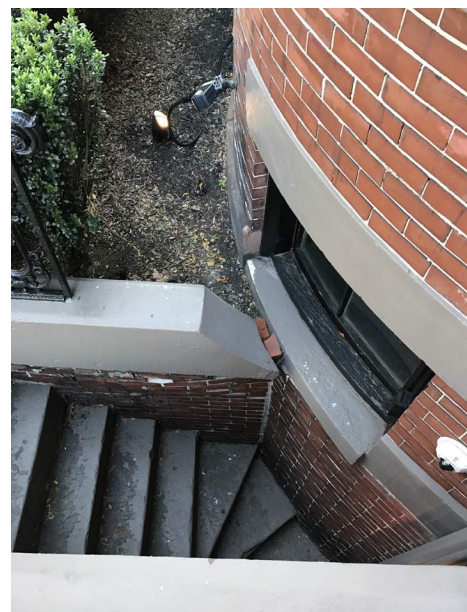
View from Appleton St.



View from Dartmouth St.



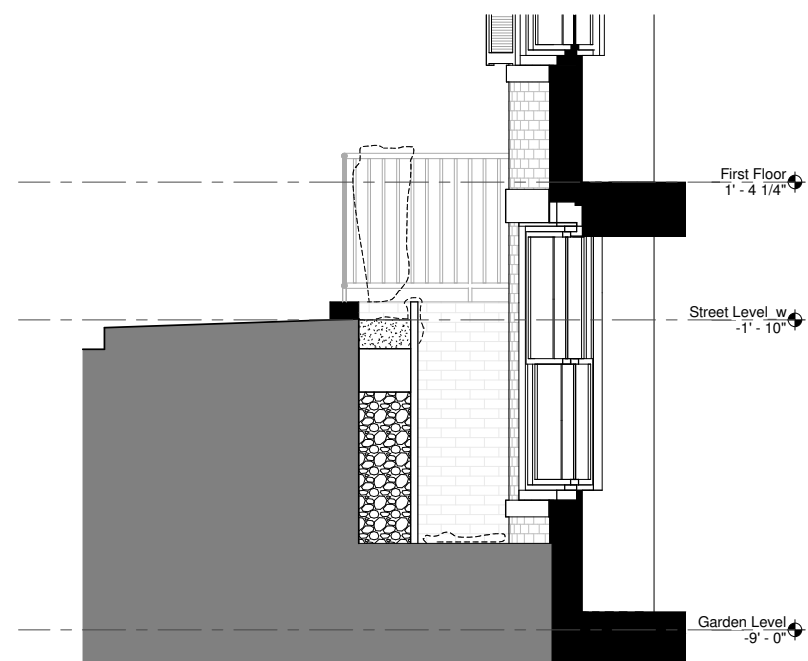
Front facade



Existing Garden Level window



