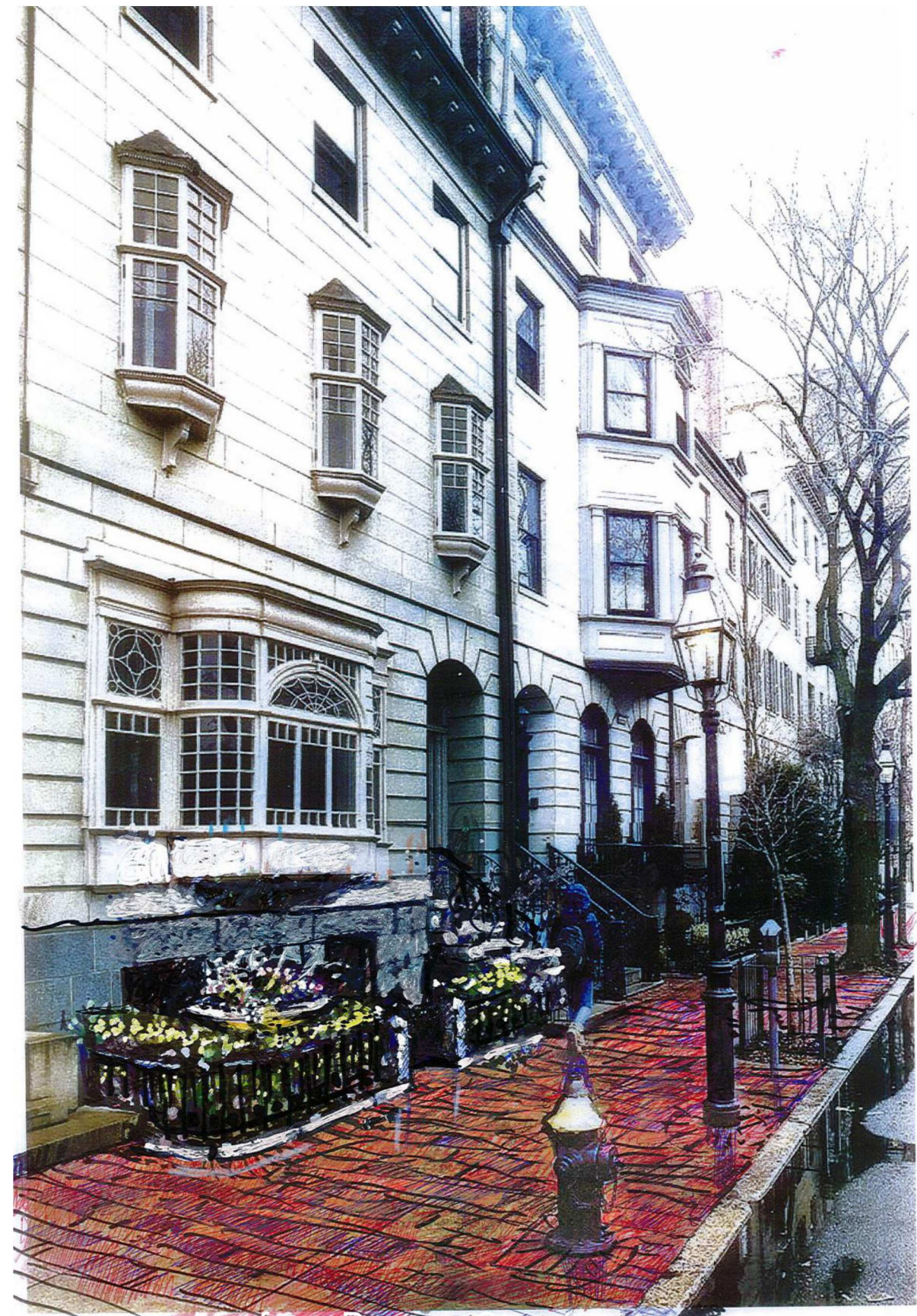




Photograph from Archives circa 1870





75 Beacon Street

Modify Front Area Way



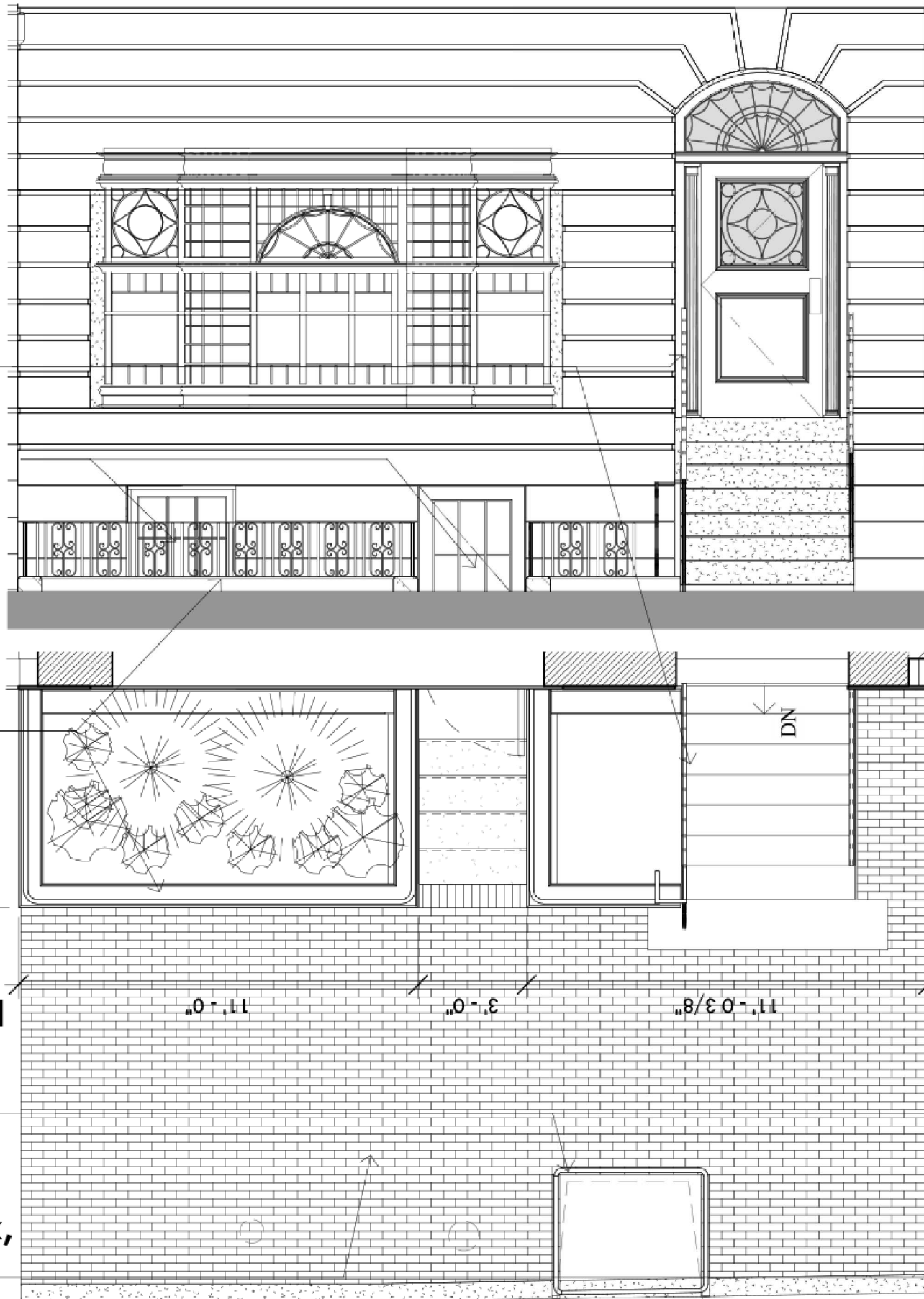
7d. (e) Railing to remain, Beacon St.

8. Replace existing non-original window and door ground level Beacon St.

7b. (n) Granite curb at new garden, Beacon St.

7a. (n) Low painted steel railing, Beacon St.

7c. (n) brick paver sidewalk, Beacon St.



Modify Front Area Way

75 Beacon Street



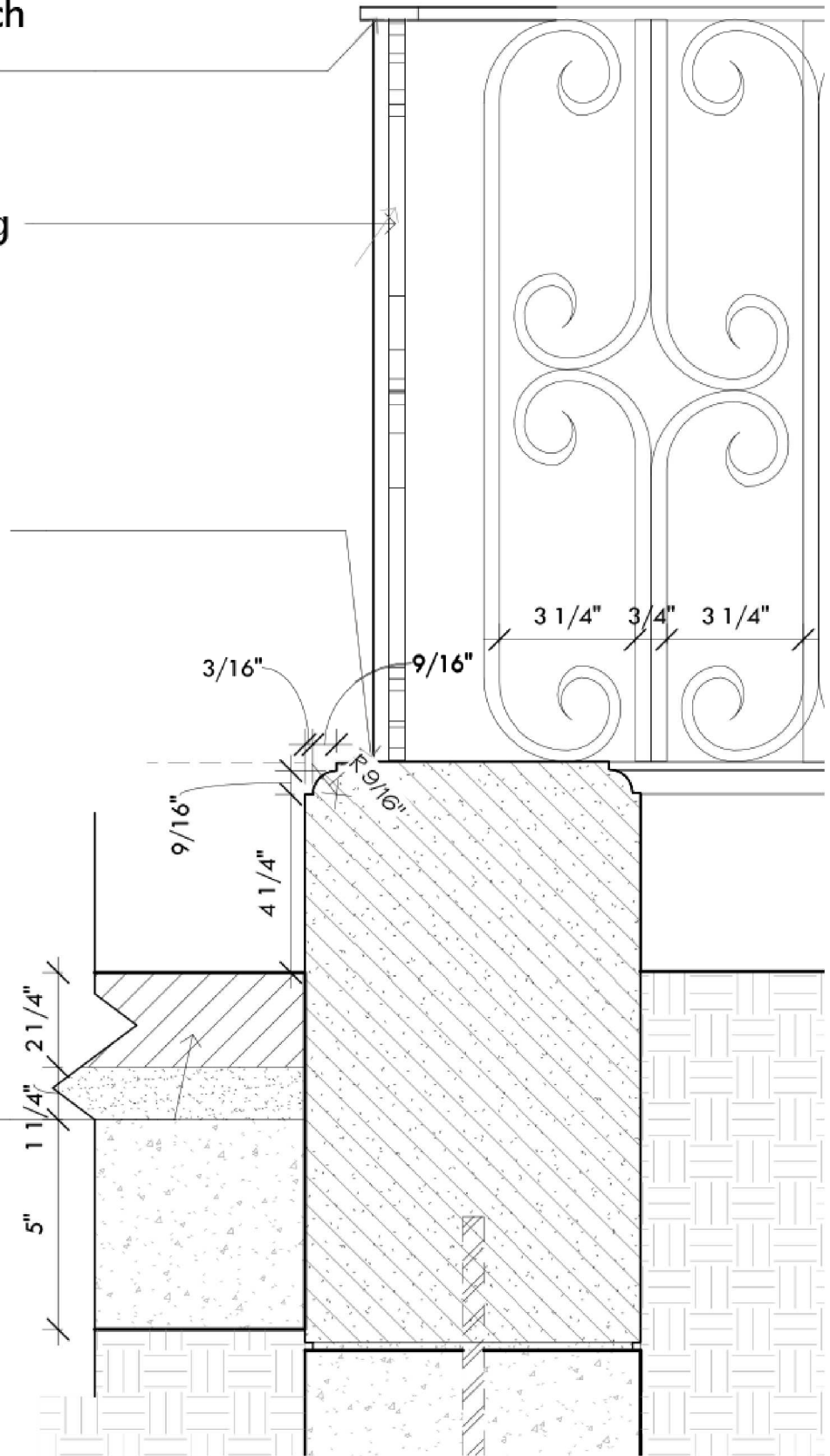


7d. Flat stock painted metal railing to match existing stair railing

7a. Install (n) low painted steel railing

7b. Install (n) low custom granite curb

7c. Install (n) brick pavers over concrete



Modify Front Area Way





5c. Rooftop addition, install new wood windows and door, Beacon St.

