

# 48 Boylston Street

BOSTON MA 02116



**tat**  
the architectural team

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**SUBMISSIONS :**

MARCH 27, 2017

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Consultant:

Revision:

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Key Plan:

Project Name:

48 Boylston Street

BOSTON MA 02116

Sheet Name:

PROJECT COVER

Project Number:

12176

Issue Date:

March 27, 2017

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T0.01

**48 BOYLSTON STREET  
PROJECT SUMMARY**

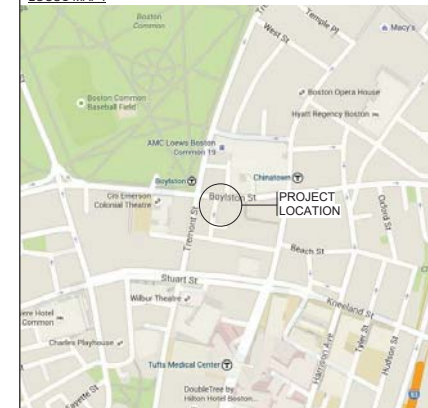
	Gross Area	Commercial GSF	Residential GSF
Sub-Basement*	8,924	3,570	5,354
Lower Level*	11,015	7,090	3,925
First Floor*	8,529	5,051	3,478
Second Floor	11,247	-	11,247
Third Floor	11,074	-	11,074
Fourth Floor	11,074	-	11,074
Fifth Floor	5,003	-	5,003
Sub-Total	66,866	15,710	51,156

\*No residential units located in the sub-basement, lower level, or first floor

	Studios	1 BRs
Sub-Basement	-	-
Lower Level	-	-
First Floor	-	-
Second Floor	14	1
Third Floor	14	1
Fourth Floor	10	6
Fifth Floor	-	-
Total	38	8
Total Dwelling Units		46

Existing Parking Spaces	Parking Spaces Required by Code	Proposed Parking Spaces
0	0	0

**LOCUS MAP :**





Tamworth Street (west/side) elevation, view southeast

**Boston Young Men's Christian Union Building 48 Boylston Street**



Tamworth Street (west/side) elevation, view northeast

**Boston Young Men's Christian Union Building 48 Boylston Street**



**Boston Young Men's Christian Union Building 48 Boylston Street**



**Boston Young Men's Christian Union Building 48 Boylston Street**

Consultant:

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Project Name:

48 Boylston Street

BOSTON MA 02116

Sheet Name:

DEMOLITION EXISTING ELEVATIONS

Project Number:

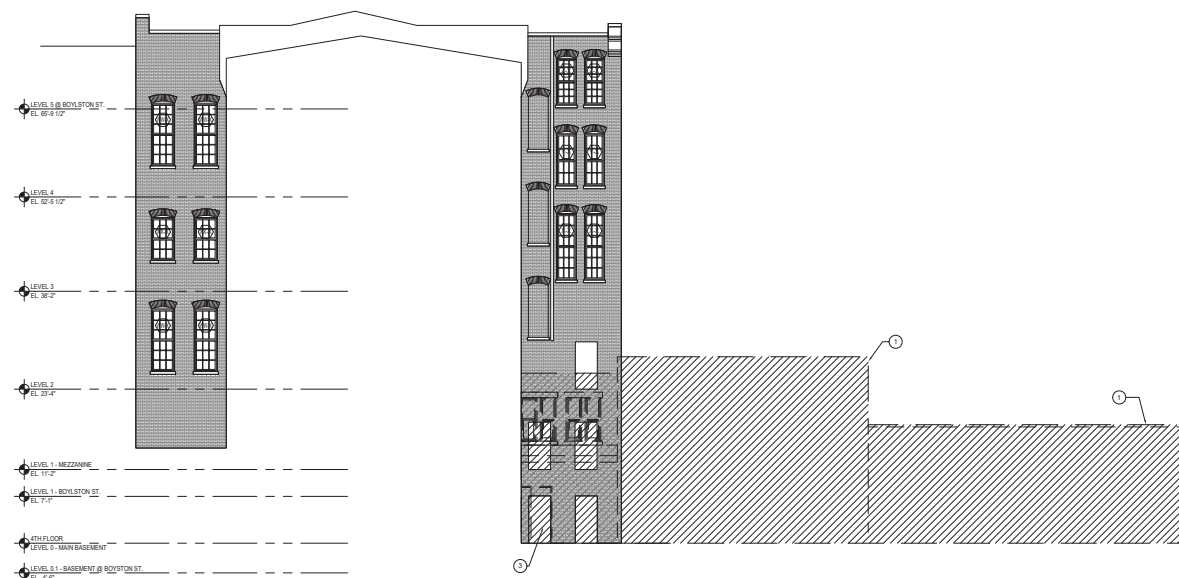
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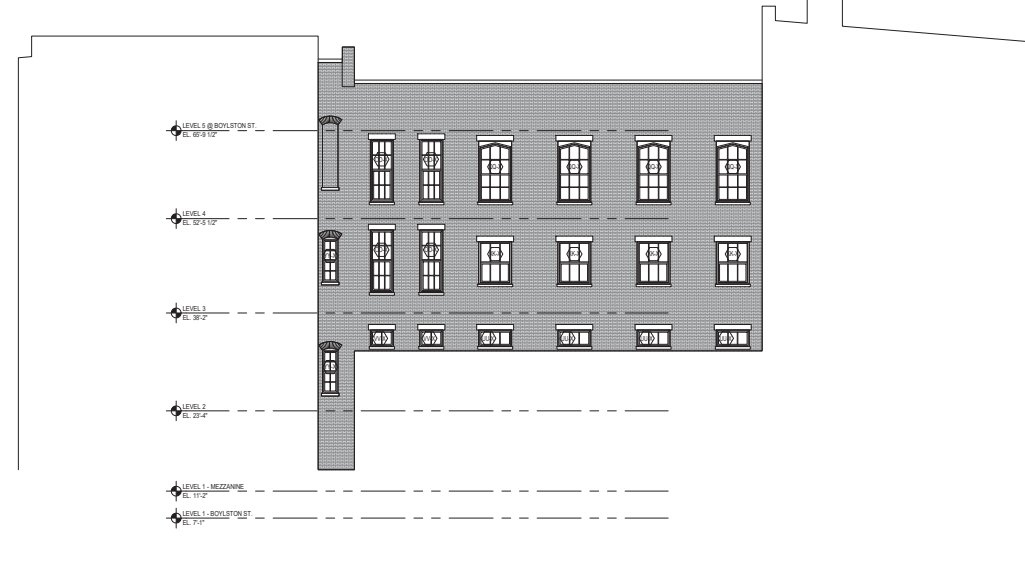
March 27, 2017

Sheet Number:

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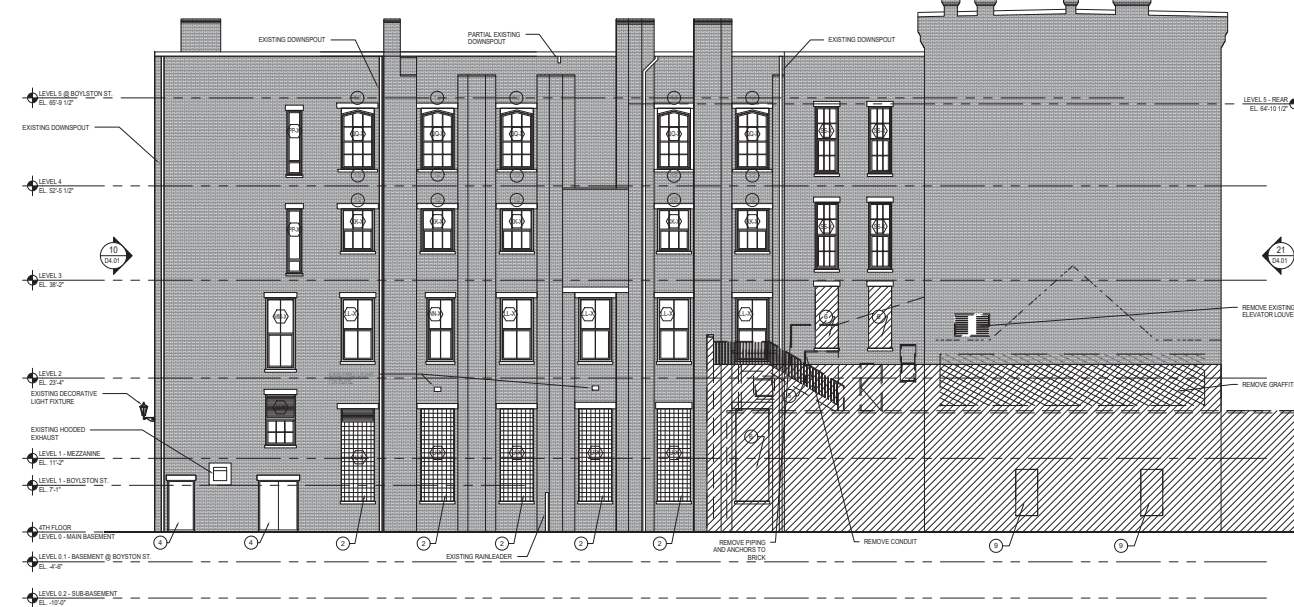
22 WEST COURTYARD ELEVATION - DEMOLITION  
Scale: 3/32" = 1'-0"