Existing ornamental rail



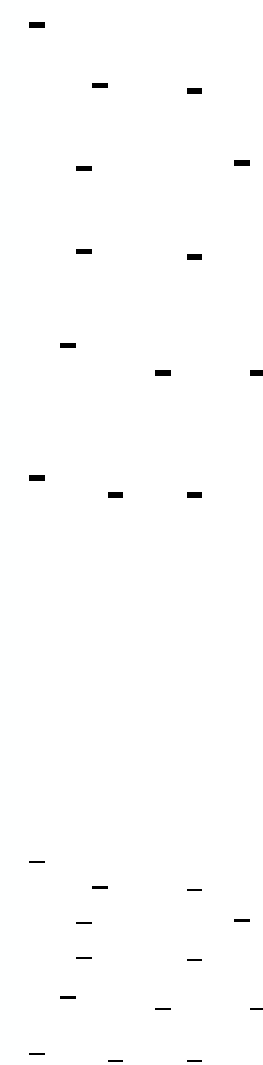
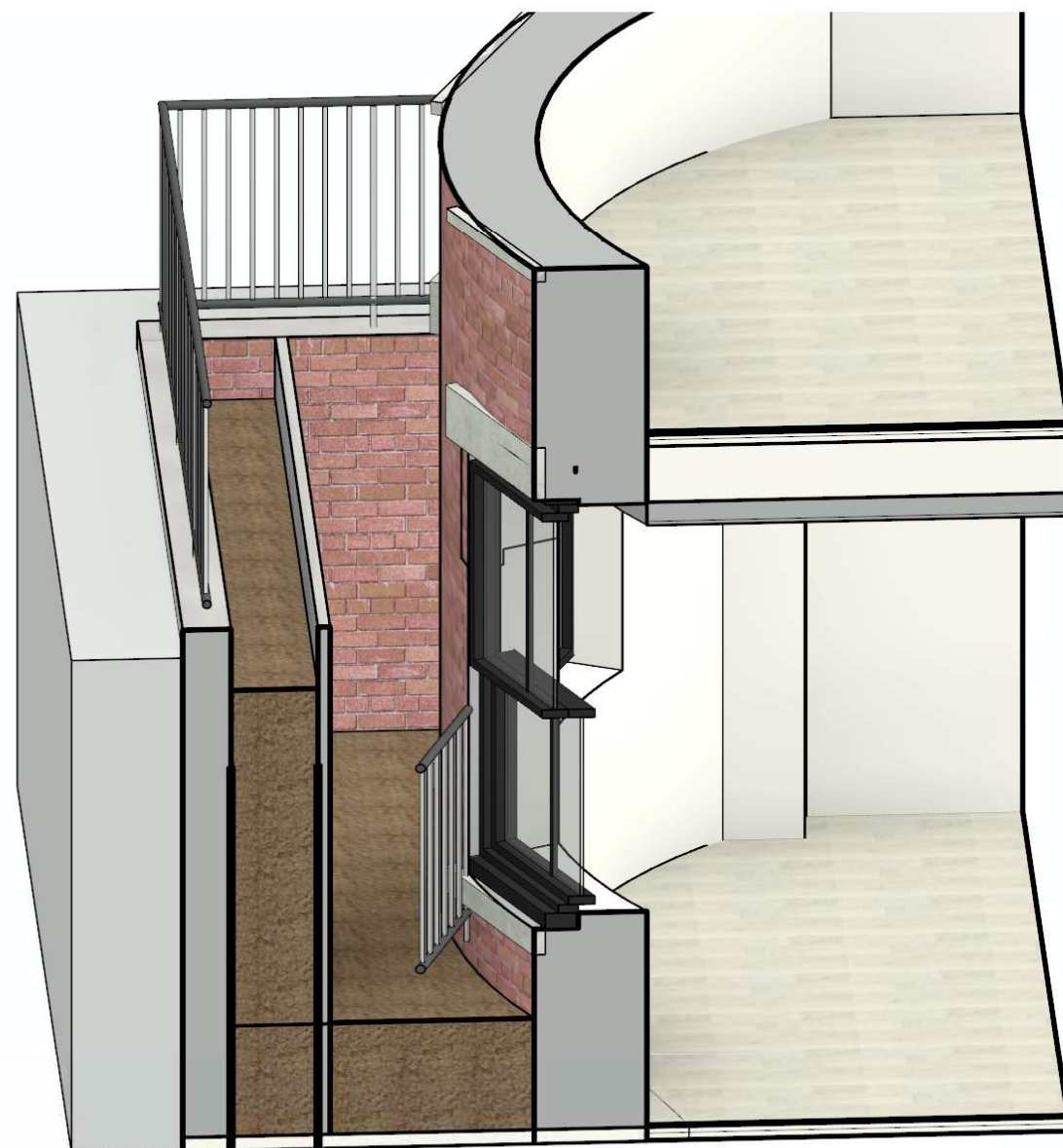
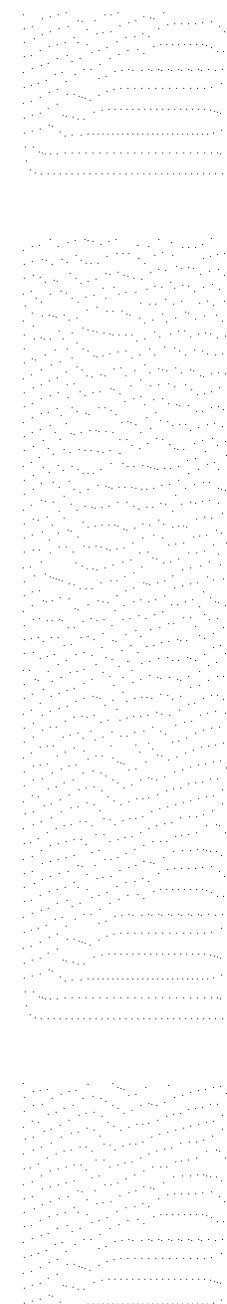
Section at proposed window well