6. Remove existing non-original elevator shaft

6a. Line of new rooftop addition

12. Replace existing windows 3rd, and 4th floor, Beacon St.

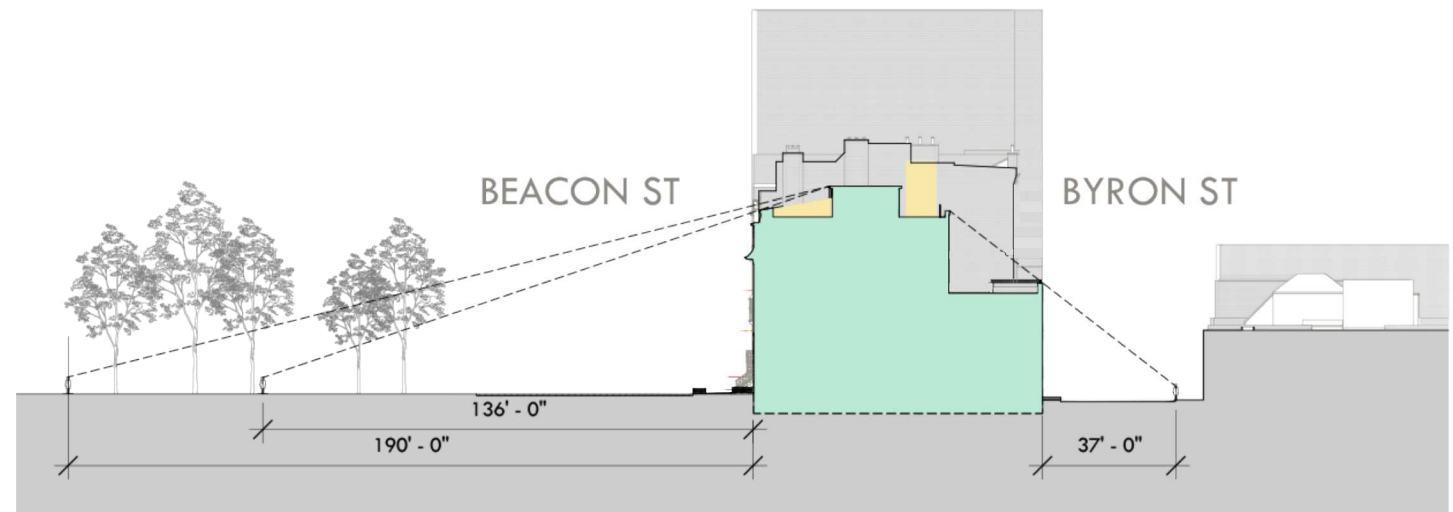
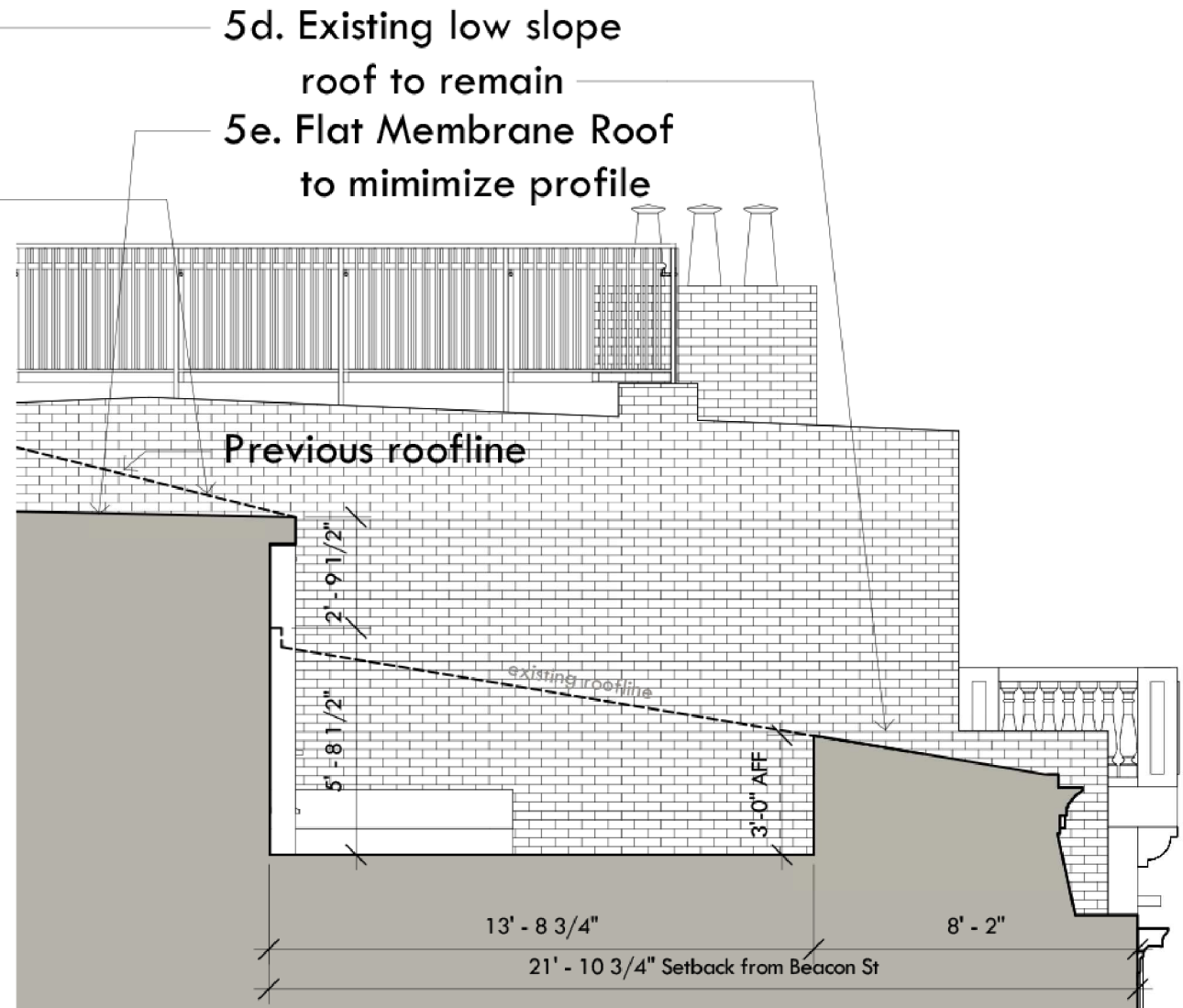
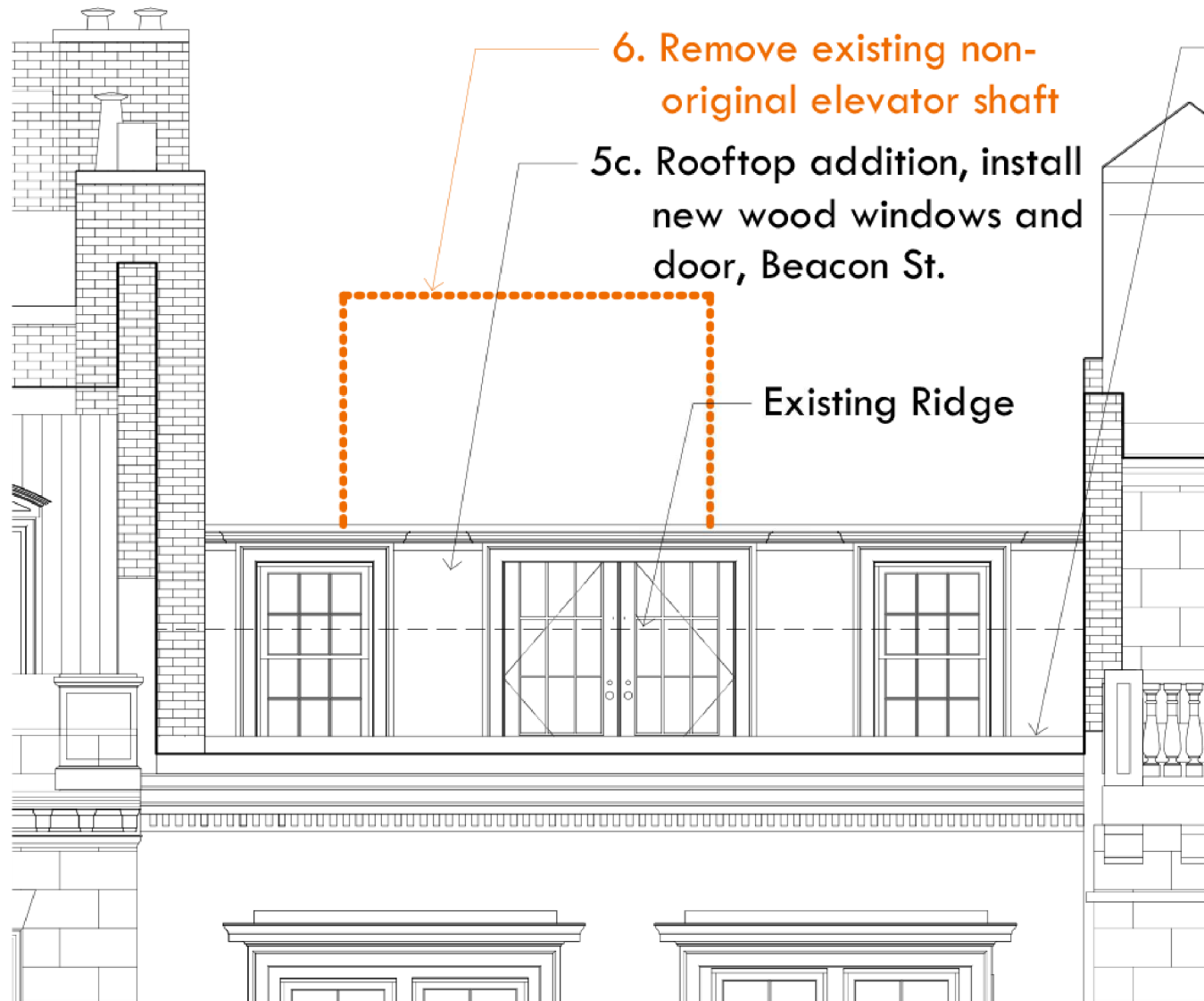
9,10,11. Restore existing windows on Beacon St.

8. Replace existing non-original window and door ground level, Beacon St.

7. Install new brick sidewalk, garden with granite curb, and low cast iron rail,







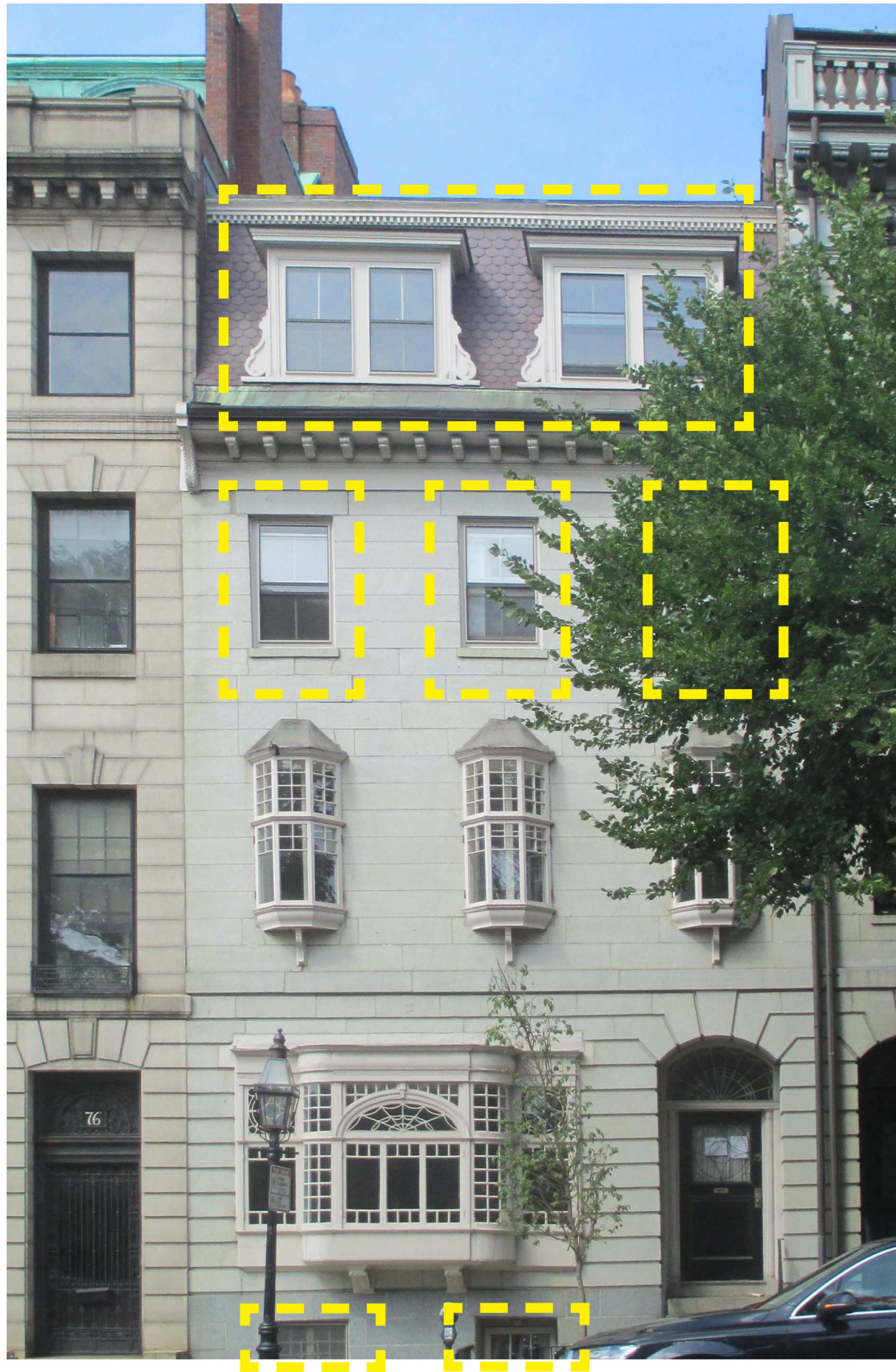
75 Beacon Street



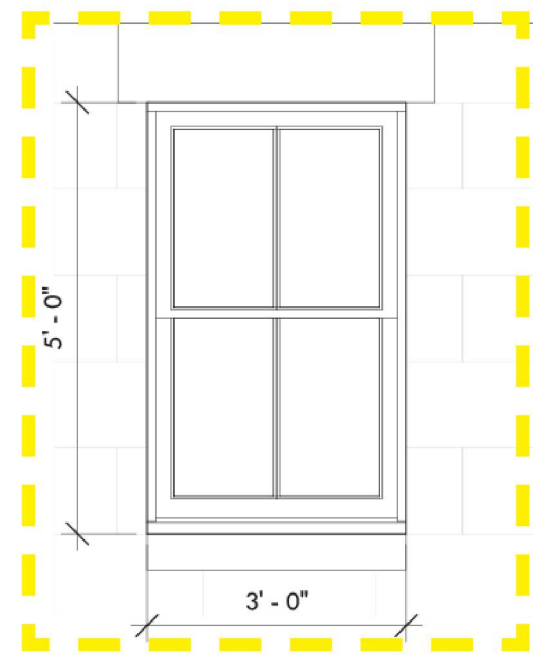
Rooftop Addition



PHOTO (E) 75 BEACON FACADE



ELEVATION (N) WINDOW



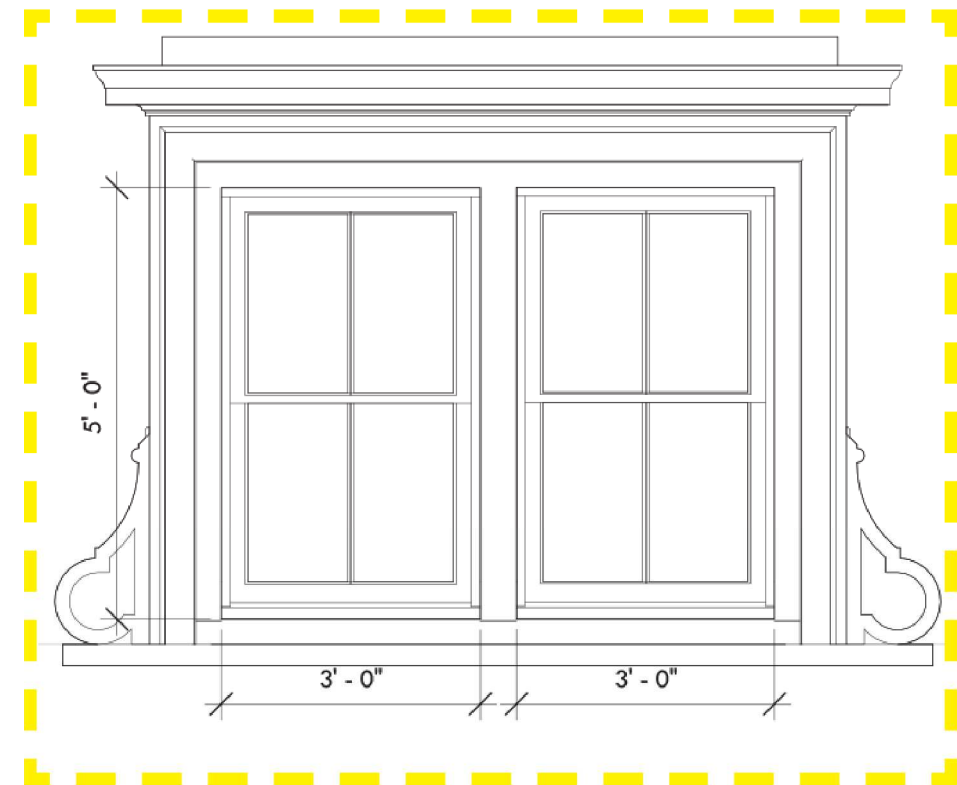
(e) 3fl windows replace with (n) wood TDL windows