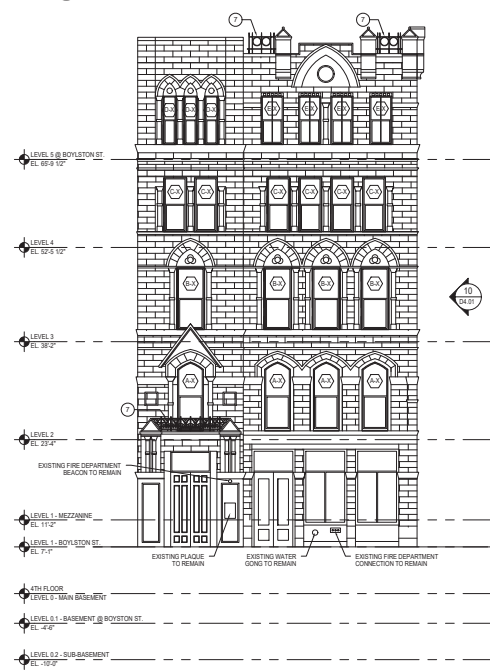
12 NORTH COURTYARD ELEVATION - DEMOLITION  
Scale: 3/32" = 1'-0"



21 EAST ELEVATION - DEMOLITION  
Scale: 3/32" = 1'-0"



11 SOUTH ELEVATION - DEMOLITION  
Scale: 3/32" = 1'-0"



20 NORTH ELEVATION - DEMOLITION  
Scale: 3/32" = 1'-0"



10 WEST ELEVATION - DEMOLITION  
Scale: 3/32" = 1'-0"

**GENERAL NOTES - DEMOLITION PLANS**

- A. IT IS THE INTENT OF THE DEMOLITION DRAWINGS TO INDICATE TO THE GREATEST POSSIBLE EXTENT THE EXISTING CONDITIONS OF THE PROPERTY AND THE GENERAL SCOPE OF WORK TO BE PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OWN INVESTIGATION OF THE PROPERTY IN ORDER TO COMPLETELY SATISFY HIMSELF AS TO THE FULL SCOPE OF WORK. ANTICIPATE AND THE SCHEDULE AND SEQUENCE OF OPERATIONS REQUIRED TO COMPLETE THE WORK. THE DEMOLITION DRAWINGS AND SPECIFICATIONS SHALL SERVE ONLY AS A BASIS FOR REQUIRED DEMOLITION AND SHALL IN NO WAY LIMIT THE COMPLETION OF ALL REQUIRED WORK. IT SHOULD BE UNDERSTOOD THAT THE FULL SCOPE OF DEMOLITION SHALL BE AS REQUIRED TO PROPERLY PREPARE THE BUILDING AND SITE FOR THE PROPER EXECUTION OF THE WORK INDICATED WITHIN THE CONSTRUCTION DOCUMENTS FOR NEW CONSTRUCTION.
- B. NO DIMENSIONAL INFORMATION IS CONTAINED WITHIN THE DEMOLITION DRAWINGS OR SPECIFICATIONS. ALL DIMENSIONALLY SENSITIVE WORK SHALL BE COORDINATED WITH CONSTRUCTION DOCUMENTS FOR NEW CONSTRUCTION AND ARE TO BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SIZES REQUIRED PRIOR TO DEMOLITION.
- C. HISTORIC ITEMS, EQUIPMENT OR SPECIFICALLY NOTED ITEMS IN THE DEMOLITION DRAWINGS THAT ARE OF INTEREST OR VALUE TO THE OWNER SHALL BE REMOVED AND STORED OR PRESERVED AND PROTECTED IN PLACE AS DIRECTED BY THE OWNER.
- D. NO STRUCTURAL ELEMENT SHALL BE CUT OR ALTERED IN ANY MANNER PRIOR TO THE INSTALLATION OF PROPER SHORING AND BRACING. REFER TO SPECIFICATIONS FOR PROCEDURE. COORDINATE WITH STRUCTURAL DRAWINGS.
- E. ALL DEMOLITION WORK AFFECTING FIRE PROTECTION, PLUMBING, MECHANICAL OR ELECTRICAL SERVICES SHALL BE COORDINATED WITH RESPECTIVE TRADES.
- F. ALL WORK AND PROPERTY TO BE PROTECTED FROM EXPOSURE TO WEATHER DURING DEMOLITION. REFER TO SPECIFICATIONS.
- G. REMOVE ALL PLANT GROWTH FROM FACADES, INCLUDING ANY MOSS, WEEDS, ETC. REPAIR AS NECESSARY.
- H. ALL POSSIBLE PRECAUTIONS SHALL BE TAKEN DURING DEMOLITION TO ENSURE THE PROTECTION OF THE PUBLIC, WORKMEN AND PROPERTY FROM CONSTRUCTION HAZARDS. REFER TO SPECIFICATIONS.
- I. IF DURING THE COURSE OF DEMOLITION ANY TERMITE, INSECT OR RODENT ACTIVITY IS EVIDENT, REPLY FINDINGS IMMEDIATELY TO OWNER FOR REVIEW.
- J. DOORS MARKED AS SALVAGE IN DEMOLITION DOOR SCHEDULE(S) TO BE REMOVED AND STORED SAFELY FOR REUSE IN NEW CONSTRUCTION. REFER TO DEMOLITION DOOR SCHEDULE(S) AND SHEET A3.20. ANY DOORS NOT INDICATED OR MARKED IN DEMO'D PARTITIONS TO BE REMOVED.
- K. REMOVE AND LEGALLY DISPOSE OF ALL UNUSED OR ABANDONED EXISTING ELECTRICAL, PLUMBING, HVAC EQUIPMENT DEVICES, OUTLETS AND FIXTURES COMPLETELY UNLESS OTHERWISE NOTED. REMOVAL INCLUDES, BUT IS NOT LIMITED TO THE ITEMS LISTED ABOVE. REFER TO SPECIFICATIONS.
- L. FOR AREAS OF EXISTING SLAB REMOVAL AT NEW STAIR OR ELEVATOR FOUNDATION WALLS/FOOTINGS REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND COORDINATE DEMOLITION EXTENT REQUIRED.
- M. STOCKPILE ALL BRICK AND STONE FROM NEW OPENINGS TO BE USED FOR MASONRY REPAIRS.
- N. EXISTING WINDOWS AND EXTERIOR DOORS TO BE REMOVED AS SHOWN. COORDINATE WINDOW / DOOR REMOVAL WITH REQUIREMENTS FOR INSTALLATION OF NEW WORK.
- O. REMOVE EXISTING INTERIOR PARTITIONS AS INDICATED. (REFER TO GENERAL NOTE D FOR LOAD BEARING PARTITIONS). REMOVE EXISTING CEILING AND CEILING SYSTEMS BACK TO EXISTING STRUCTURAL DECK AND FRAMING.
- P. AT ALL EXTERIOR WALLS REMOVE ALL INTERIOR FURRING ELEMENTS AND PREP FOR INSTALLATION OF NEW WORK. SEE WALL TYPE EBB ON SHEET A3.03.
- Q. SPECIAL CARE MUST BE TAKEN IN PRESERVING EXTERIOR AND INTERIOR FEATURES TO REMAIN. REFER TO SPECIFICATIONS.
- R. FOR ADDITIONAL REMOVALS INFORMATION RELATIVE TO THE EXTERIOR, SEE EXTERIOR REMOVALS ELEVATIONS ON SHEET DA.01.