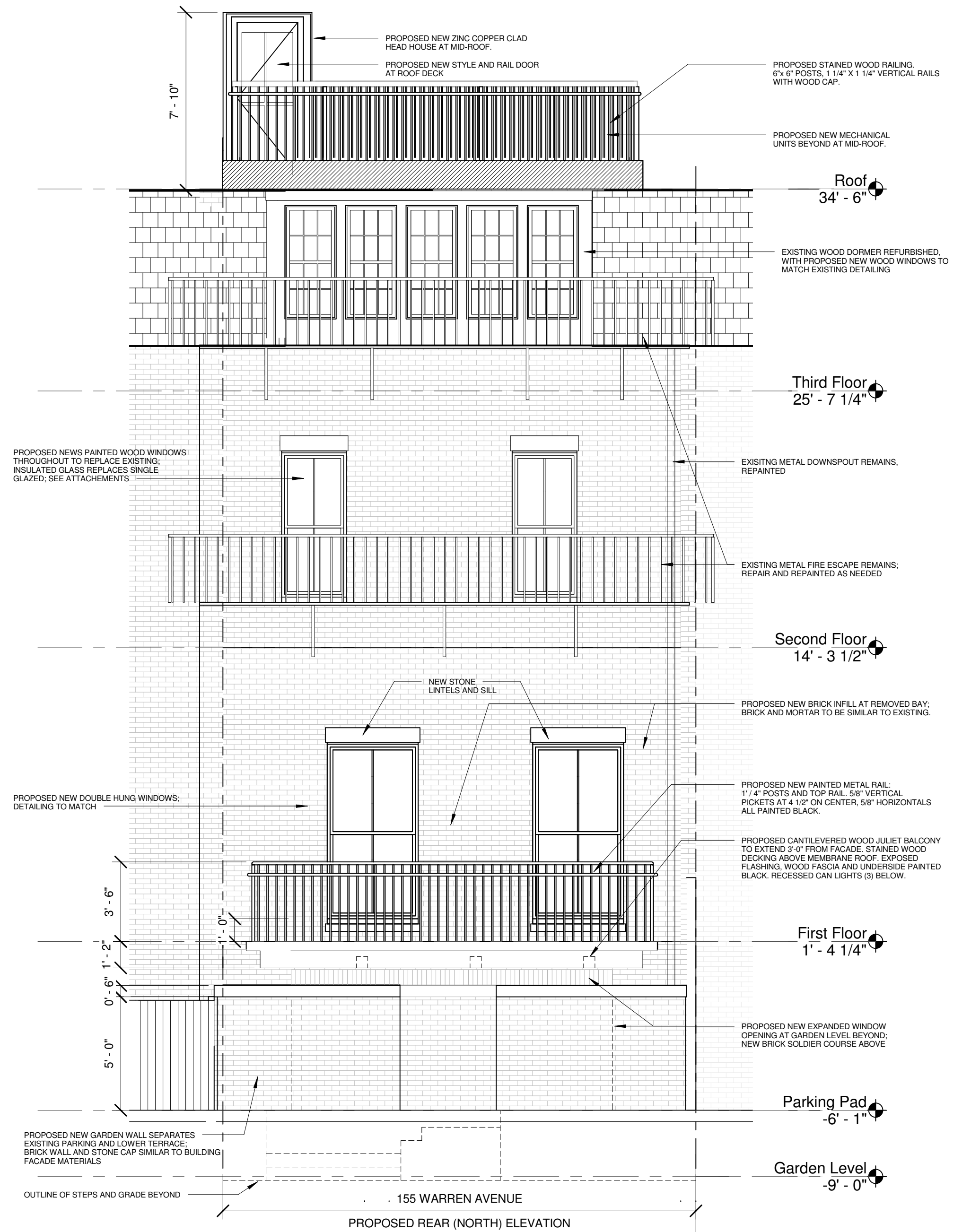