PHOTO (E) WINDOW 3fl



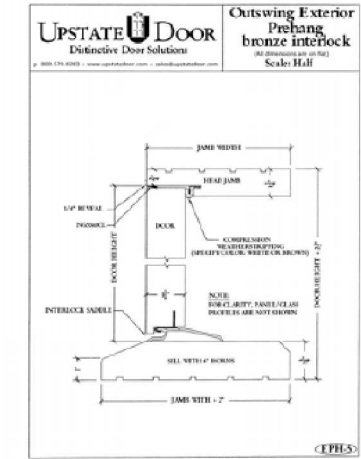
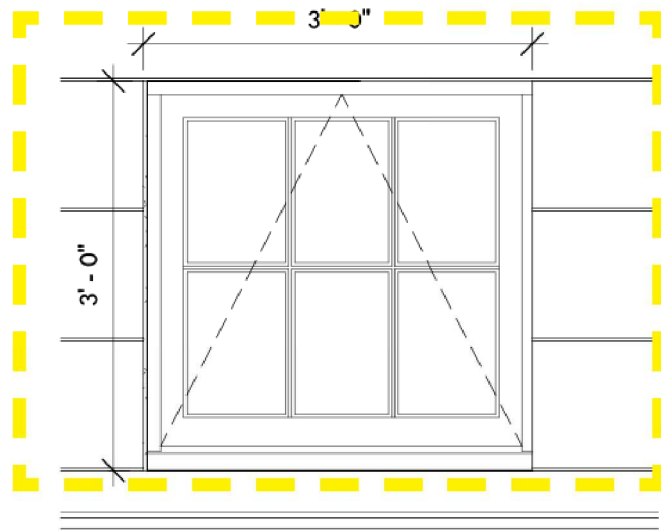
(e) 4fl windows replace with (n) wood TDL windows

ELEVATION (N) WINDOW





ELEVATION (N) WINDOW



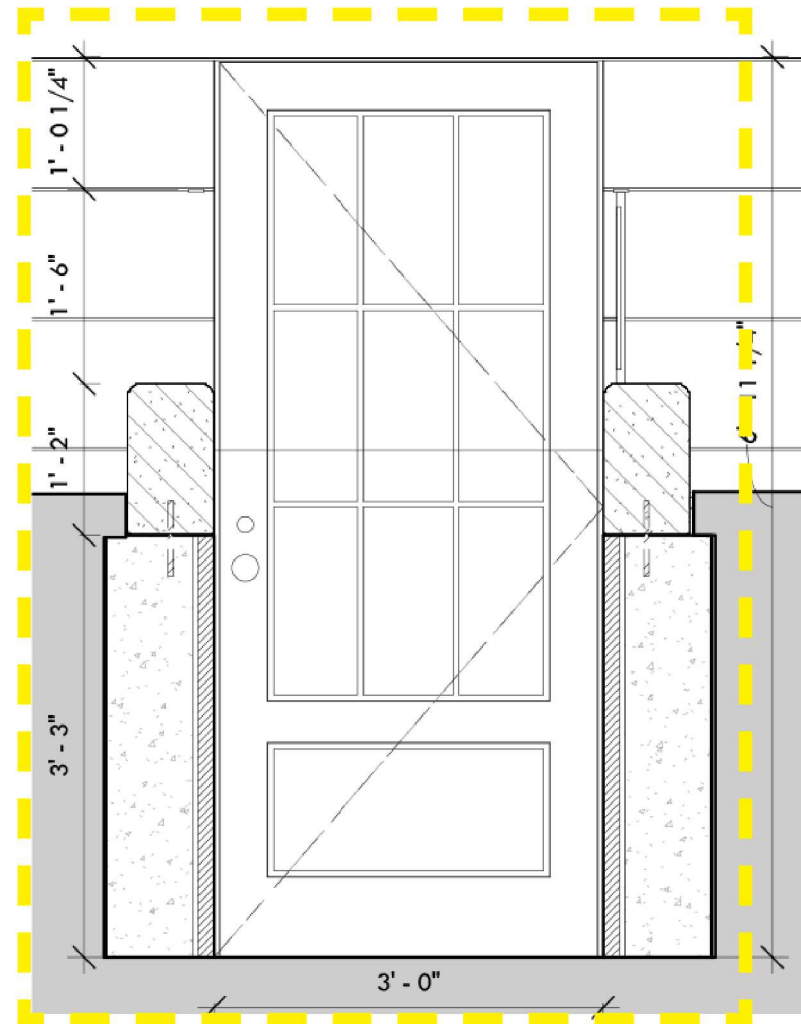
Painted steel garden rail with 1/4" x 1" top rail to match (e) entry railing



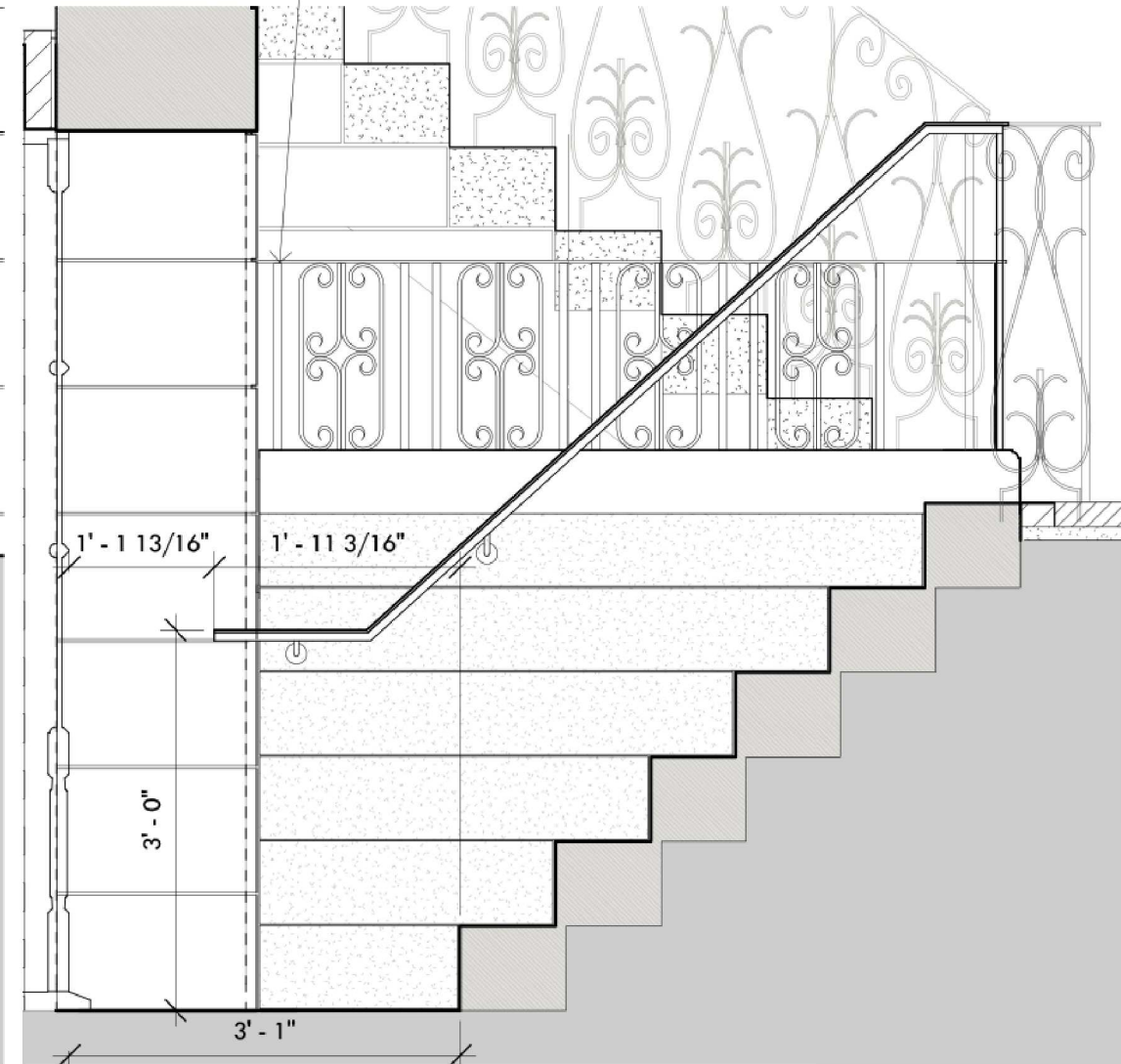
ow

PHOTO (E) DOOR

TDL replacement entrance door



ELEVATION (N) DOOR



SECTION (N) GARDEN ENTRY

75 Beacon - Replace windows as indicated

Beacon Street Scope



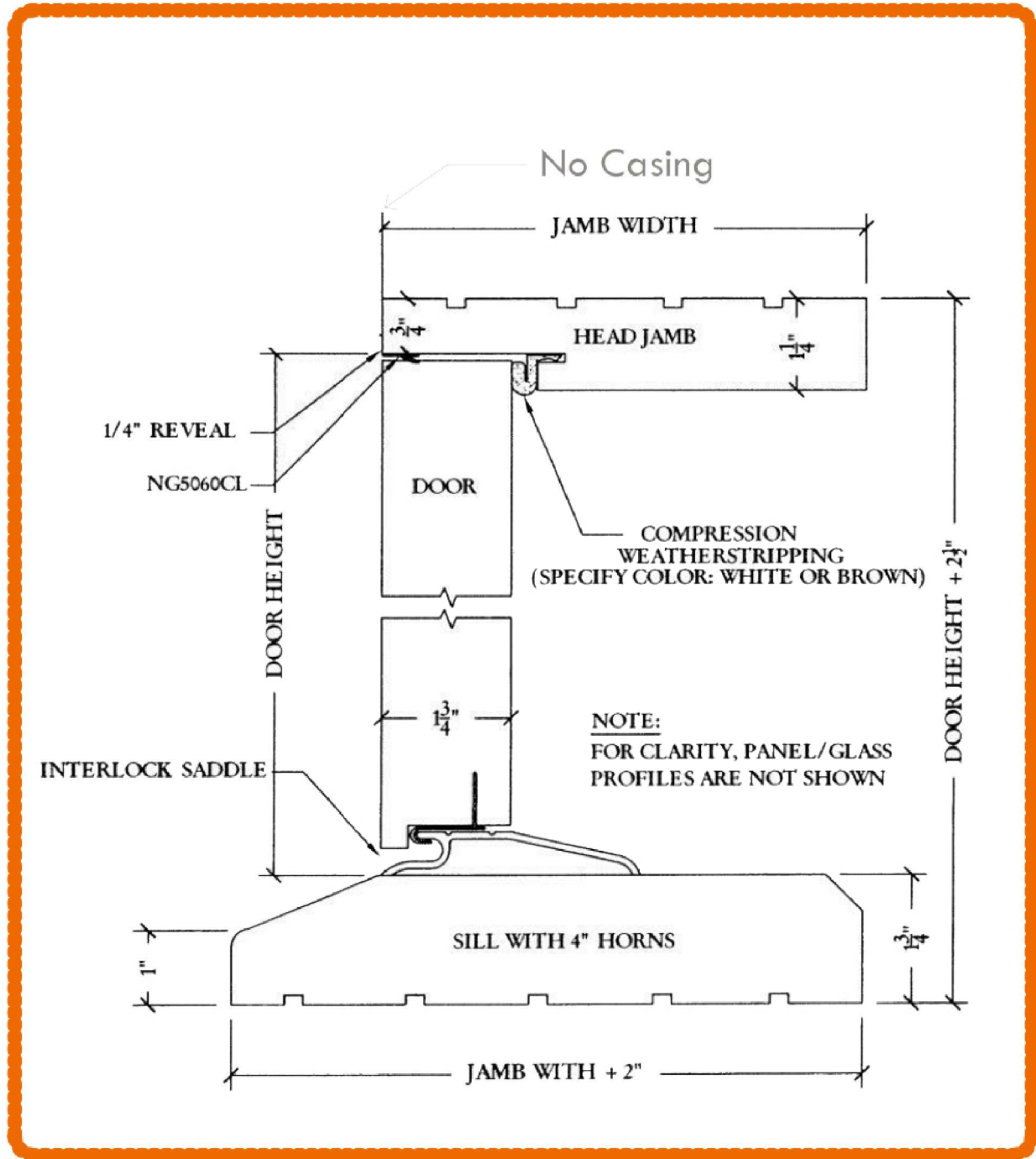
**UPSTATE DOOR**  
Distinctive Door Solutions

p 800.570.8283 ~ www.upstatedoor.com ~ sales@upstatedoor.com

**Outswing Exterior  
Prehang  
bronze interlock**

(All dimensions are on flat)

Scale: Half



EPH-5

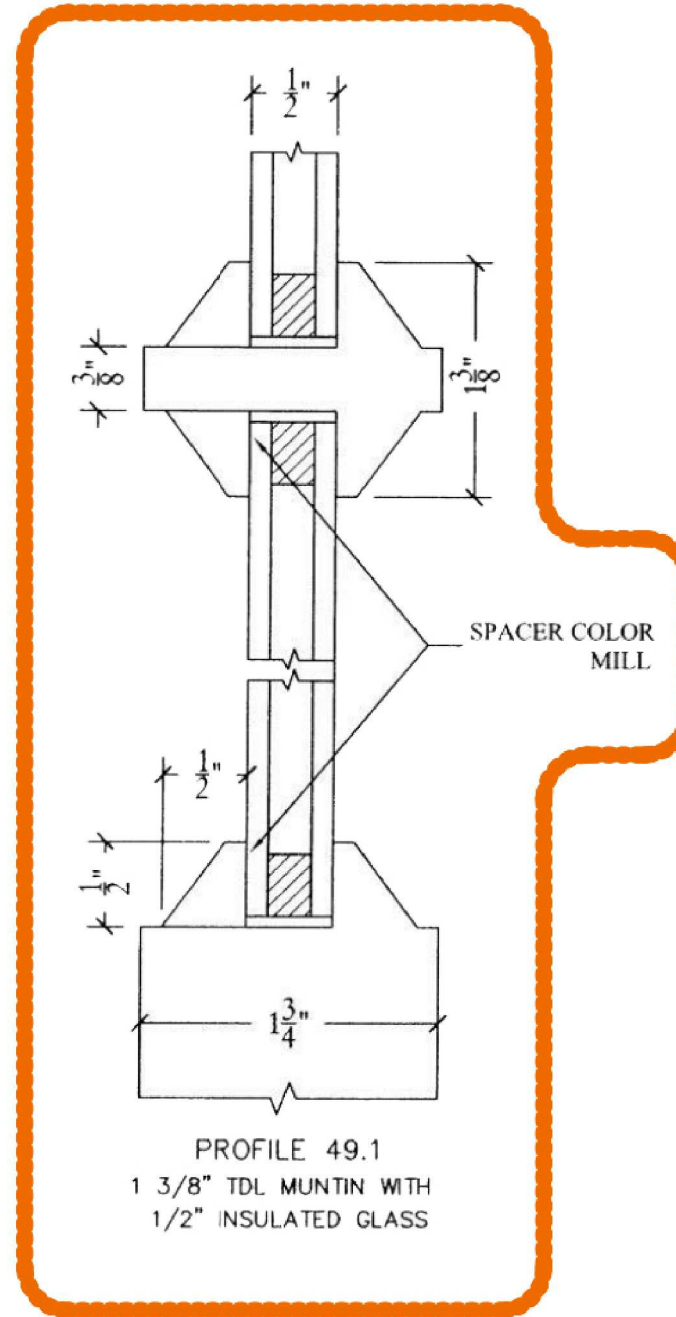
**UPSTATE DOOR**  
Distinctive Door Solutions

p 800.570.8283 ~ www.upstatedoor.com ~ sales@upstatedoor.com

**Profile 49**

French Muntins  
(all dimensions on flat)