**KEY NOTES - DEMOLITION ELEVATION**

- 1. EXISTING 1-STORY ATTACHED BUILDING TO BE DEMOLISHED.
- 2. EXISTING GLASS BLOCK INFILL TO BE REMOVED. OPENING TO REMAIN FOR INSTALLATION OF NEW ALUMINUM WINDOW.
- 3. EXISTING DOOR/LOUVER OPENING TO BE REMOVED.
- 4. EXISTING STONE/POINT FRAMING TO REMAIN. WOOD DOORS TO BE REPLACED TO MATCH EXISTING.
- 5. EXISTING STAIR AND RAILING TO BE DEMOLISHED.
- 6. EXISTING MASONRY INFILL AT EXISTING WINDOW OPENING TO BE REMOVED AND PREPARED TO RECEIVE NEW WINDOW.
- 7. EXISTING ORNAMENTAL METAL TO REMAIN.
- 8. REMOVE MASONRY INFILL AT EXISTING MASONRY OPENING AND PREPARE OPENING FOR NEW WORK.
- 9. REMOVE EXTERIOR MASONRY WALL AS INDICATED AND PREPARE OPENING FOR NEW WORK.
- 10. REMOVE EXISTING METAL SECURITY GRATE AT WINDOW AND SALVAGE FOR REFRESH AND REINSTALLATION IN PLACE.

**KEY TO SYMBOLS - DEMOLITION PLANS**

- EXISTING FLOOR TO BE REMOVED
- EXISTING PARTITION/ELEMENT TO REMAIN. PREP FOR NEW CONSTRUCTION AS NECESSARY. REFER TO STRUCTURAL DWGS FOR LOAD BEARING PARTITIONS.
- EXISTING PARTITION/ELEMENT TO BE REMOVED. REFER TO KEYNOTES AND DEMO DOOR SCHEDULE FOR MORE INFORMATION.
- EXISTING DOOR. REFER TO DEMO DOOR SCHEDULE FOR DOORS TO BE SALVAGED AND RE-INSTALLED IN NEW CONSTRUCTION

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48 Boylston Street

BOSTON MA 02116

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EXTERIOR ELEVATIONS

Project Number:

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**A4.01**

**GENERAL NOTES - EXTERIOR ELEVATIONS**

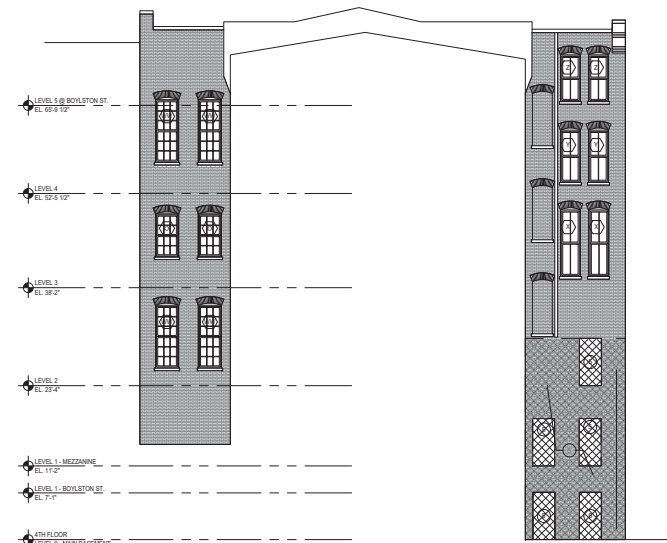
- THE NOTES SHOWN REPRESENT THE GENERAL SCOPE OF WORK TO BE PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OWN INVESTIGATION OF THE PROPERTY IN ORDER TO COMPLETELY SATISFY HIMSELF AS TO THE FULL SCOPE OF WORK ANTICIPATED AND THE SEQUENCE AND SCHEDULE OF OPERATIONS REQUIRED TO COMPLETE THE WORK. THE DRAWINGS AND SPECIFICATIONS SHALL SERVE ONLY AS A BASIS FOR REQUIRED NEW WORK AND SHALL IN NO WAY LIMIT THE COMPLETION OF ALL REQUIRED WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE DRAWINGS OR UNFORSEEN CONDITIONS.
- ALL REPAIR, REPORTING, REPLACEMENT OR NEW MASONRY TO MATCH ORIGINAL EXISTING ADJACENT MATERIALS. ALL METHODS AND MATERIALS AS SPECIFIED AND TO BE APPROVED BY HISTORIC GOVERNING AGENCIES (THE DEPARTMENT OF THE INTERIOR - NATIONAL PARK SERVICE). ALL NEW MASONRY INFILL TO BE TOOTHED IN UNLESS OTHERWISE NOTED.
- CLEAN NEW CONSTRUCTION AND EXISTING MASONRY FACADE AFTER ALL MASONRY WORK IS COMPLETE. USE CLEANING PRODUCTS AND METHODS AS SPECIFIED AND APPROVED BY HISTORIC GOVERNING AGENCIES (THE DEPARTMENT OF THE INTERIOR - NATIONAL PARK SERVICE). SEE SPECIFICATIONS.
- ALL EXISTING WINDOWS AND EXTERIOR DOORS ARE TO BE REPLACED UNLESS NOTED OTHERWISE. REFER TO WINDOW TYPE ELEVATIONS.
- VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.

**KEY NOTES - EXTERIOR ELEVATIONS**

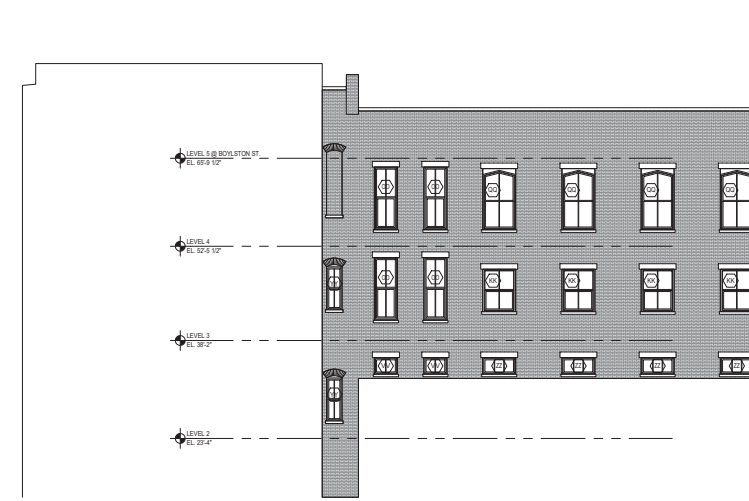
- EXISTING WINDOWS TO REMAIN.
- NEW ALUMINUM WINDOW TO MATCH ADJACENT.
- NEW WOOD DOOR IN EXISTING STOREFRONT TO MATCH EXISTING CONFIGURATION.
- NEW METAL DOORS TO MATCH EXISTING.
- NEW EXTERIOR WALL TO MATCH EXISTING ADJACENT MASONRY. PROVIDE IN PLACE MOCKUP FOR REVIEW AND APPROVAL BY ARCHITECT.
- AREA OF DAMAGED / SPALLING BRICK / STONE TO BE REPAIRED AND/OR REPORTED.
- DAMAGED STONE / CONCRETE LINTEL / SILL TO BE REPAIRED.
- REMOVE GRAFFITI FROM EXISTING BUILDING FACE AND RESTORE FACADE FINISH.
- REPAIR AND REINSTALL EXISTING SECURITY GRATE AT WINDOW.
- PROVIDE NEW METAL SECURITY GRATE AT WINDOW MATERIAL AND FINISH TO MATCH EXISTING ADJACENT GRATES.
- CLEAN LOOSE GROUT AND JOINT. PROVIDE SEALANT AND BACKER ROD AT EXISTING BUILDING JOINT.
- CLEAN / REMOVE EFFLORESCENCE FROM EXISTING BRICK FACADE.