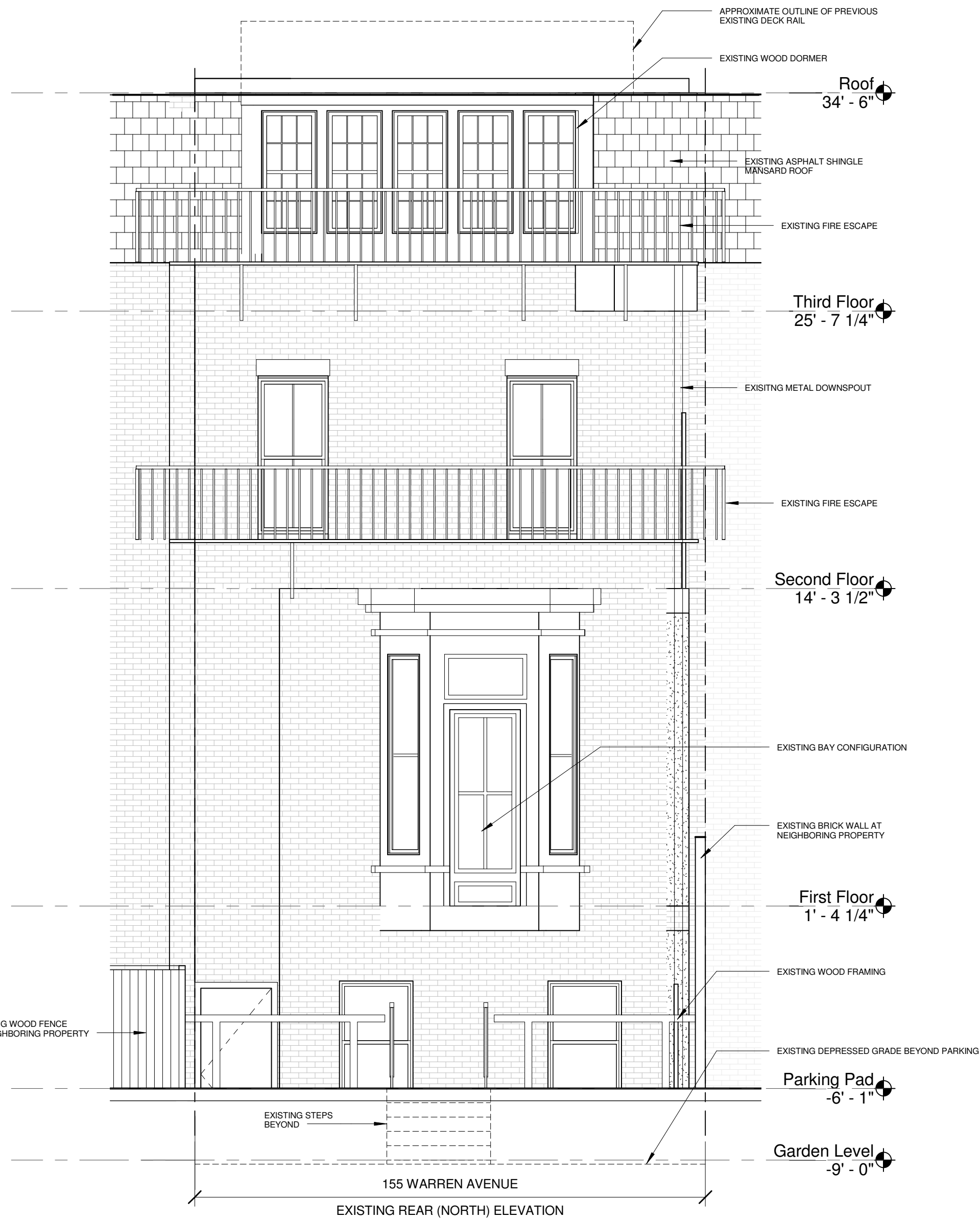