Scale: Full



PROFILE 49.1  
1 3/8" TDL MUNTIN WITH  
1/2" INSULATED GLASS

P-49

75 Beacon Street



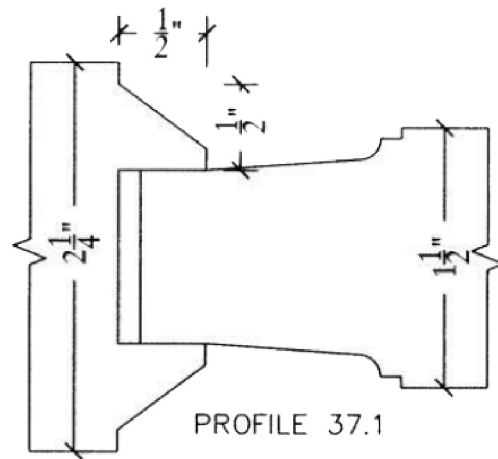
Details



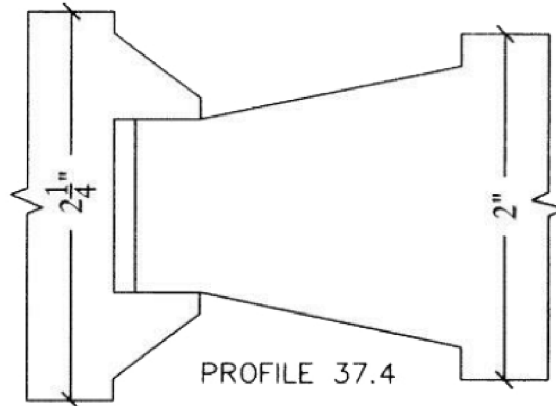
# Profile 37

Cope: 1/2" x 1/2"  
(all dimensions on flat)

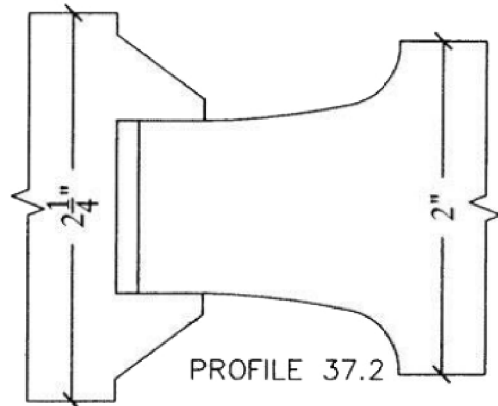
Scale: Full



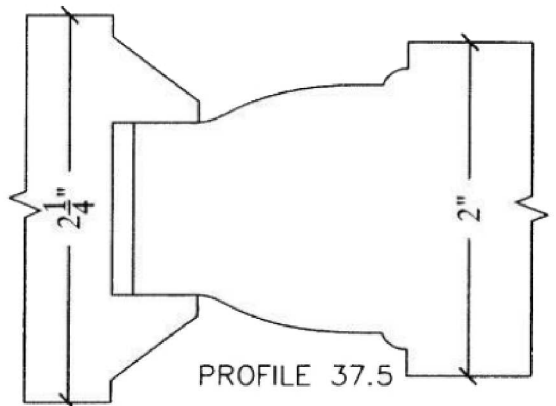
PROFILE 37.1



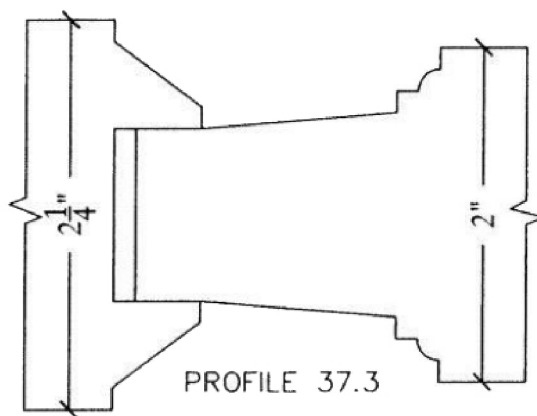
PROFILE 37.4



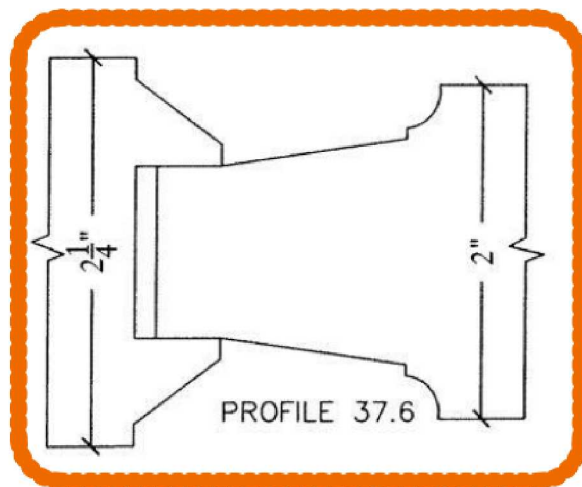
PROFILE 37.2



PROFILE 37.5



PROFILE 37.3



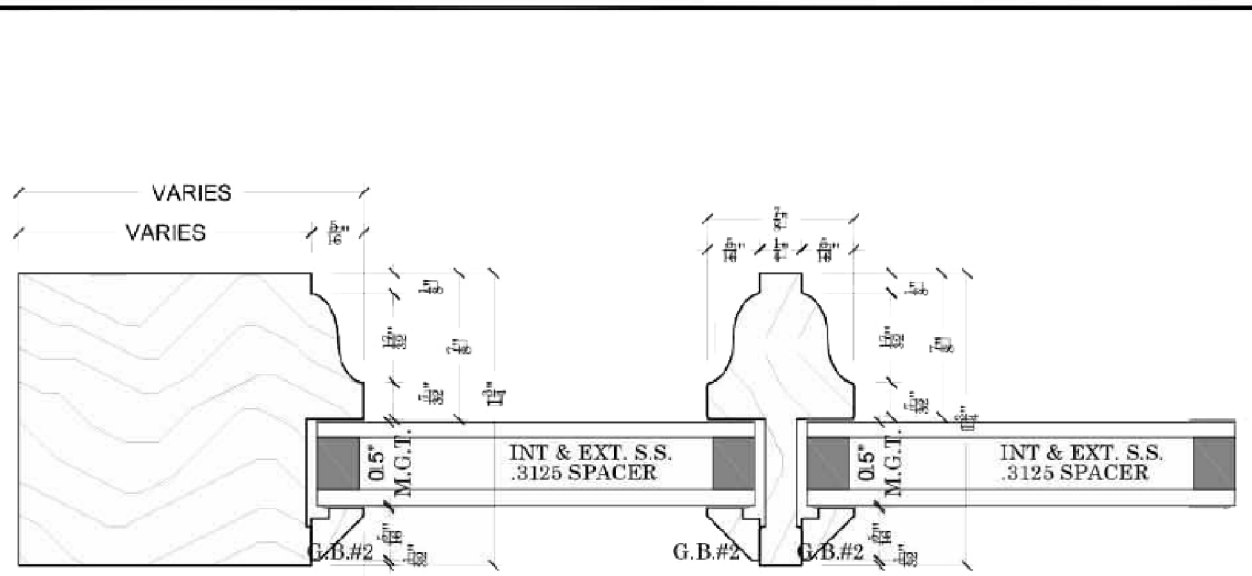
PROFILE 37.6

EP-37

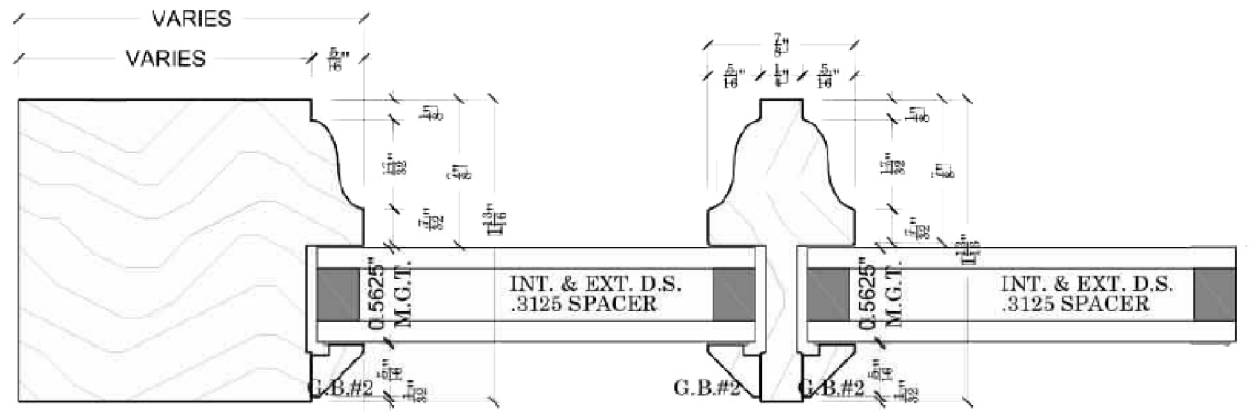
## E. DOORS AND ENTRIES

1. Original or historic elements including reveals, doors, surrounds, vestibules, transoms or fanlights, sidelights, hardware, and other features shall be retained unless demonstrated to be beyond repair, in which case they shall be duplicated in the same material and style.
2. New doors shall be appropriate to the existing surround in style, material and proportions.
3. Only paneled doors of appropriate design, material and assembly shall be permitted; flush doors (with or without surface molding) and metal clad doors shall not be permitted.
4. Storm doors (aluminum or wood-framed) shall not be allowed unless evidence is presented that they were original to the building.
5. Replacement door hardware should replicate the original or be of an appropriate design.
6. Exterior lighting shall be in traditional locations. The design of these fixtures shall be of an appropriate size and style.
7. Buzzers, key keepers, and intercom panels shall be contained if possible within the entryway of the building, and preferably shall be flush-mounted in the wood trim. Such panels shall have brass or bronze faces. Lighted or backlit buzzers and intercom panels shall not be allowed. Individualized buzzers are more appropriate than large panels.






I.G. UNIT OPTIONS  
 OPTIONAL INT OR EXT DOUBLE STRENGTH  
 ANNEALED OR TEMPERED  
 ARGON WITH EXT LOW-E 1-89



I.G. UNIT OPTIONS  
 ANNEALED OR TEMPERED  
 ARGON WITH EXT LOW-E 1-89

**D. WINDOWS, SASH, AND SHUTTERS** will meet the following requirements

1. Original or historic elements including existing openings, sash, glass, lintels, sills, shutter hardware, frames, surrounds and brick molds shall be retained unless demonstrated to be beyond repair, in which case they shall be duplicated in the same material and style. No changes in dimensions are to be made to jambs or sashes.
4. Windows have true divided lights. The width and profile of the muntins on the exterior of the window shall match the existing.
5. Through-glass muntins are required.
6. Clear, insulated glass may be permitted (the width of the replacement muntin matches the width of the historic muntin). The window must have true divided lights. The spacer bar must be dark. The depth of the muntin on the exterior of the window must be no less than 3/8 inch. The muntin must have a putty line (trapezoidal) profile on the exterior of the window. The material can be putty or wood.
7. Only clear, non-tinted glass shall be used (except to replace original stained glass).
8. Weights and ropes or chains can be used; spring balances can be used that are set into the wood jamb. Vinyl jamb liners must not be seen. If they are proposed, the top sash will be fixed shut and the lower portion of the jamb will have a wood cover. No jamb liner will be visible while the window is closed.
10. Exterior combination storm windows may be acceptable provided the installation has minimal visual impact upon the original fenestration. Storm windows shall have narrow perimeter framing (which does not obscure the glazing and sight lines of the primary window). The meeting rail of the storm sash must align with that of the primary window. The painted finish on the storm window frame must match the color of the window trim. Exterior storm windows will not be approved on arched windows, leaded glass, faceted frames, or bent glass. Interior storm window panels may be an appropriate alternative to exterior combination storm windows.
11. Caulk colors and paint colors must be approved. Wood windows must have a paint finish and not a factory applied finish that can not be repainted. The caulk must not cover the profile of the brick mold.
12. Shop drawings must be submitted illustrating all of the above requirements.

 <b>BOSTON</b> SASH & MILLWORK 637 SPRING STREET NORTH DIGHTON, MA 02764 PHONE # (508) 880-8898 FAX # (508) 890-3828 WWW.BOSTONSASH.COM	JOB: <b>B.S. &amp; M. STANDARDS</b> <b>PROFILE &amp; GLASS OPTIONS</b>	DRAWN BY: <b>KEITH KUTHAN</b>	
	DESCRIPTION: <b>BEACON HILL PROFILE</b> <b>ALL UNITS</b>	JOB NO: <b>B.S.S.</b>	DWG. NO: <b>SK-1.6</b>
	SCALE: <b>F.S.</b>	SHEET: <b>7 OF 10</b>	

75 Beacon Street



Details





**SASH & MILLWORK**  
 667 SPRING STREET  
 NORTH DIGHTON, MA, 02764  
 PHONE # (508) 380-8808  
 FAX # (508) 680-8828  
 WWW.BOSTONSASH.COM

B.S. STANDARDS	D.H. W&C OPTION 5
JOB:	DESCRIPTION:
	ELEVATION, SECTIONS & NOTES
	BEACON HILL PROFILE

PO#	N/A
DEALER	N/A
CONTRACTOR	N/A
ARCHITECT	N/A
PROJECT MANAGER	N/A
DRAWN BY:	KEITH KUTHAN
DATE:	11/11/2015
SCALE	NOTED
DWG. NO.	SK2C5.0
SHEET	1 OF 7

### STANDARD

- 5 1/2" UNIT DEPTH
- ANNEALED SINGLE STRENGTH GLASS, INSULATED GLASS UNIT
- UTILE MAHOGANY FRAME & SASH
- STANDARD 1-1/2" THICK WESTERN RED CEDAR SILLS
- PRIMED EXTERIOR/ RAW INTERIOR
- W&C AMESBURY CONCEALED BALANCES
- FULLY WEATHER SEALED
- 7/8" S.D.L. MUNTIN GRILL CONFIGURATIONS

### SIZING

-R.O.W. = G.W.+10-9/16"
- U.W. = G.W.+5 1/2"
- S.O.W.=G.W.+4"
- O.A.S.W. = G.W.+3-9/16"
- D.L.O.W.=G.W.-9/16"
- U.H. = (U.G.H.+L.G.H.)+9-3/32"
- S.O.H. = (U.G.H.+L.G.H.)+5-15/32"
- U.S.H.=U.G.H.+3-1/32"
- L.S.H.=L.G.H.+3-3/4"
-D.L.O.H.=G.H.-9/16"