**ELEVATION LEGEND**

- NEW BRICK MASONRY TO MATCH EXISTING
- EXISTING BRICK MASONRY



22 PROPOSED ELEVATION - WEST COURTYARD  
Scale : 3/32" = 1'-0"



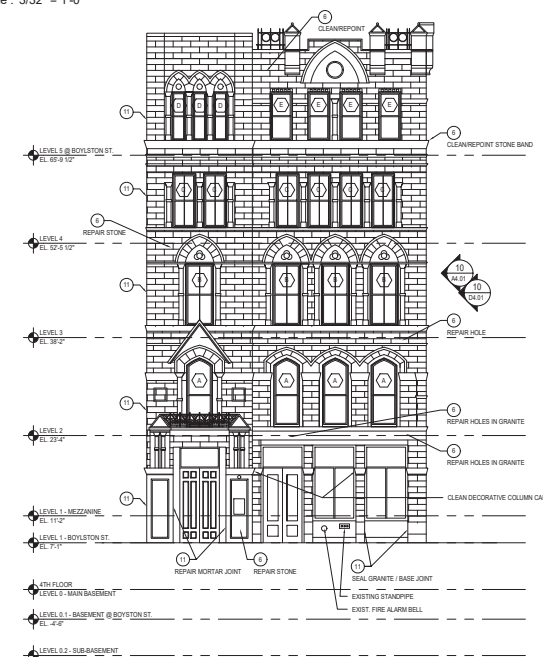
12 PROPOSED ELEVATION - NORTH COURTYARD  
Scale : 3/32" = 1'-0"



21 PROPOSED ELEVATION - EAST  
Scale : 3/32" = 1'-0"



11 PROPOSED ELEVATION - SOUTH  
Scale : 3/32" = 1'-0"



20 PROPOSED ELEVATION - NORTH  
Scale : 3/32" = 1'-0"



10 PROPOSED ELEVATION - WEST  
Scale : 3/32" = 1'-0"

Consultant:



Revision:


Engineer of Record:

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Scale: As indicated

Key Plan:

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Boston MA 02116

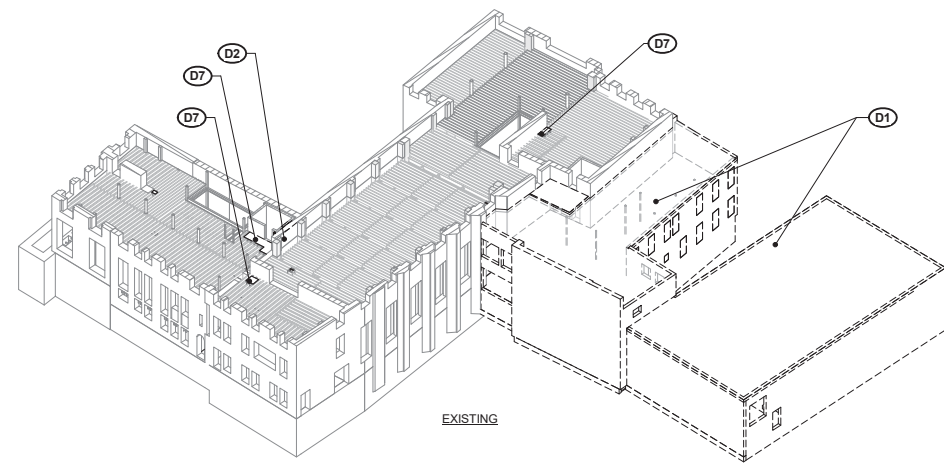
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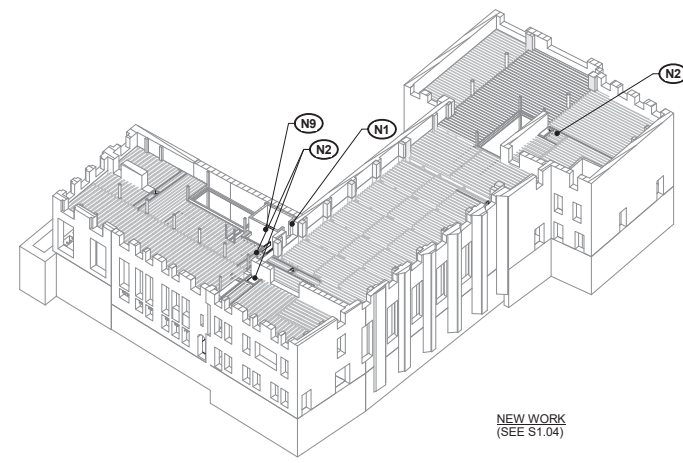
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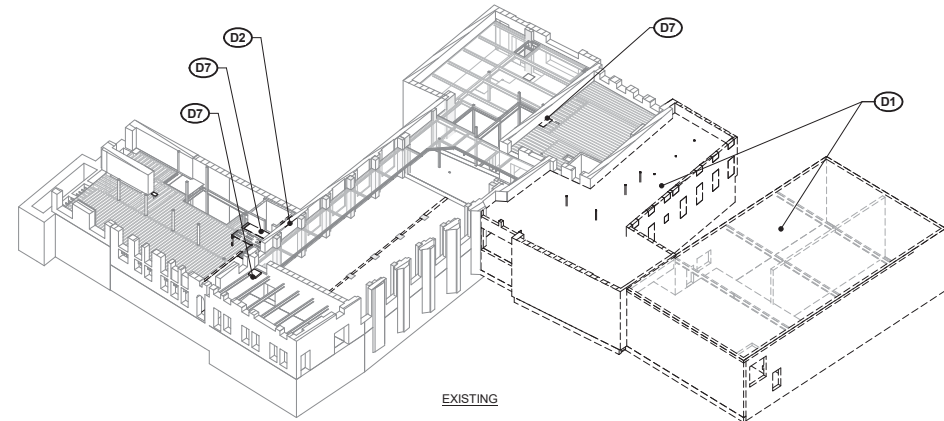


EXISTING

**4 LEVEL 2 FRAMING**  
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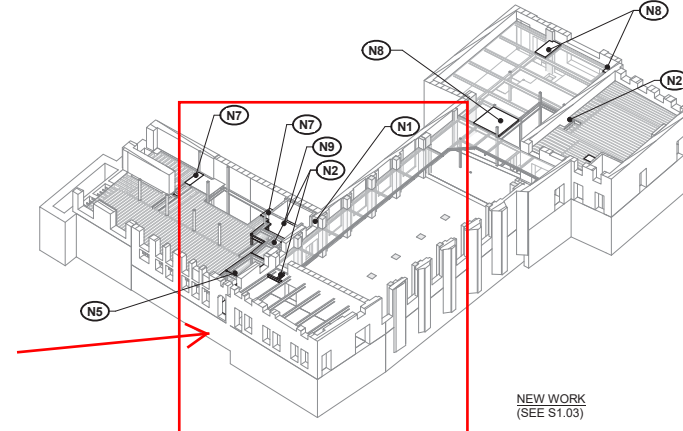


NEW WORK  
(SEE S1.04)

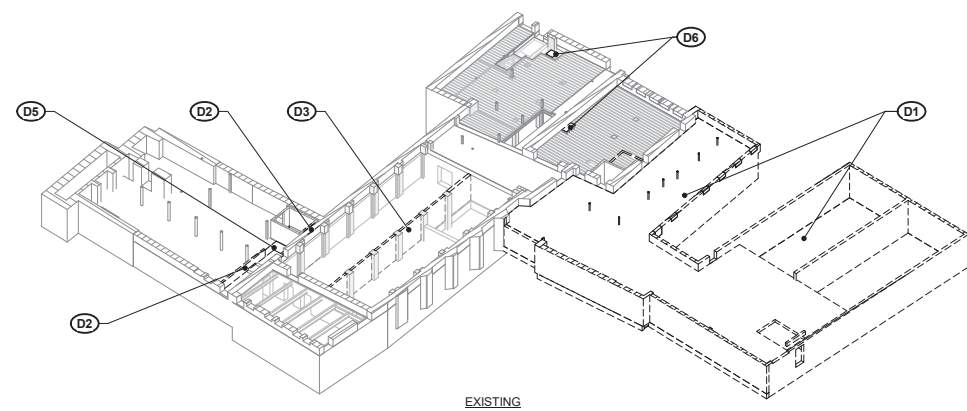


EXISTING

**3 LEVEL 1 FRAMING**  
N.T.S.

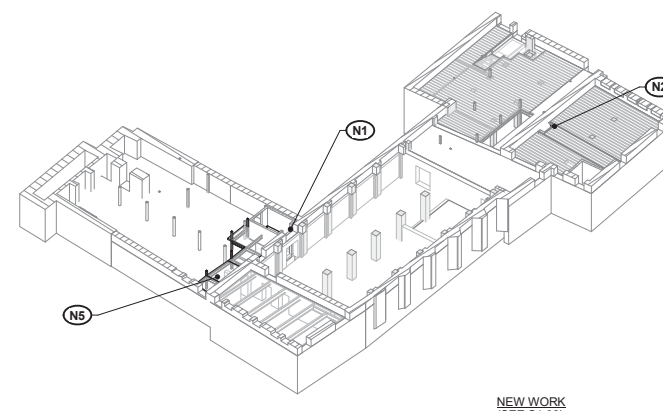


NEW WORK  
(SEE S1.03)