23 West Newton St.

155 WARREN AVE

EXISTING FRONT DOOR CONDITION & PROPOSED LIGHT WELL





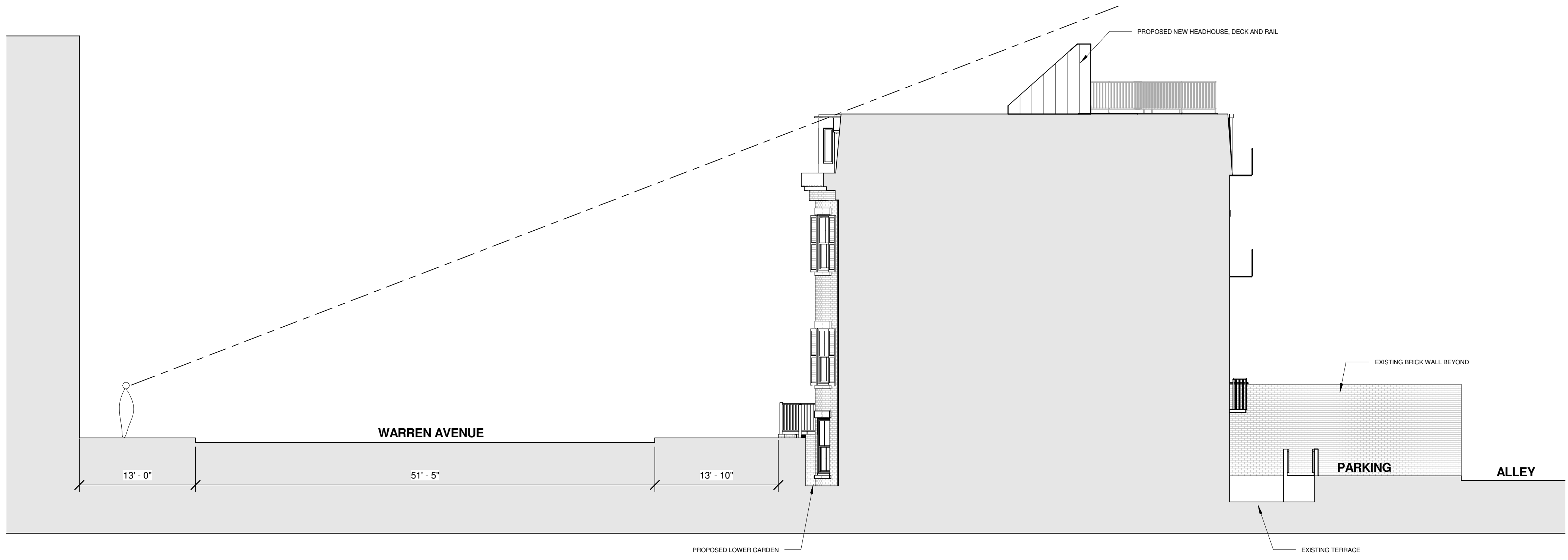
Existing rear facade



Existing rear facade



View from rear alley



Building / Site Visibility Cross Section



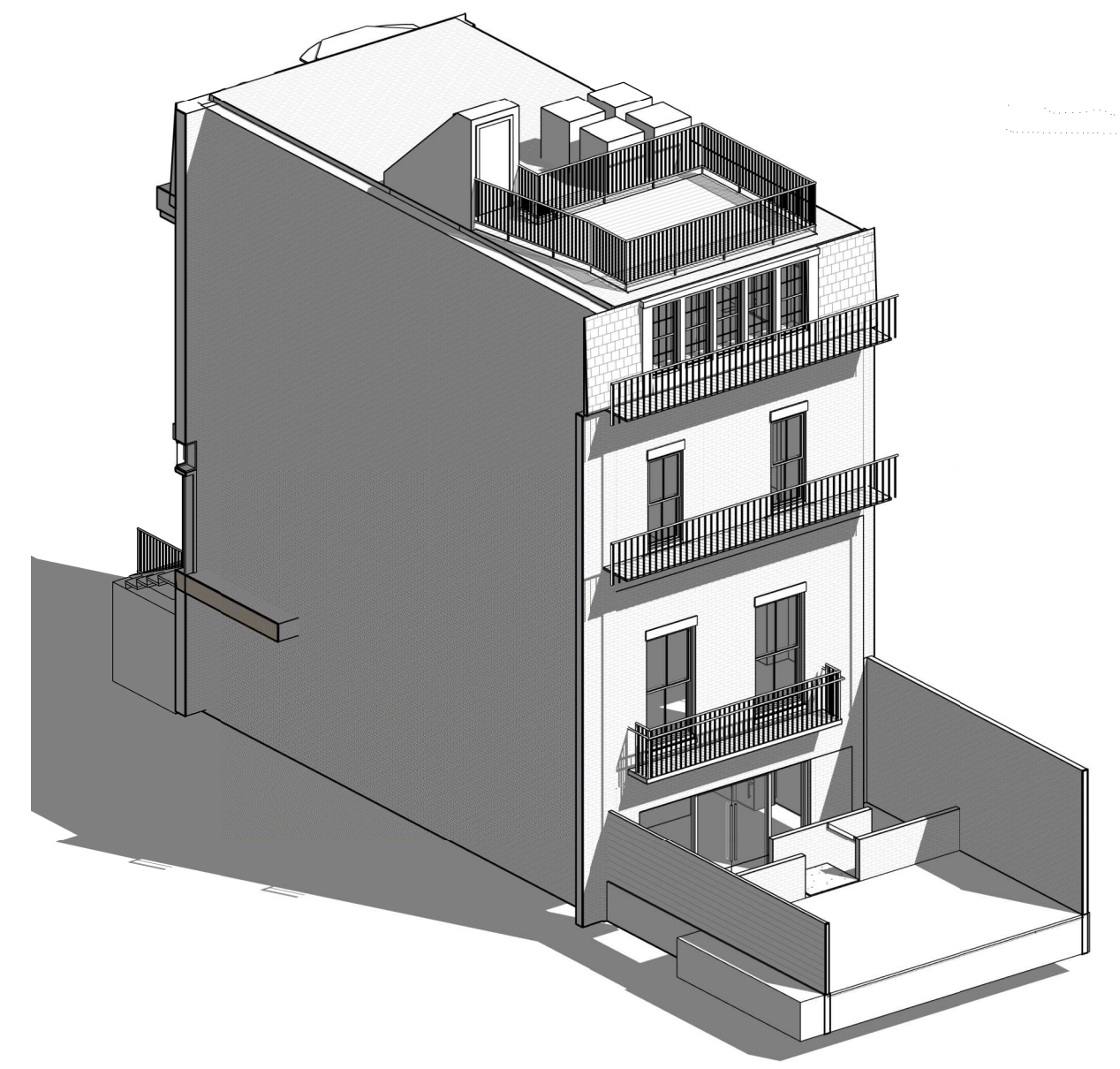
View West Canton St.