### STD. HARDWARE

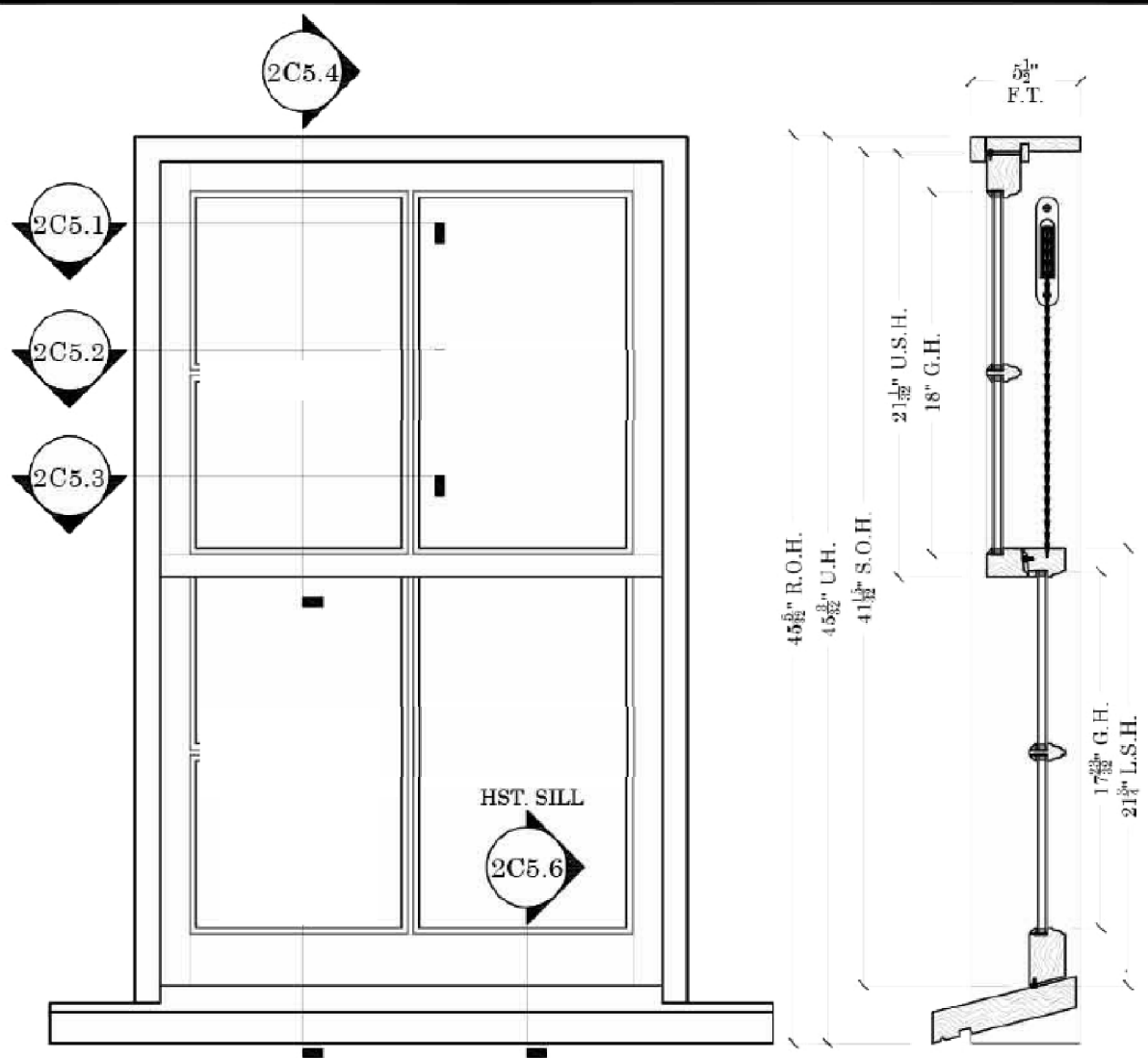
- AMESBURY 186 CONCEALED BALANCES
- PHELPS SP225BBRE SATIN BRASS PULLEYS
- A.R.C. #35 NATURAL BRASS CHAIN
- A.R.C. #10 BRAIDED CORD
- A.R.C. STACKABLE WEIGHTS

### EGRESS INFO.

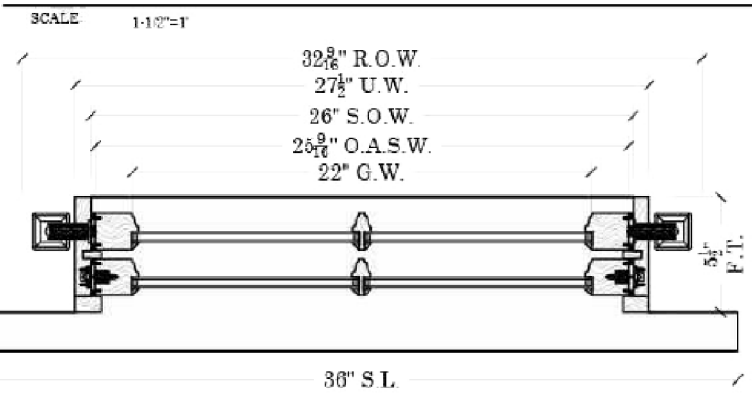
- MINIMUM UNIT SIZES TO PASS 20"X24" C.O. MA. EGRESS
- SIZES BASED ON STANDARD 3/4" THICK WINDOW STOOL AND A 1-1/4" MAX HEIGHT SASH LOCK ALLOWANCE
- 24"X20" UNIT DIMENSIONS 26 1/2"W. X 51"H.
- 20"X24" UNIT DIMENSIONS 22 1/2"W. X 59"H.

### OPTIONAL ITEMS

- 2" PINE OR UTILE MAHOGANY INT.EXTENSION JAMBS
- TEMPERED DOUBLE STRENGTH GLASS UNITS
- ARGON INSULATION GAP
- EXTERIOR LOW E I89
- D P RATING GLAZING
- HISTORIC 1-3/4" THICK WESTERN RED CEDAR SILLS
- 5/4"X4" OR 4/4"X5" NOMINAL WESTERN RED CEDAR CASING
- WHITE ROLLED FORM ALUMINUM FULL SCREEN FRAMES
- CHARCOAL FIBERGLASS SCREEN



## BEACON HILL D.H. W&C

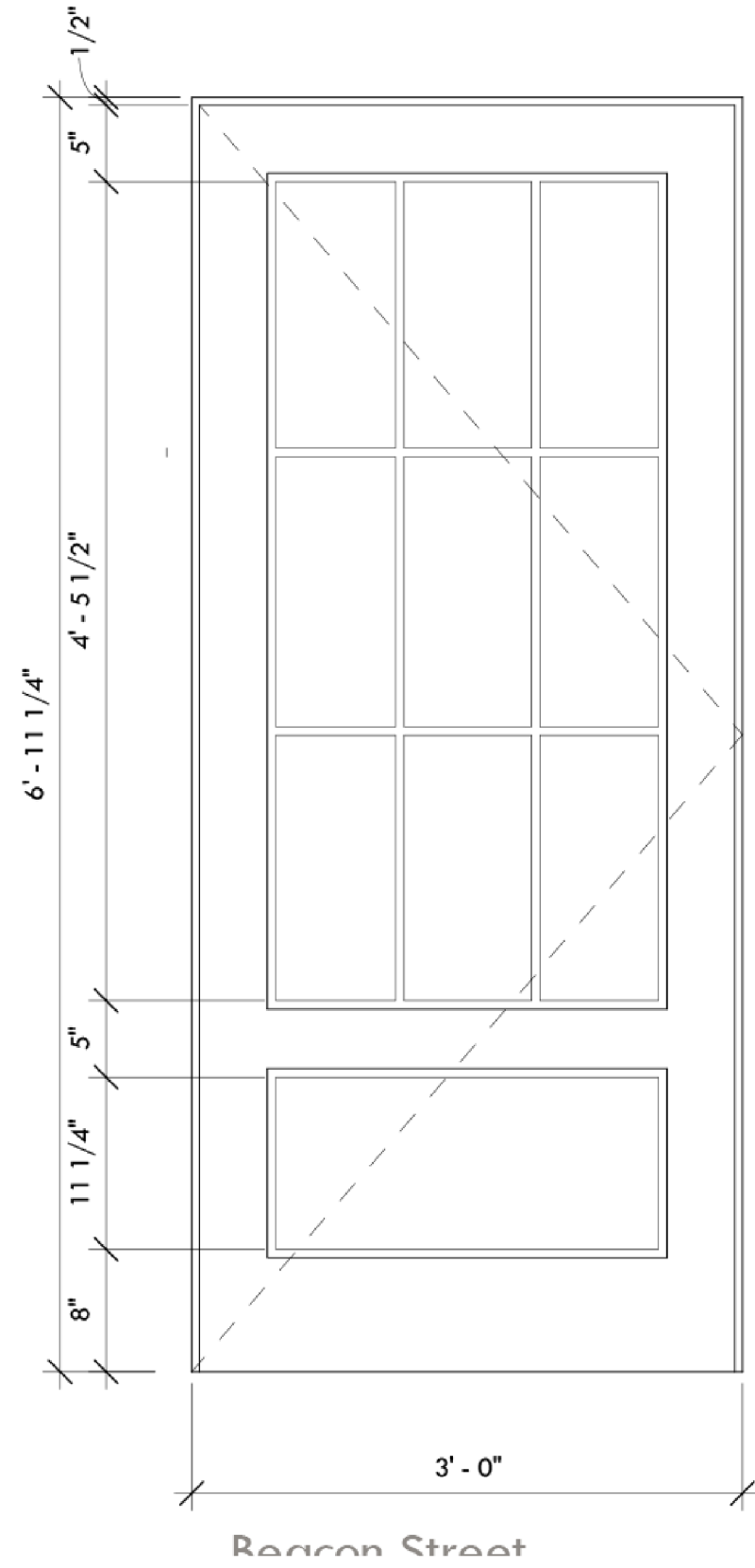
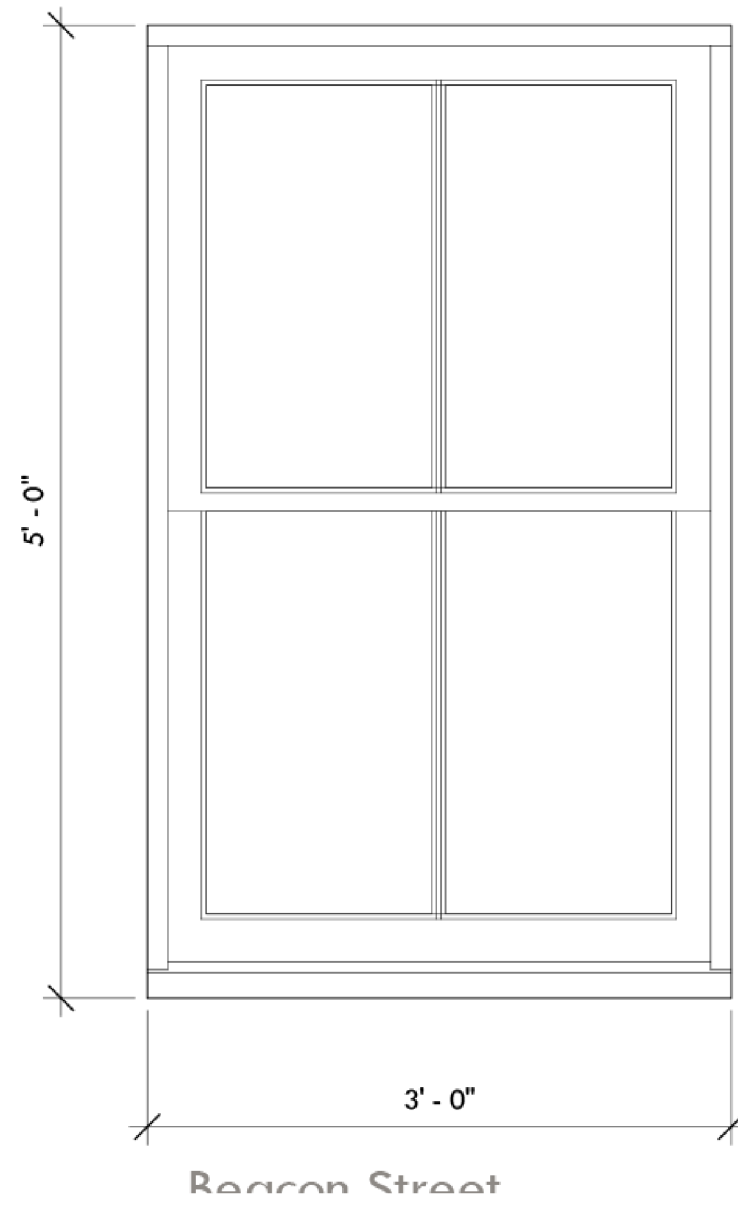
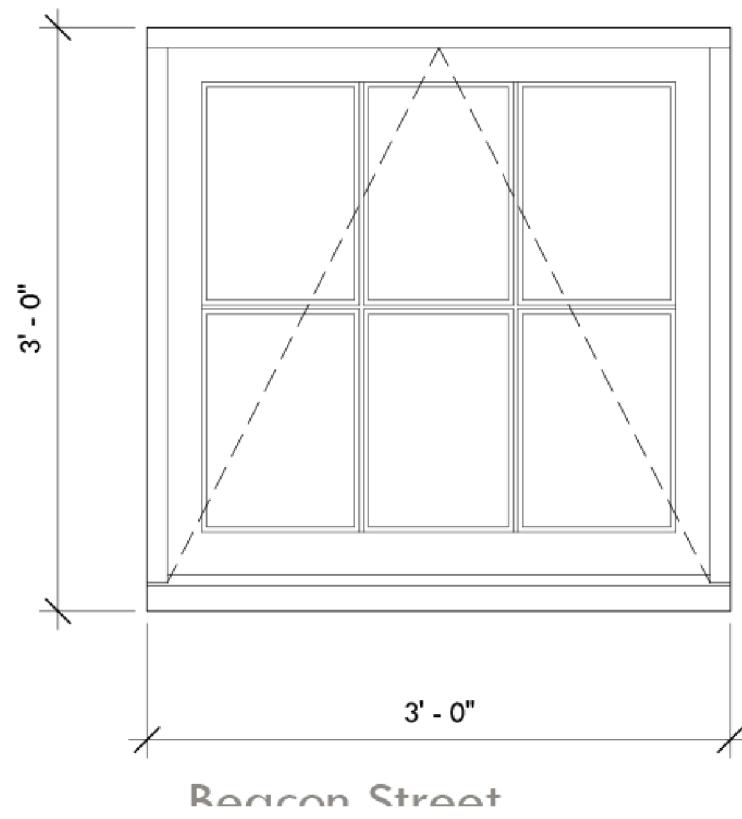


PLOT DATE:  
11/11/2015

FILE LOCATION:



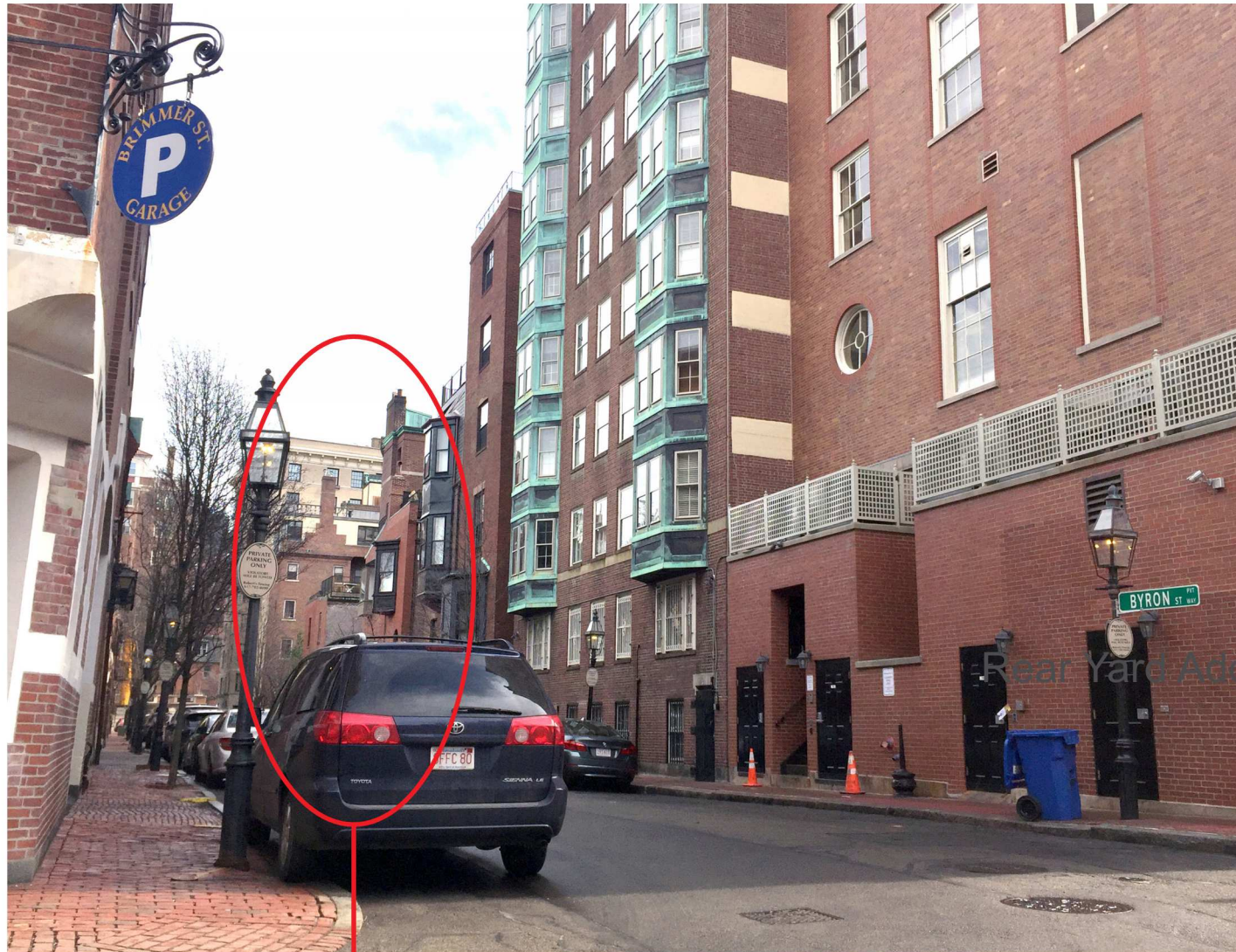




# 75 Beacon Street



Existing View from Brimmer Street

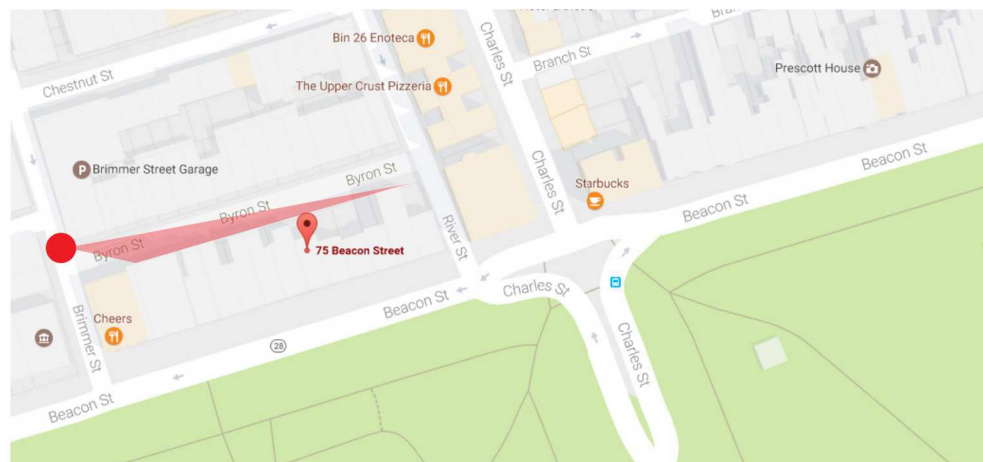


Existing Condition at Bryon Street

Proposed View from Brimmer Street



Proposed Condition at Bryon Street



Location of where photo was taken





Existing View from River Street

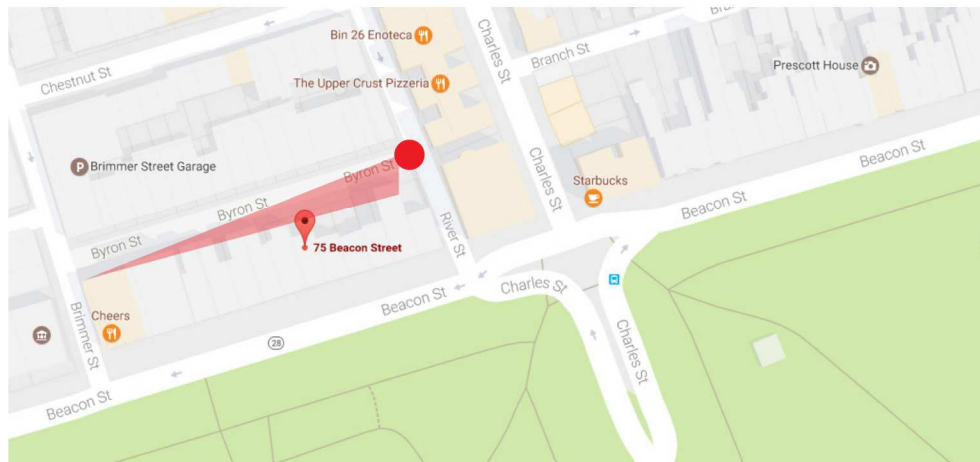


Existing condition at Bryon Street

Proposed View from River Street



Proposed Addition at Bryon Street



Location of where photo was taken

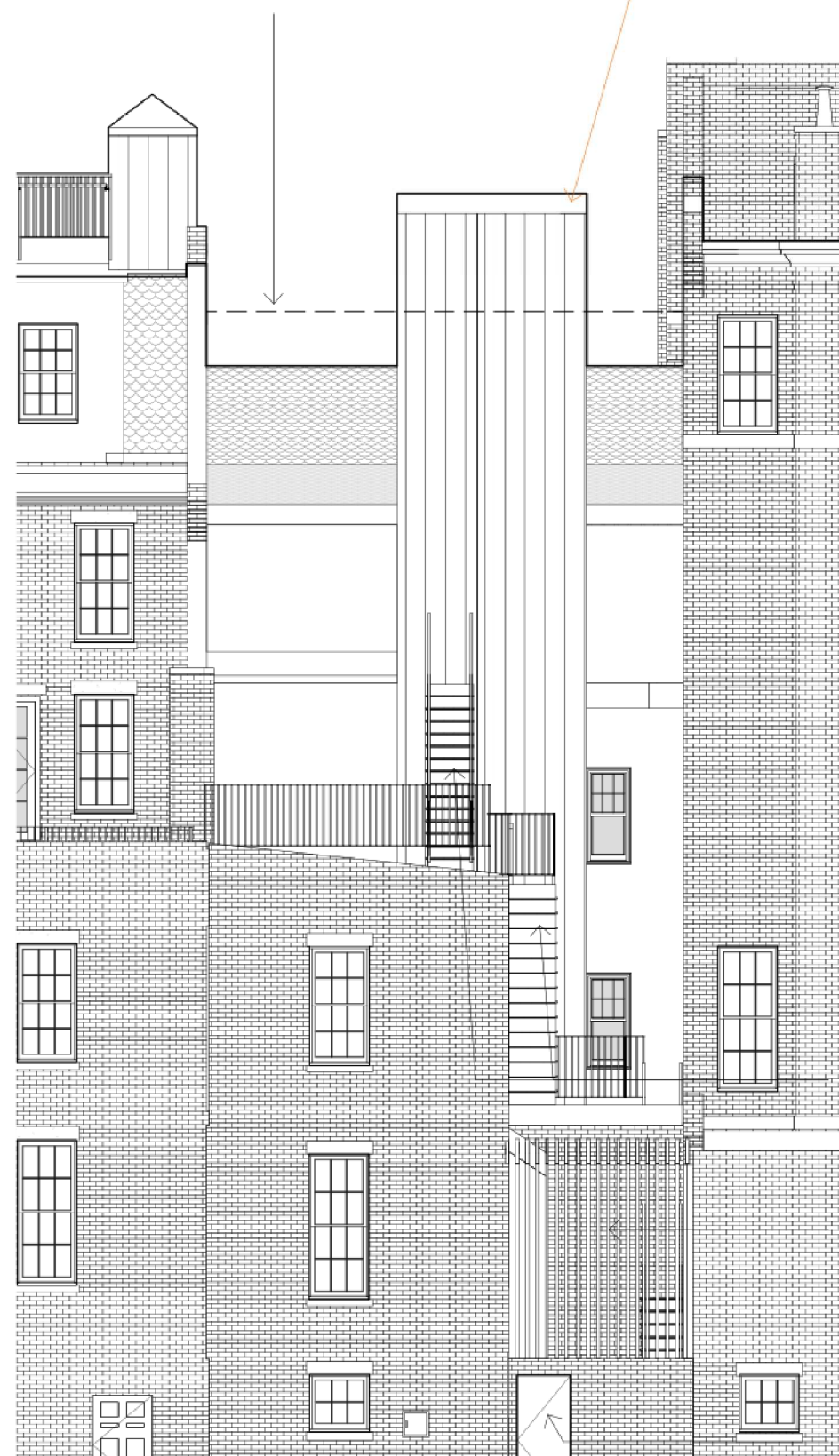
75 Beacon Street

Rearyard Addition





6a. Line of new rooftop addition



6. Remove existing non-original elevator shaft.

5. New common brick rooftop addition, install new wood windows and door, Byron St.

5a. New black painted metal railing, Byron St.

4. New common brick wall and wood windows to add stories above, Byron St.

1b. Remove existing fire escape, Byron St.

1a. Remove security railing, Byron St.