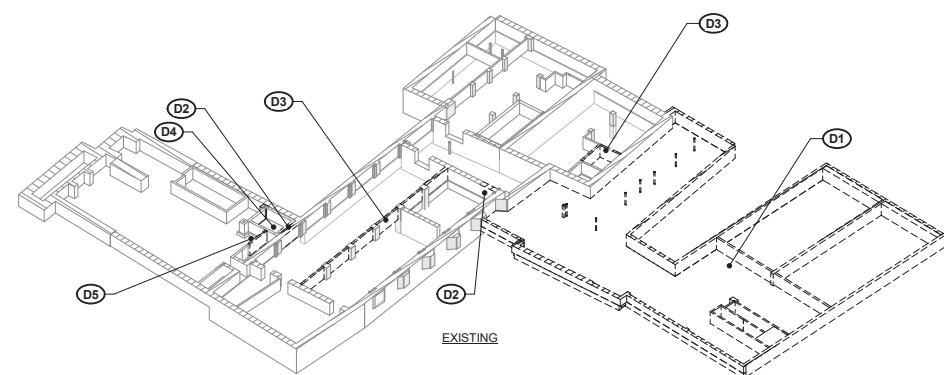


EXISTING

**2 BASEMENT FRAMING**  
N.T.S.

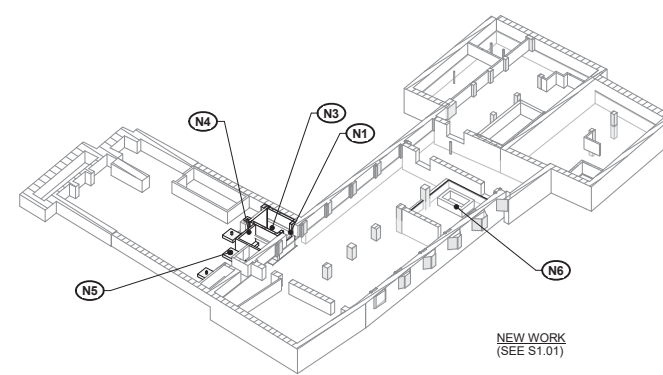


NEW WORK  
(SEE S1.02)



EXISTING

**1 SUB-BASEMENT**  
N.T.S.



NEW WORK  
(SEE S1.01)

**SCOPE OF STRUCTURAL WORK**

MAJOR DEMOLITION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- (D1) DEMOLISH AND REMOVE PORTION OF EXISTING BUILDING.
- (D2) DEMOLISH AND REMOVE PORTION OF EXISTING MASONRY BEARING WALL.
- (D3) DEMOLISH AND REMOVE EXISTING NON-BEARING MASONRY PARTITION WALL.
- (D4) DEMOLISH AND EXISTING CONCRETE ELEVATOR PIT WALLS AND MAT BELOW BASEMENT LEVEL. EXISTING ELEVATOR PIT TO BE SHORED IN PLACE TO ALLOW FOR LOWERING OF PIT. COORD. W/ ARCH.
- (D5) DEMOLISH AND REMOVE PORTION OF EXISTING SLAB AND WALL FOR CONSTRUCTION OF NEW ELEVATOR MACHINE ROOM.
- (D6) DEMOLISH AND REMOVE PORTION OF EXISTING WOOD FLOOR FRAMING AS REQUIRED FOR NEW SHAFT OPENING.
- (D7) DEMOLISH AND REMOVE PORTION OF EXISTING WOOD FLOOR FRAMING AS REQUIRED FOR NEW SHAFT OPENING.
- (D8) DEMOLISH AND REMOVE PORTION OF EXISTING CONCRETE OR COMPOSITE FLOOR AS REQUIRED FOR NEW SHAFT OPENING.
- (D9) DEMOLISH AND REMOVE EXISTING WOOD POST ABOVE LEVEL 5.
- (D10) REPAIR AND BRACE EXISTING CHIMNEY.

MAJOR NEW STRUCTURAL WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- (N1) PROVIDE NEW LINTELS AT NEW OPENING IN EXISTING MASONRY WALL.
- (N2) PROVIDE NEW WOOD AND STEEL FRAMING AT NEW SHAFT OPENINGS.
- (N3) PROVIDE NEW REINFORCED CONCRETE WALL AND FOUNDATION BELOW EXISTING ELEVATOR SHAFT. UNDERPIN EXISTING FOUNDATIONS AS REQUIRED.
- (N4) PROVIDE NEW REINFORCED CONCRETE WALL AND FOUNDATION AT NEW ELEVATOR MACHINE ROOM.
- (N5) PROVIDE NEW COMPOSITE FLOOR SUPPORTED ON NEW STEEL BEAMS, STEEL COLUMNS AND NEW FOUNDATIONS AT NEW RAMP.
- (N6) INFILL EXISTING PIT w/ NEW SLAB ON L.T. WT. FILL.
- (N7) INFILL EXISTING FLOOR OPENING WITH NEW WOOD DECK ON WOOD FRAMING.
- (N8) INFILL EXISTING OPENING WITH NEW COMPOSITE FLOOR ON NEW STEEL BEAMS.
- (N9) INFILL EXISTING OPENING IN CMU WALL.
- (N10) REINFORCE EXISTING WOOD FLOOR FRAMING BELOW NEW STAIRS WITH NEW WOOD AND STEEL MEMBERS.
- (N11) PROVIDE NEW FRAMING AND POSTS AT NEW SHAFT OPENINGS.
- (N12) REINFORCE EXISTING ROOF FRAMING AT NEW ROOF TOP UNITS.
- (N13) BRACE EXISTING PARAPETS AND CHIMNEYS.
- (N14) REBUILD EXISTING DETERIORATED PARAPET.