View from across Warren Ave



View from rear alley



155 Warren Ave
Proposed Intervention
07.27.2017 Scale: NTS



155 WARREN AVENUE

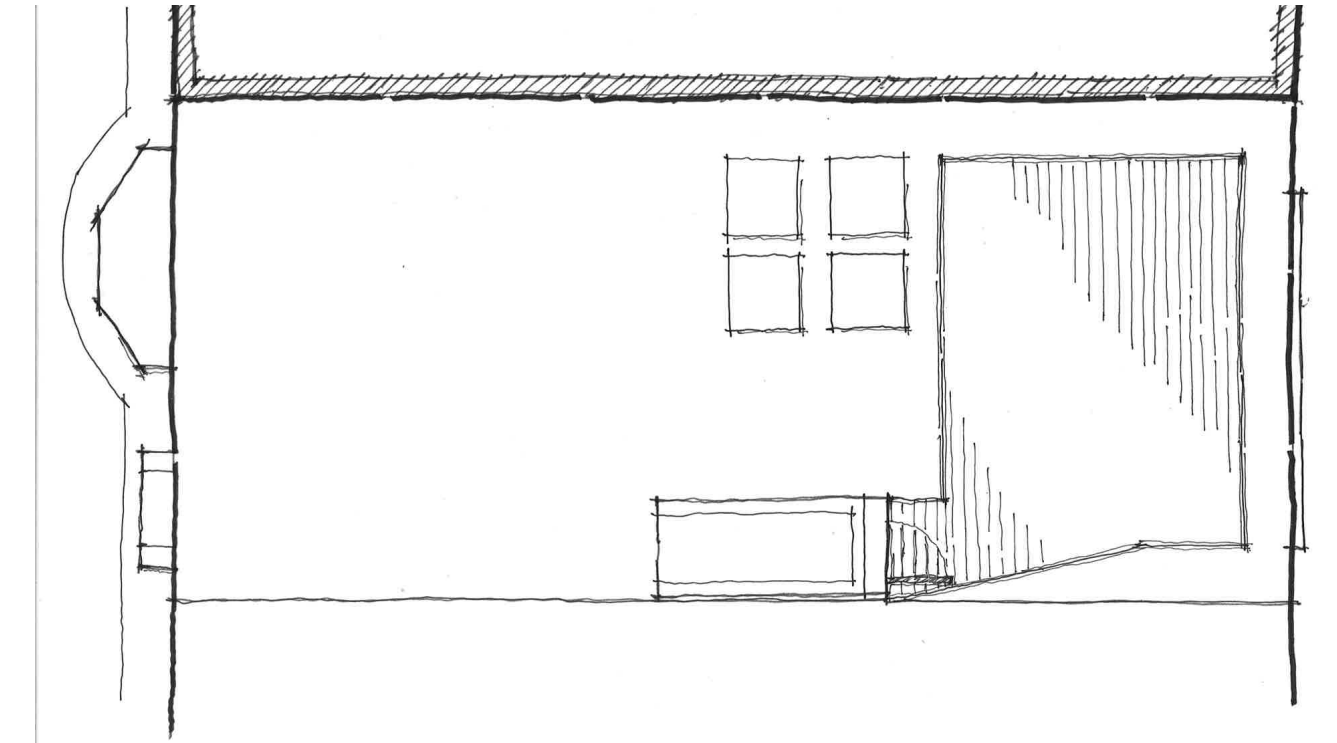
Project Narrative

155 Warren Avenue is a single-family bow-front townhouse built in 1865 on 4 levels. The front façade has an historic designation and falls under the South End Landmarks Commission to approve any modifications and renovations. Work on the front façade includes:

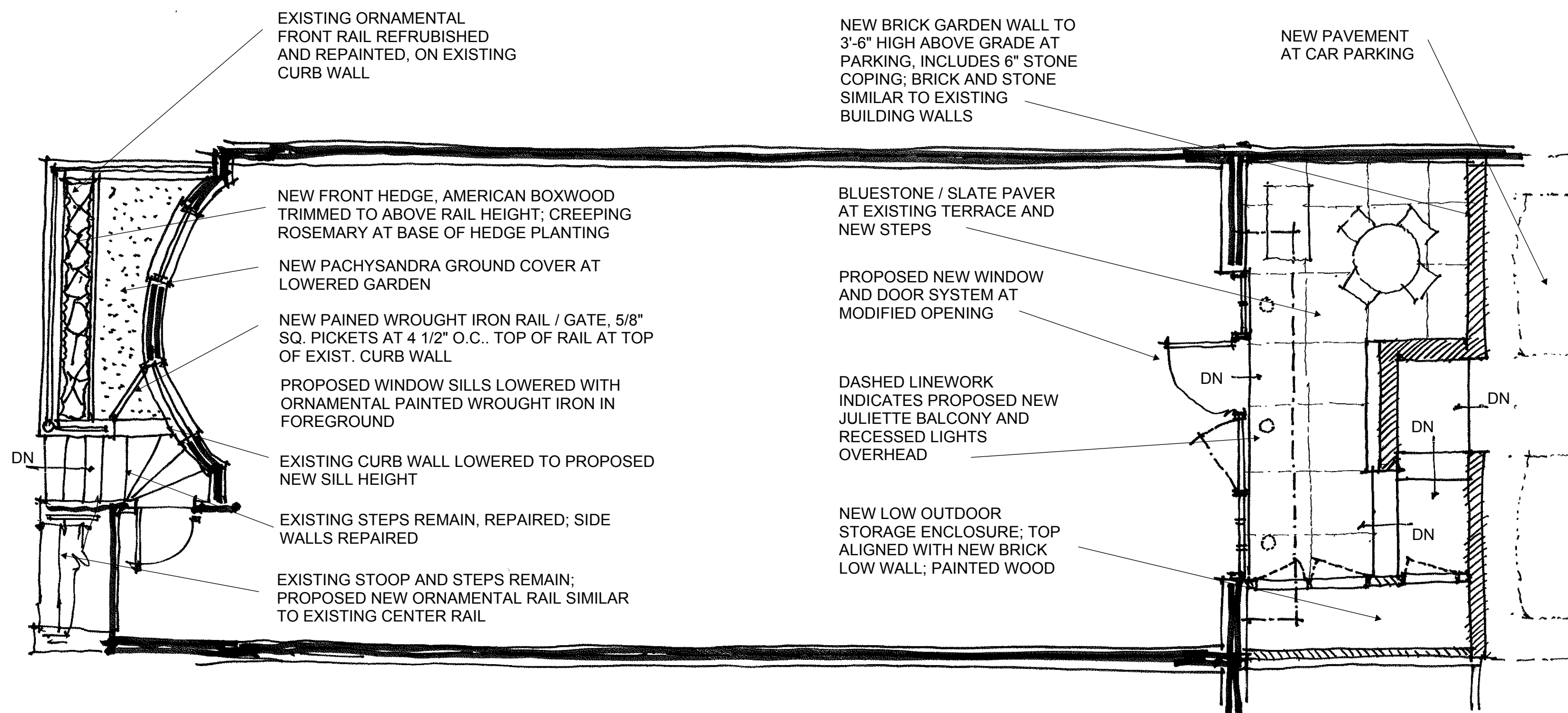
- Lowering the sills of the Garden Level windows and creating a recessed planting bed
- Restoration/renovation of the existing ornamental front rail on the existing curb wall
- Existing front steps (up and down) to be repaired as needed to make level and plumb
- Proposed new ornamental rail on one side of stairs to front door to match existing ornamental rail on other side of stairs
- Proposed new wood and insulated glass entry doors
- Window replacement throughout for insulated glass with exterior wood profiling similar to existing