1. Remove non-original door and existing brick wall and install

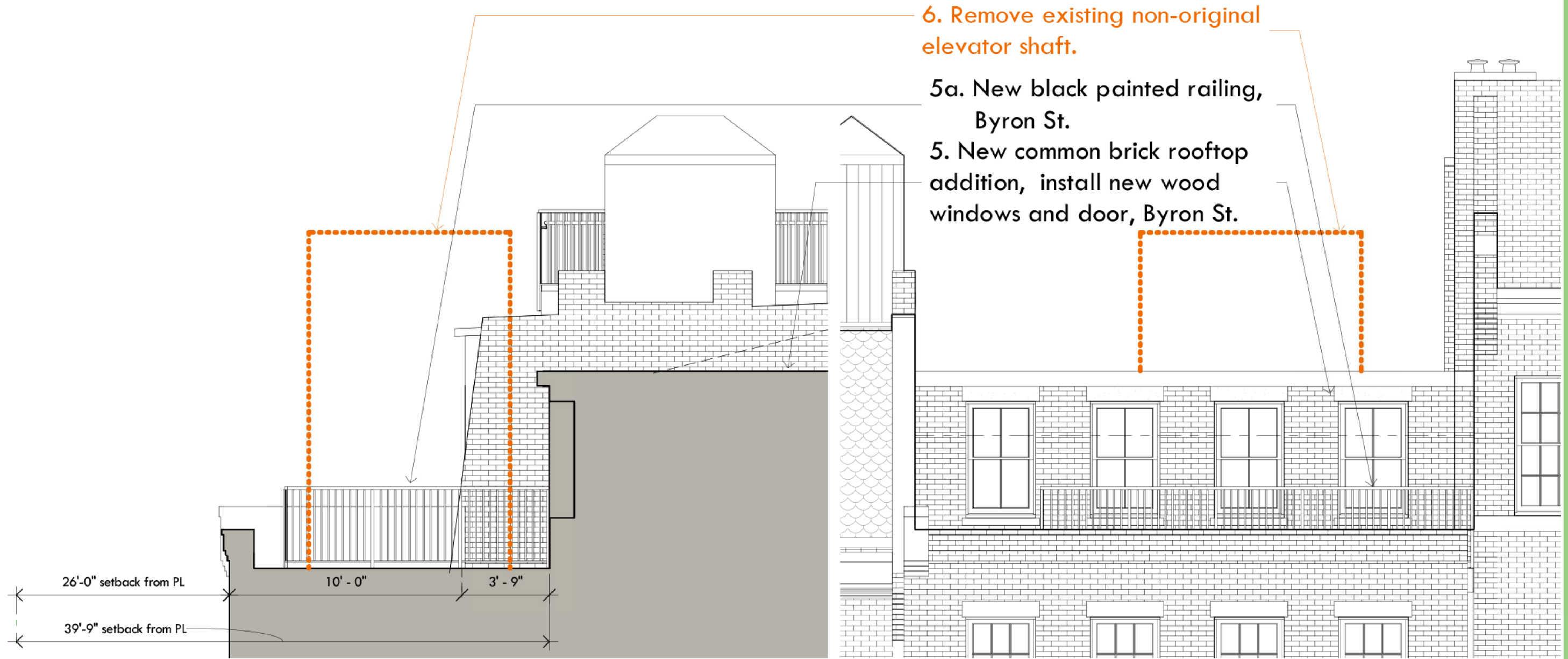


75 Beacon Street

Rearyard Addition





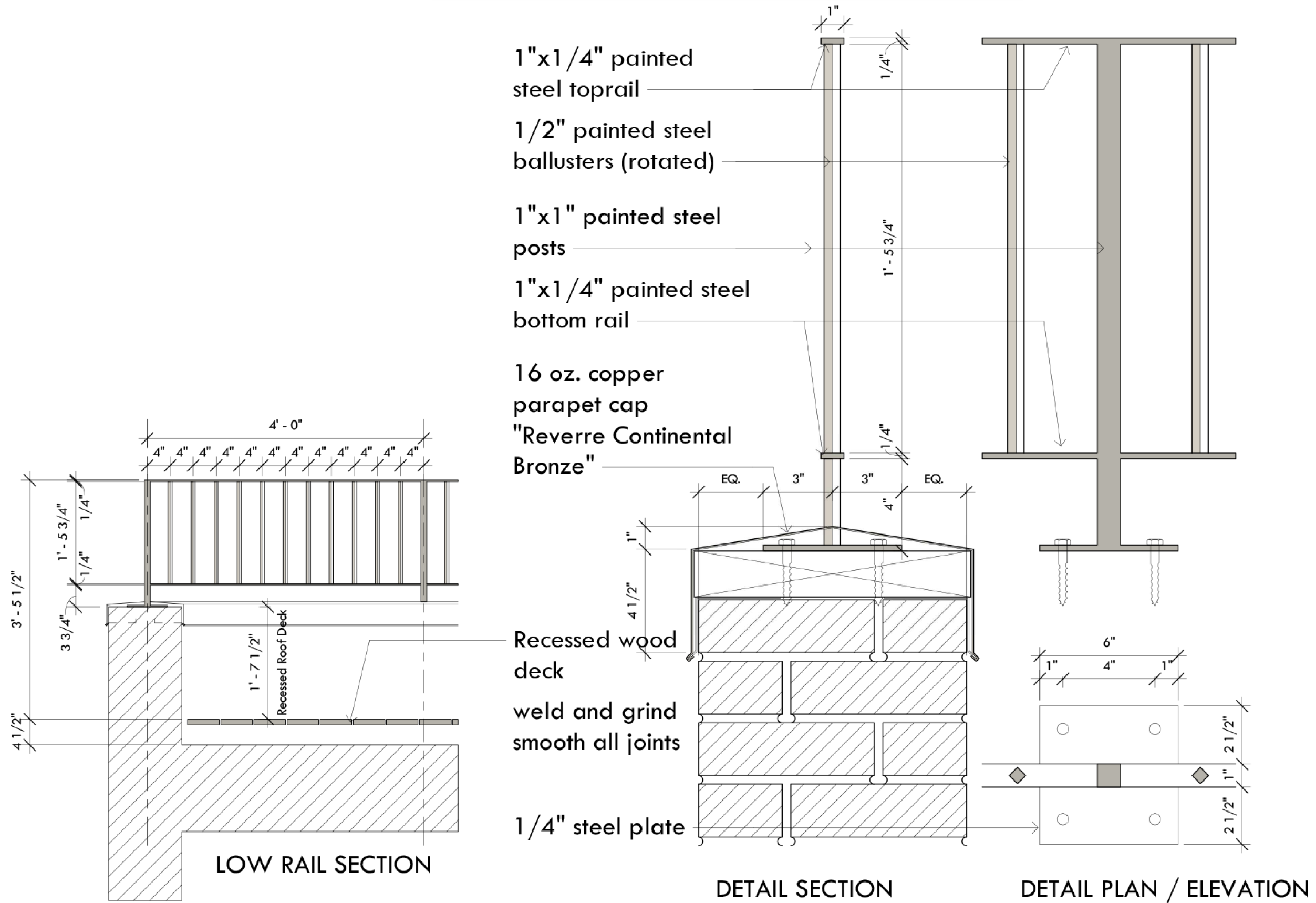


75 Beacon Street

Rearyard Addition







- 1" x 1/4" painted steel toprail
- 1/2" painted steel ballusters (rotated)
- 1" x 1" painted steel posts
- 1" x 1/4" painted steel bottom rail
- 16 oz. copper parapet cap
- "Reverre Continental Bronze"

- Recessed wood deck
- weld and grind smooth all joints
- 1/4" steel plate

LOW RAIL SECTION      DETAIL SECTION      DETAIL PLAN / ELEVATION





3a. Replace (e) roof deck and metal railing with new recessed roof deck and (n) painted steel railing, Byron St.

3. Level top of existing wall to match adjacent building (tooth in repurposed brick to existing parapet wall. Install new copper parapet cap, Byron St.

1e. Remove steel bars.

1. Remove (e) non-original wood door, Byron St. Install (n) painted steel gate Byron St.

1d. Replace (e) non-original window, with fixed wood window to profile to match existing wood windows, Byron St.

# 75 Beacon Street



## Rearyard Addition





3a. Replace (e) roof deck and metal railing with (n) recessed roof deck and (n) painted steel railing, Byron St.

3. Level top of (e) wall to match adjacent building (tooth in repurposed brick to existing parapet wall. Install (n) copper parapet cap, Byron St.

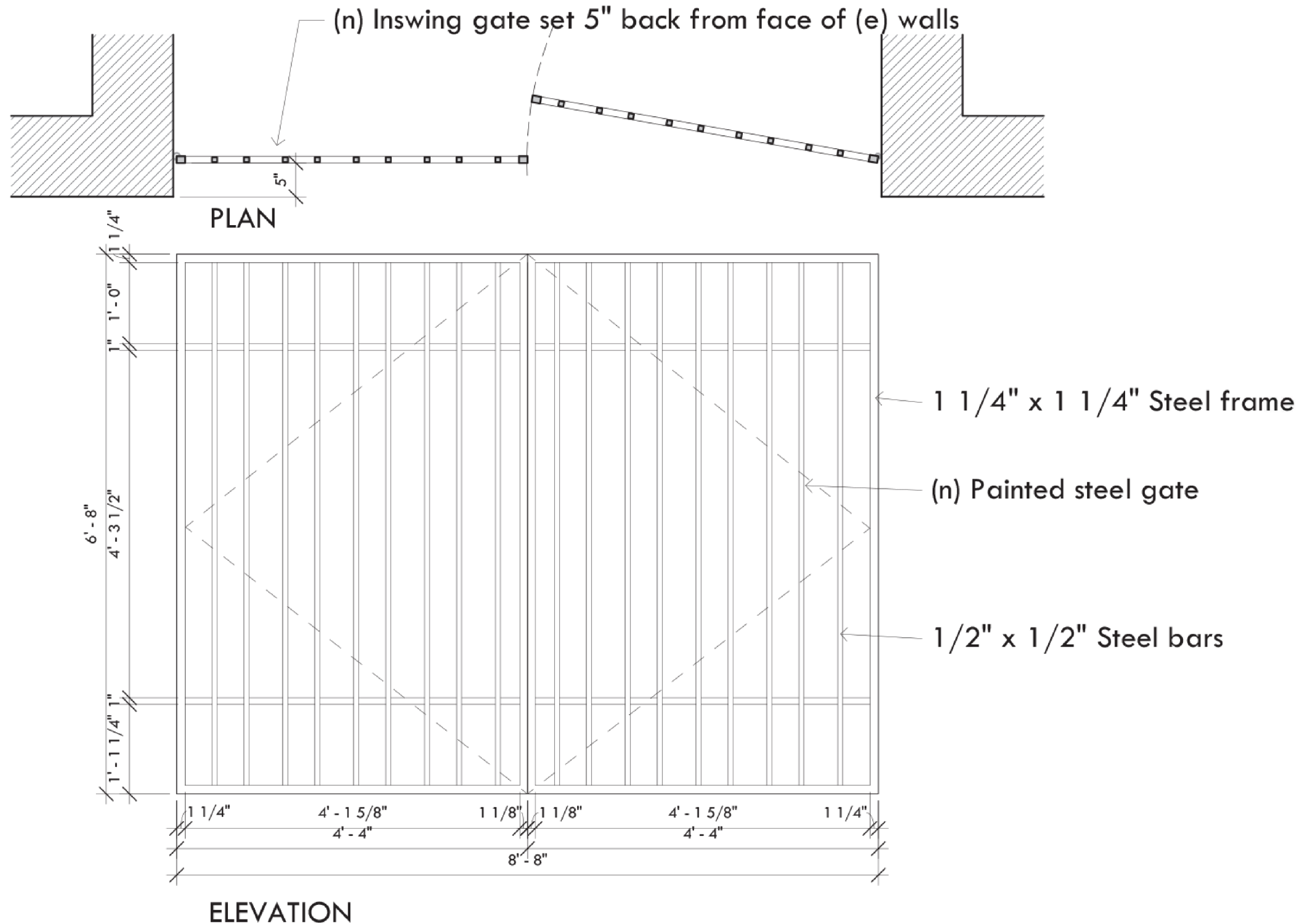
4a. Rear Yard Addition - New common brick wall and wood windows **(not visible from public way)**

1. Install (n) painted metal gate, Byron St.

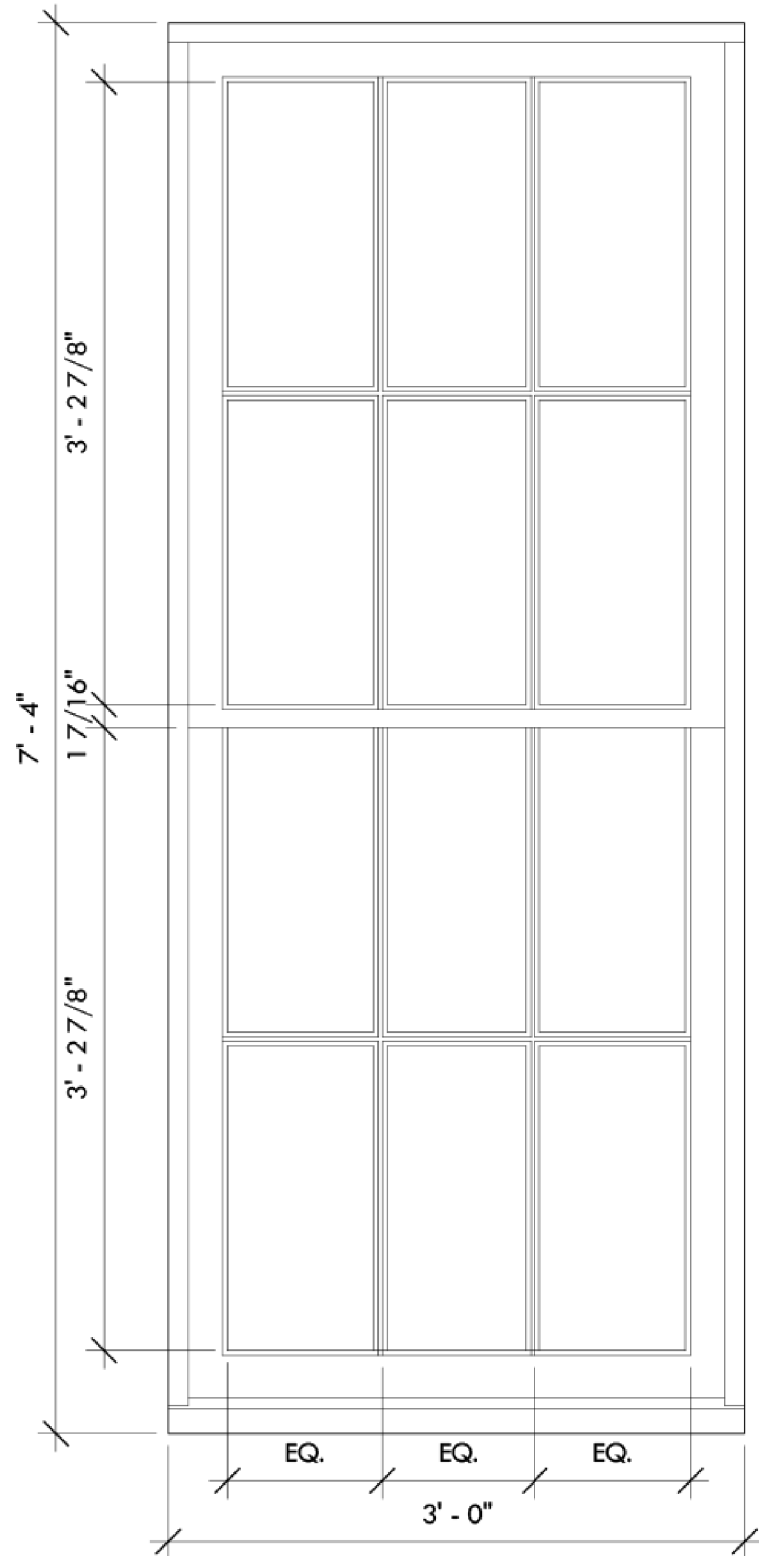
1c. Replace (e) non-original with (n) fixed wood window, profile to match existing above, Byron St.