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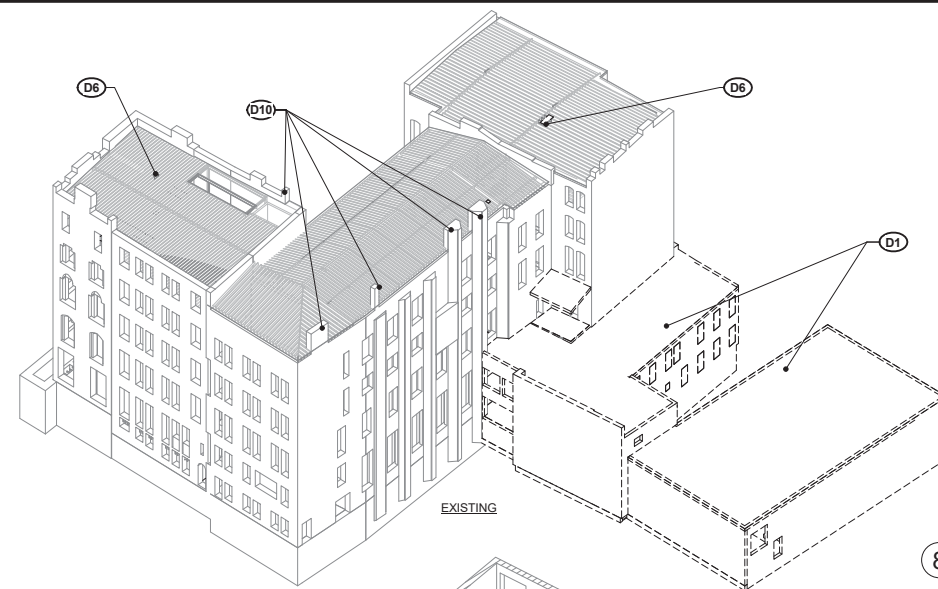
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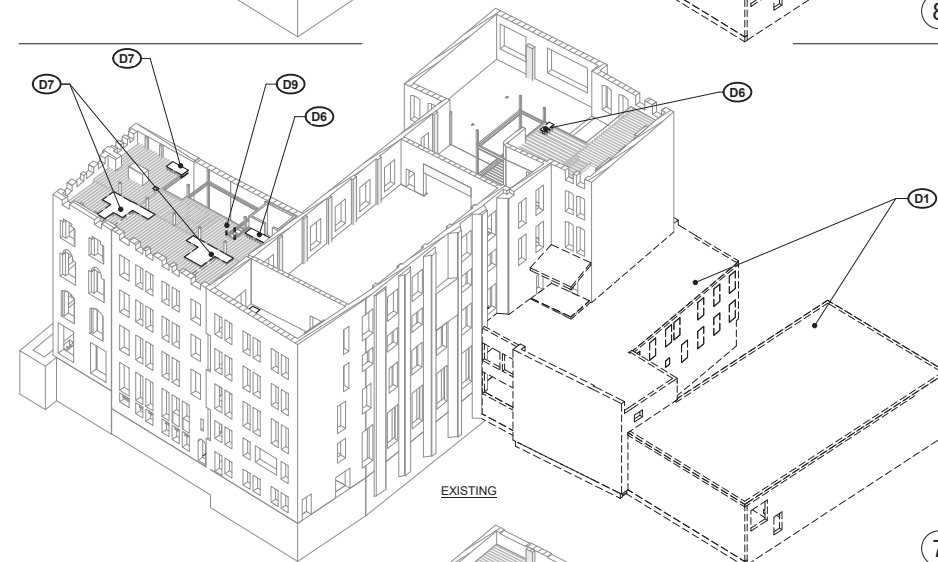
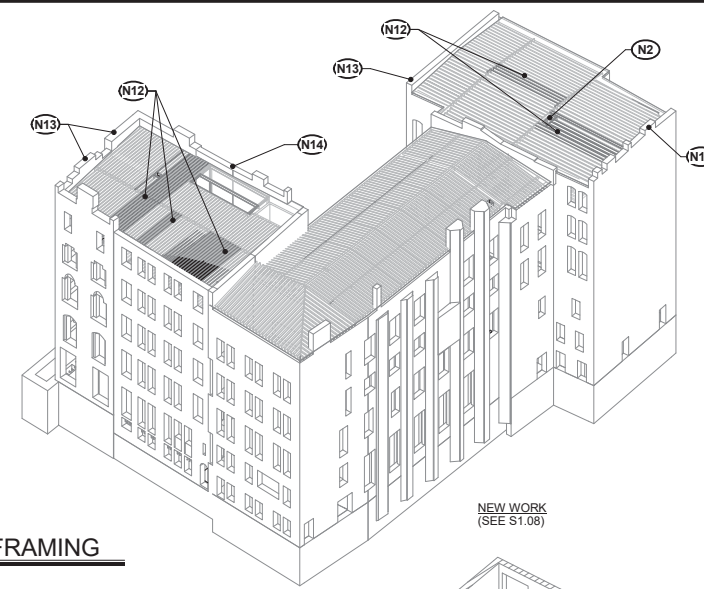
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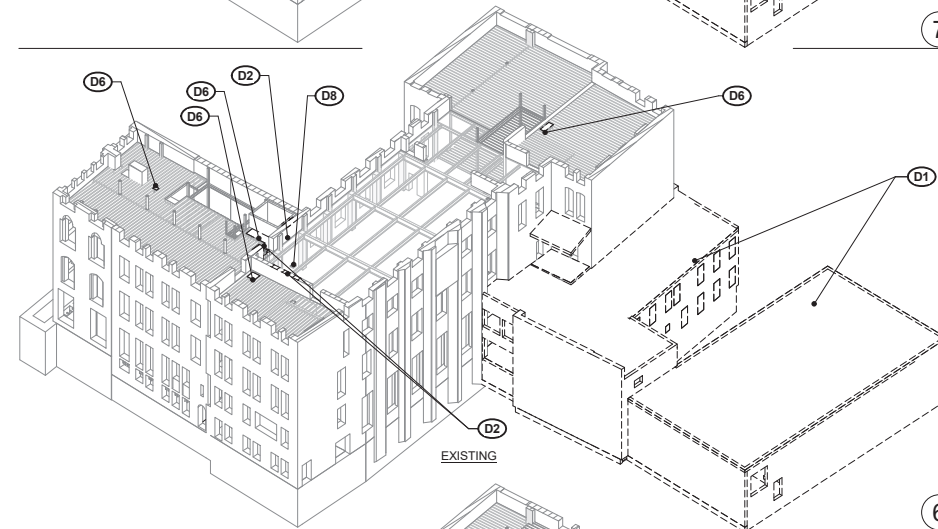
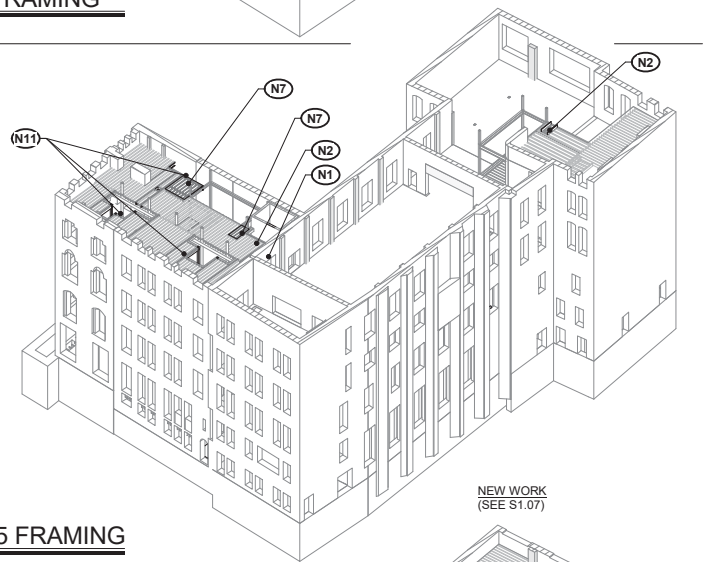
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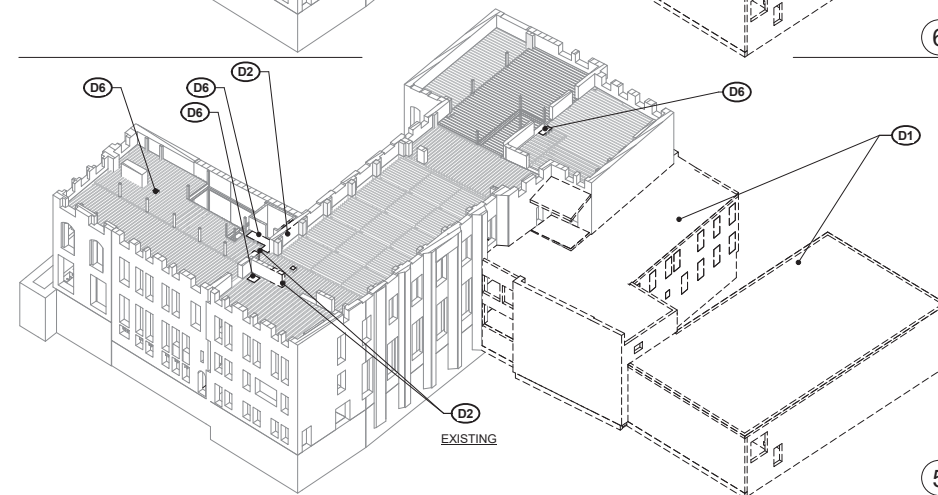
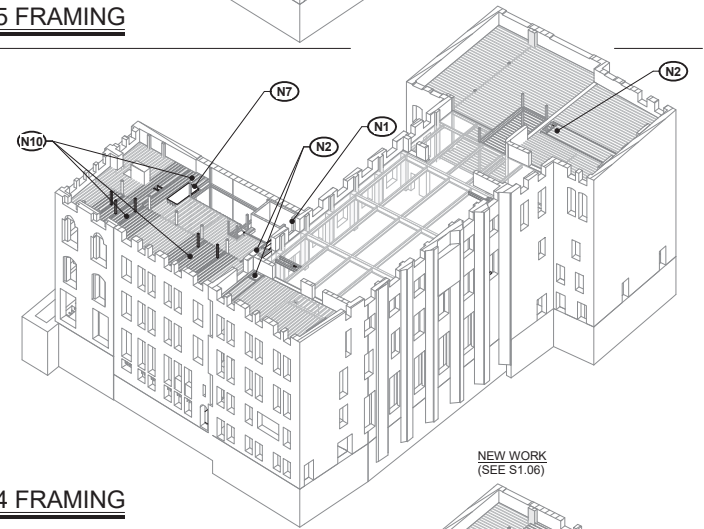
**8 ROOF FRAMING**  
N.T.S.