The property abuts a non-public alley at the rear; as a result, the rear façade is barely visible from either Dartmouth or W. Canton Streets (see associated photos). Proposed changes to the rear façade will include the removal of the existing oriel bay window on the Parlor Level and a new Juliette balcony and window layout. In addition, a new steel and glass window wall is proposed on the rear façade of the Garden Level, with a revised stair and brick privacy wall separating the lowered terrace from at grade parking.

At the roof, a new wooden roof deck is being proposed, with associated head house for access. This roof deck is oriented toward the rear of the building so as not to see if from the public way; rooftop mechanical equipment will be similarly placed for non-visibility from the public way.



Proposed Roof Plan



Proposed Garden Level / Site Plan

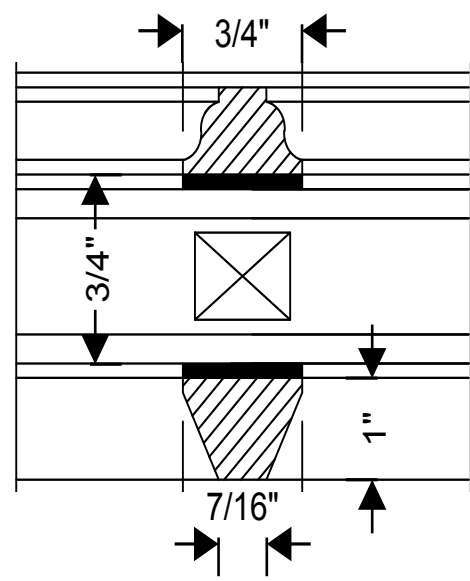
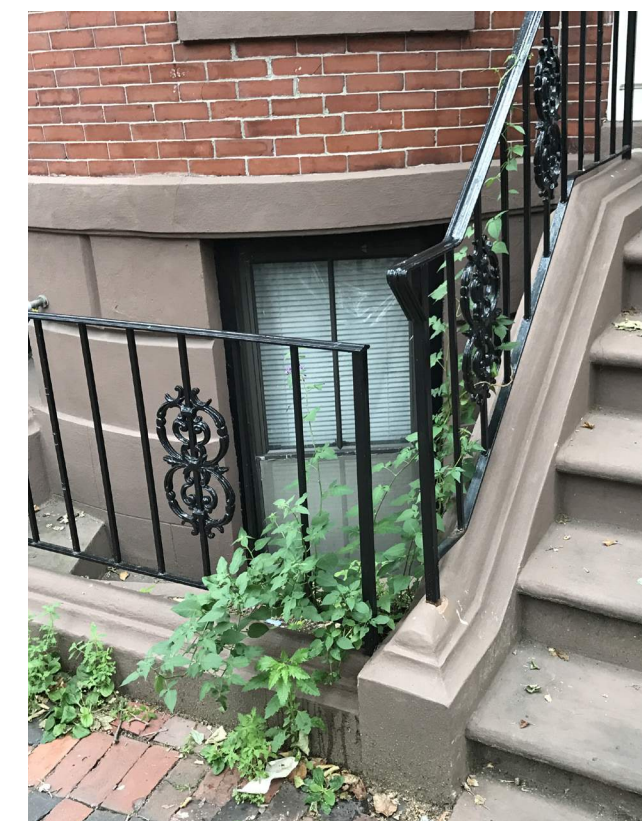
SOUTH END

NEIGHBORHOOD PRECEDENTS

79 Dartmouth



45 Warren Ave



Proposed Window Muntin
(based on existing)

107 Appleton



118 Appleton



23 West Newton St.



22 Rutland St.