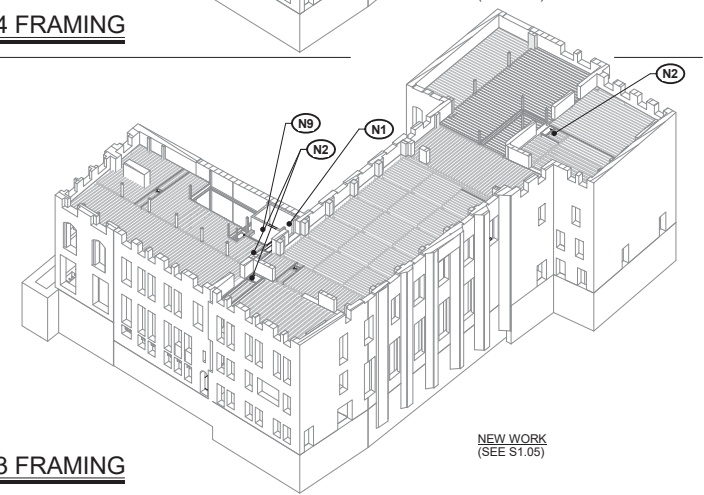
**7 LEVEL 5 FRAMING**  
N.T.S.



**6 LEVEL 4 FRAMING**  
N.T.S.



**5 LEVEL 3 FRAMING**  
N.T.S.



**SCOPE OF STRUCTURAL WORK**

MAJOR DEMOLITION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- (D1) DEMOLISH AND REMOVE PORTION OF EXISTING BUILDING.
- (D2) DEMOLISH AND REMOVE PORTION OF EXISTING MASONRY BEARING WALL.
- (D3) DEMOLISH AND REMOVE EXISTING NON-BEARING MASONRY PARTITION WALL.
- (D4) DEMOLISH AND EXISTING CONCRETE ELEVATOR PIT WALLS AND MAT BELOW BASEMENT LEVEL. EXISTING ELEVATOR PIT TO BE SHORED IN PLACE TO ALLOW FOR LOWERING OF PIT. COORD. W ARCH.
- (D5) DEMOLISH AND REMOVE PORTION OF EXISTING SLAB AND WALL FOR CONSTRUCTION OF NEW ELEVATOR MACHINE ROOM.
- (D6) DEMOLISH AND REMOVE PORTION OF EXISTING WOOD FLOOR FRAMING AS REQUIRED FOR NEW SHAFT OPENING.
- (D7) DEMOLISH AND REMOVE PORTION OF EXISTING WOOD FLOOR FRAMING AS REQUIRED FOR NEW STAIR OPENING.
- (D8) DEMOLISH AND REMOVE PORTION OF EXISTING CONCRETE OR COMPOSITE FLOOR AS REQUIRED FOR NEW SHAFT OPENING.
- (D9) DEMOLISH AND REMOVE EXISTING WOOD POST ABOVE LEVEL 5.
- (D10) REPAIR AND BRACE EXISTING CHIMNEY.

MAJOR NEW STRUCTURAL WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- (N1) PROVIDE NEW LINTELS AT NEW OPENING IN EXISTING MASONRY WALL.
- (N2) PROVIDE NEW WOOD AND STEEL FRAMING AT NEW SHAFT OPENINGS.
- (N3) PROVIDE NEW REINFORCED CONCRETE WALL AND FOUNDATION BELOW EXISTING ELEVATOR SHAFT. UNDERPIN EXISTING FOUNDATIONS AS REQUIRED.
- (N4) PROVIDE NEW REINFORCED CONCRETE WALL AND FOUNDATION AT NEW ELEVATOR MACHINE ROOM.
- (N5) PROVIDE NEW COMPOSITE FLOOR SUPPORTED ON NEW STEEL BEAMS, STEEL COLUMNS AND NEW FOUNDATIONS AT NEW RAMP.
- (N6) INFILL EXISTING PIT W/ NEW SLAB ON LT. WT. FILL.
- (N7) INFILL EXISTING FLOOR OPENING WITH NEW WOOD DECK ON WOOD FRAMING.
- (N8) INFILL EXISTING OPENING WITH NEW COMPOSITE FLOOR ON NEW STEEL BEAMS.
- (N9) INFILL EXISTING OPENING IN CMU WALL.
- (N10) REINFORCE EXISTING WOOD FLOOR FRAMING BELOW NEW STAIRS WITH NEW WOOD AND STEEL MEMBERS.
- (N11) PROVIDE NEW FRAMING AND POSTS AT NEW STAIR OPENINGS.
- (N12) REINFORCE EXISTING ROOF FRAMING AT NEW ROOF TOP UNITS.
- (N13) BRACE EXISTING PARAPETS AND CHIMNEYS.
- (N14) REBUILD EXISTING DETERIORATED PARAPET.



Marty's Way (side/east) elevation, view southwest

**Boston Young Men's Christian Union Building 48 Boylston Street**



Marty's Way (side/east) elevation, view southwest

Consultant:

Revision:

Architect of Record:

Drawn: NT

Checked: GH

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:  
**48 Boylston Street**

BOSTON MA 02116

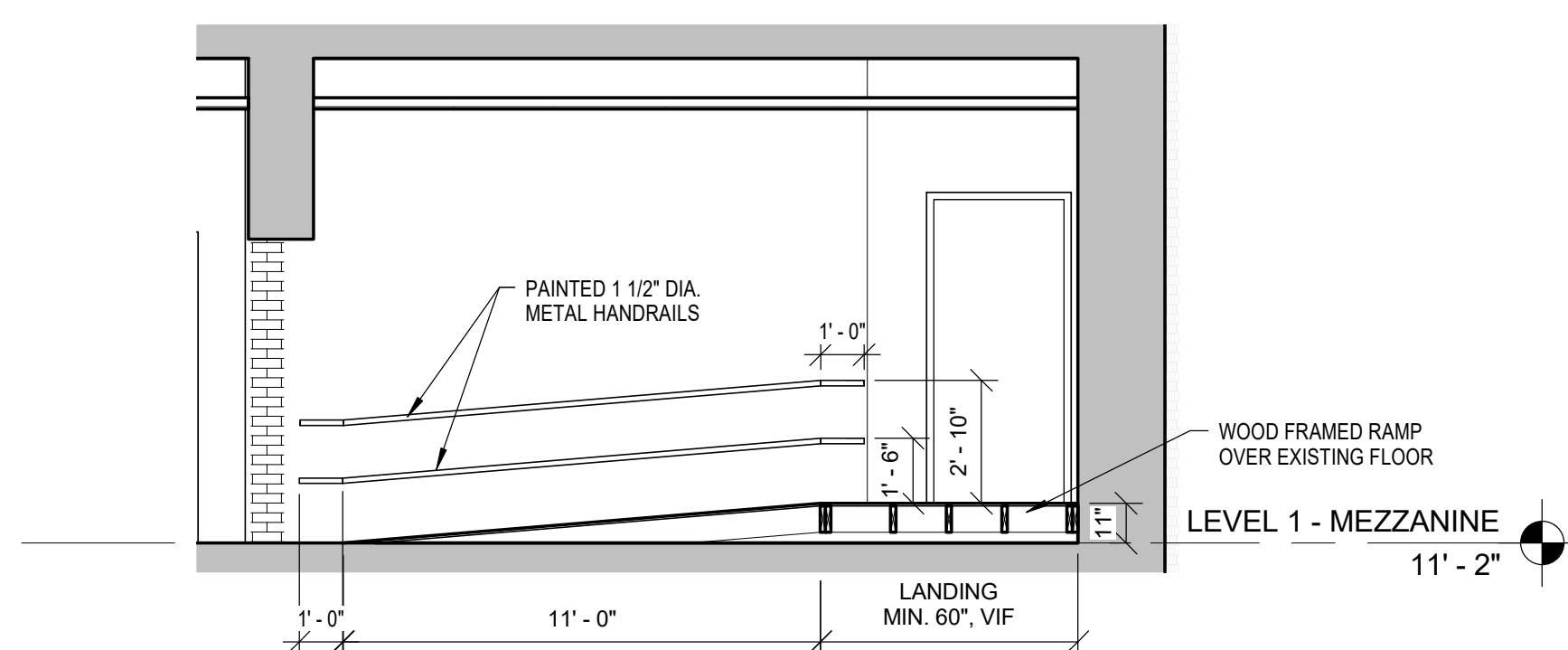
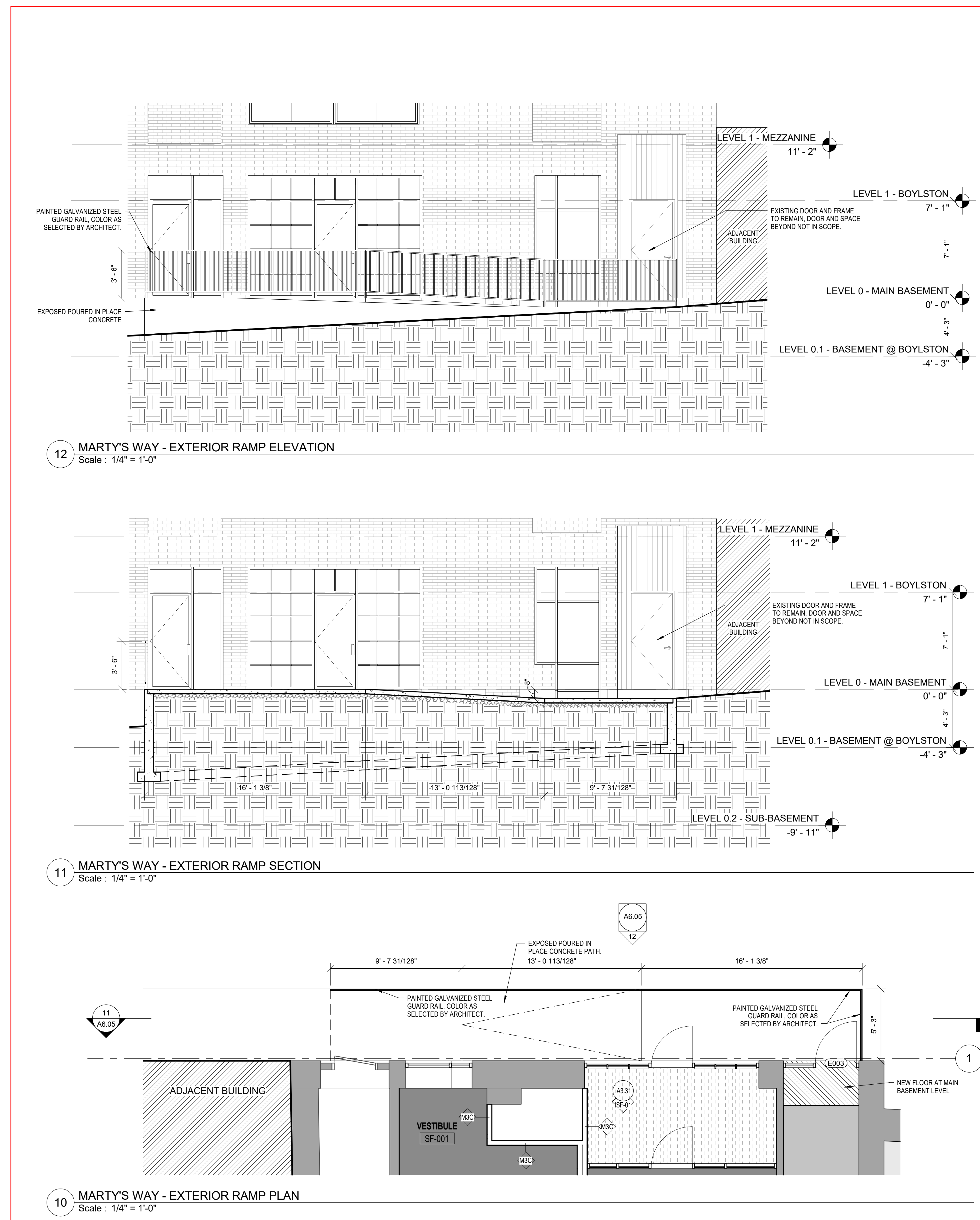
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**EXTERIOR & INTERIOR  
RAMPS - PLANS AND  
SECTIONS**

Project Number:  
**12176**

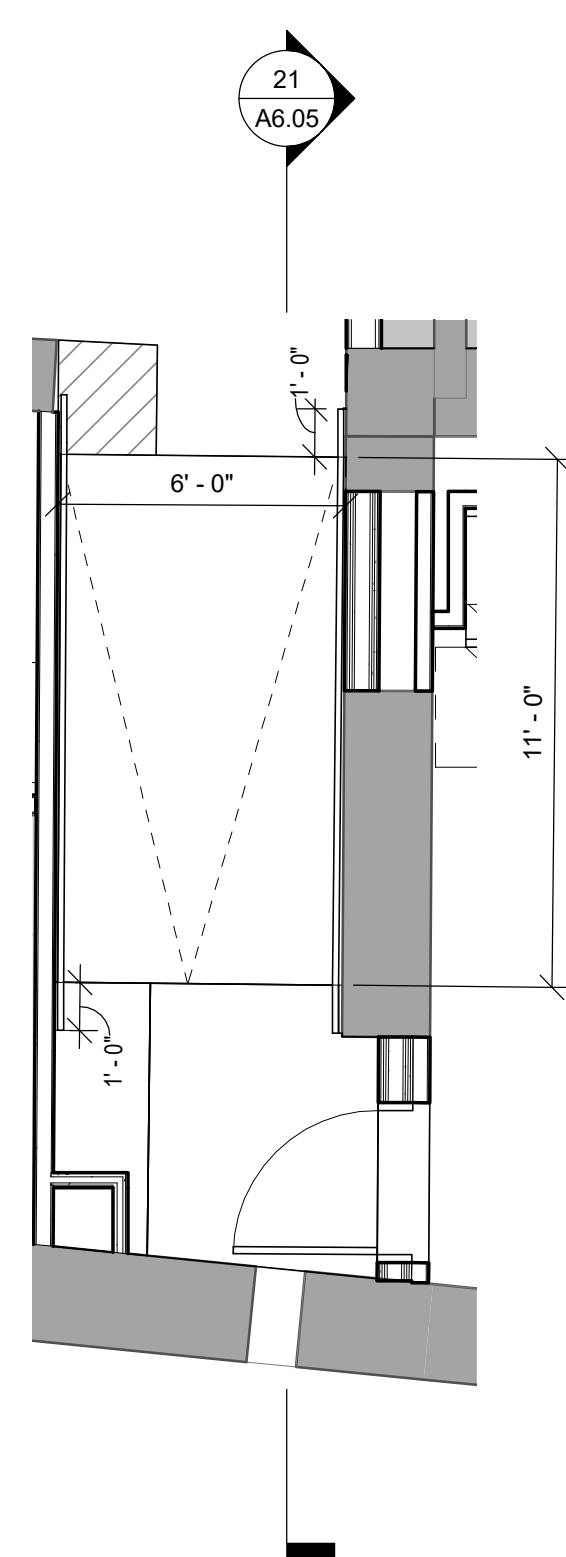
Issue Date:  
**March 27, 2017**

Sheet Number:

**A6.05**



**21 COMMUNITY ROOM RAMP - SECTION**  
Scale: 1/4" = 1'-0"



**20 COMMUNITY ROOM RAMP - PLAN**  
Scale: 1/4" = 1'-0"