## Rearyard Addition

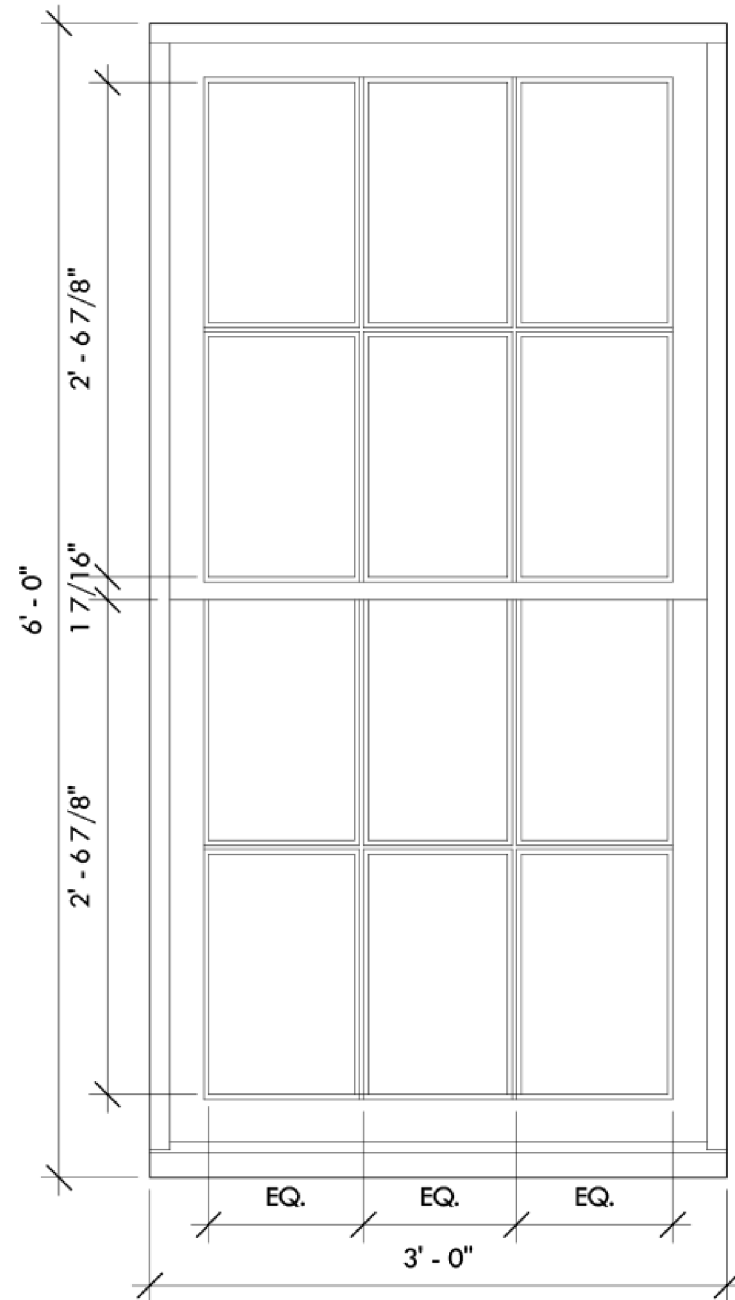




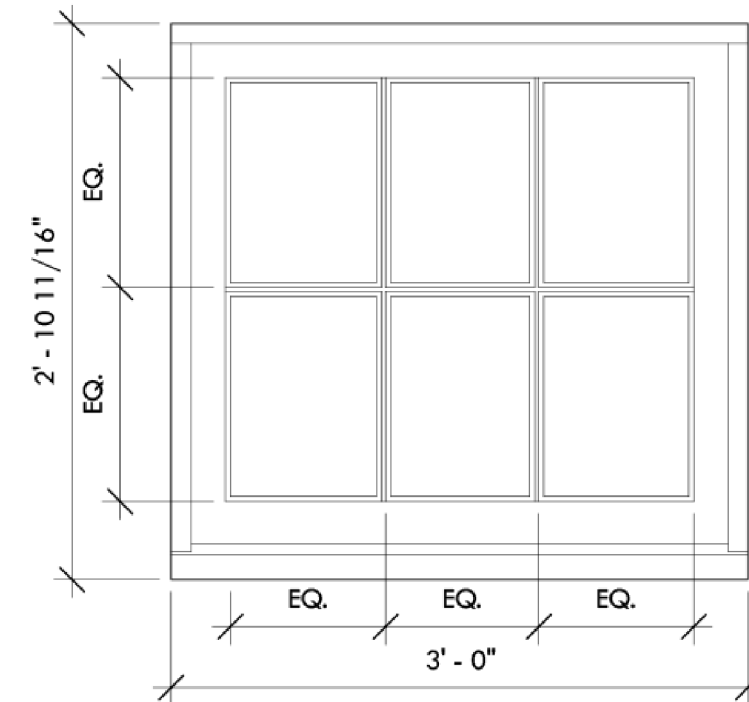




Byron Street  
1st floor window elevation



Byron Street  
Upper window elevation



Byron Street  
Ground level window elevation





Rear door, Byron St



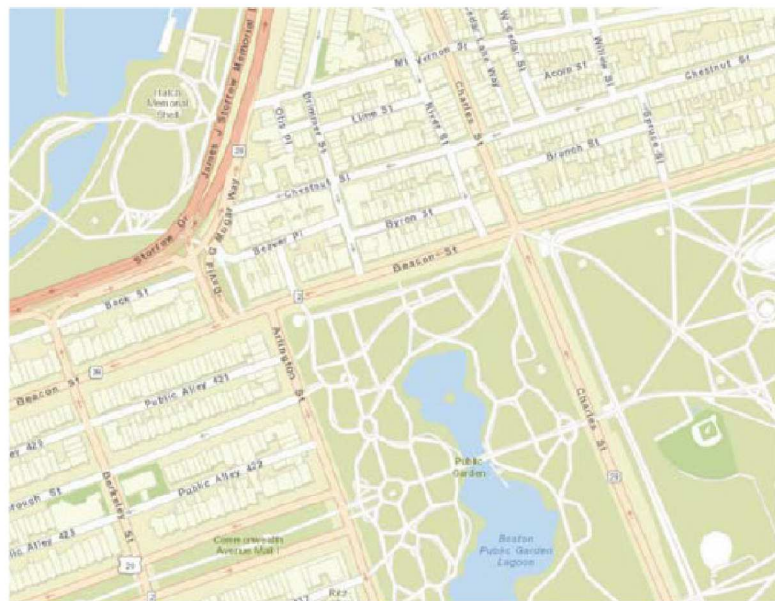
Bay window, 2nd Floor, Beacon St



Bay window, 1st floor, Beacon St



Front door, Beacon St.



Bay Window, 1st floor, Beacon St.

75 Beacon Street

Existing Condition Photos





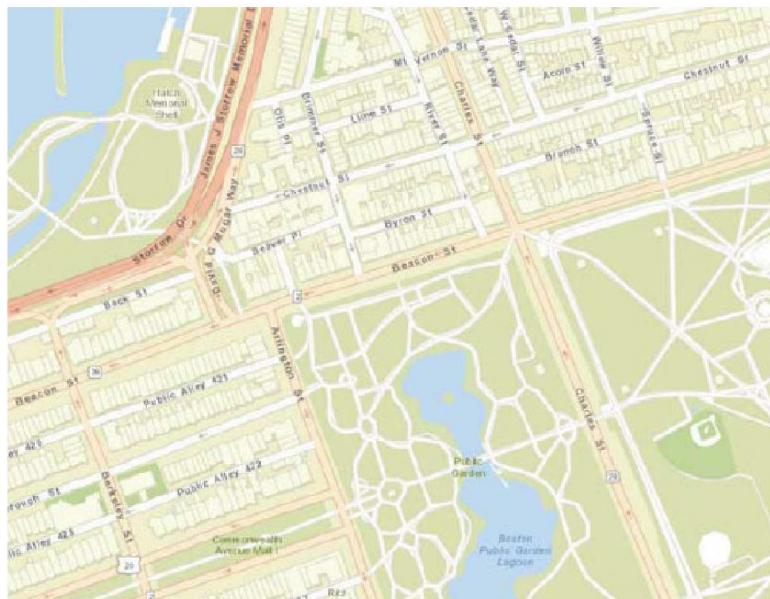
Front door,  
Beacon St.



Front basement door,  
Beacon St.



3. Rear Elevation,  
Byron St



Rear Elevation, Byron St.

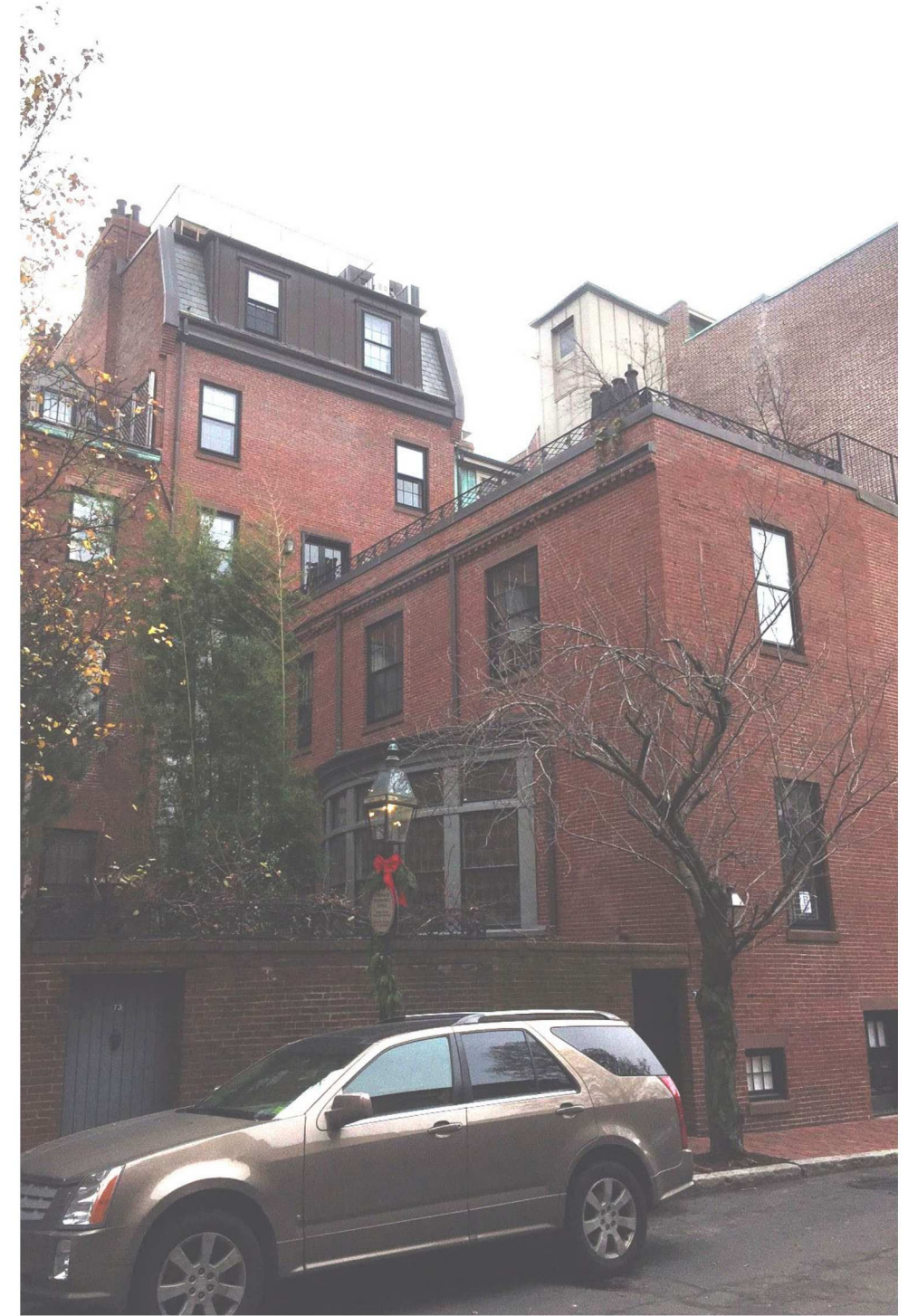
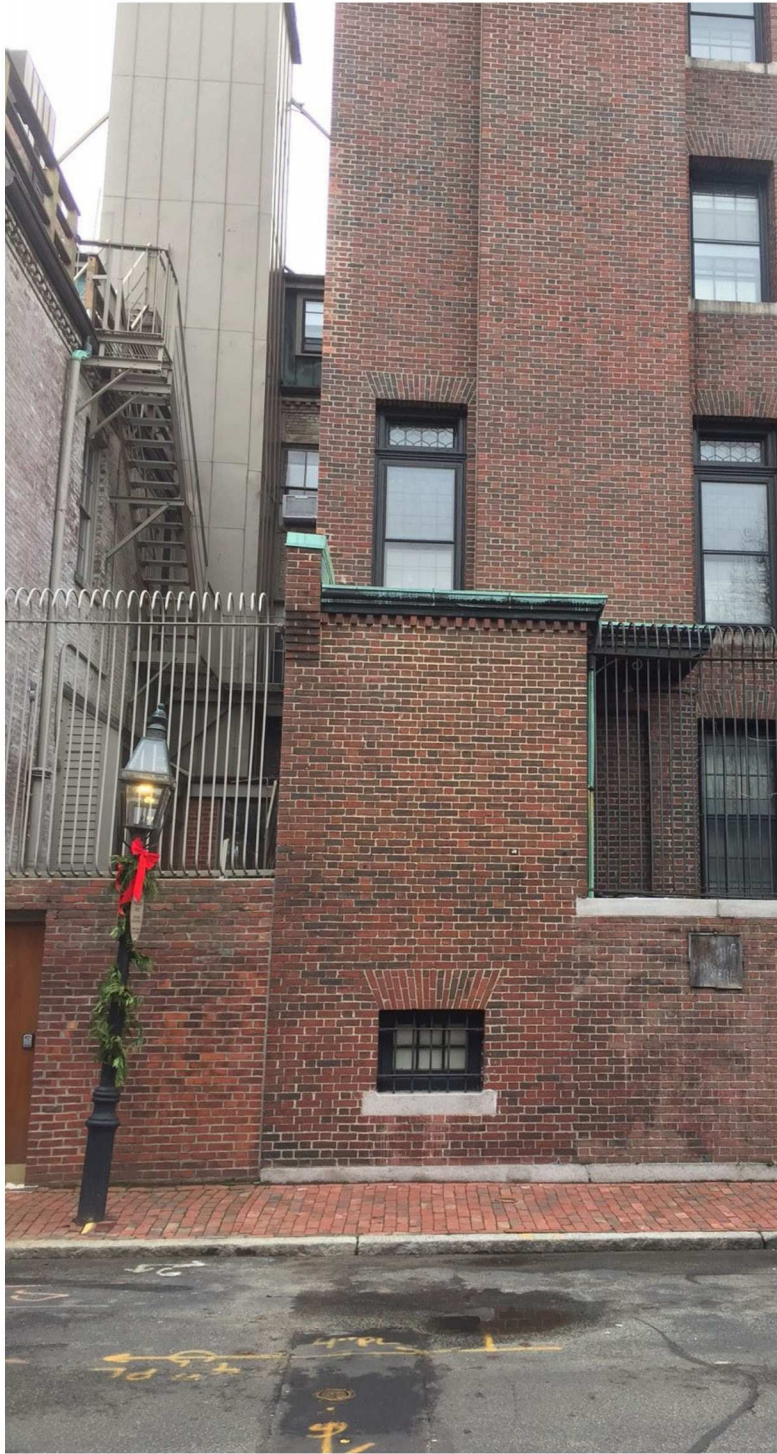


Front Elevation, Beacon St.

# Existing Condition Photos





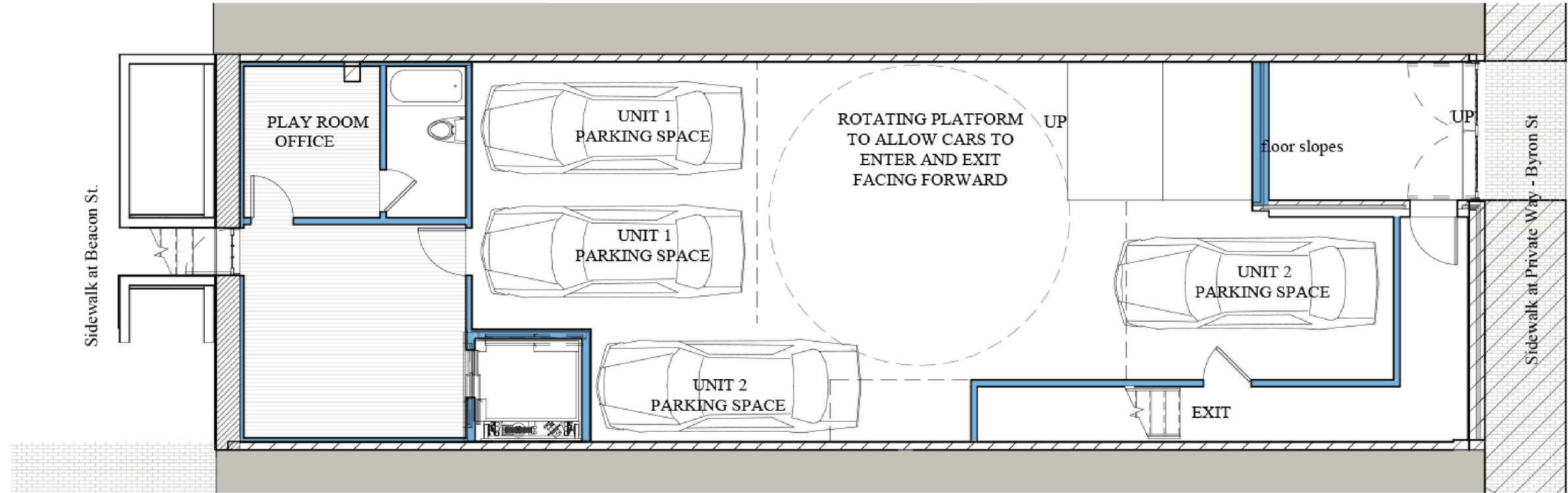


75 Beacon Street

Existing Condition Photos

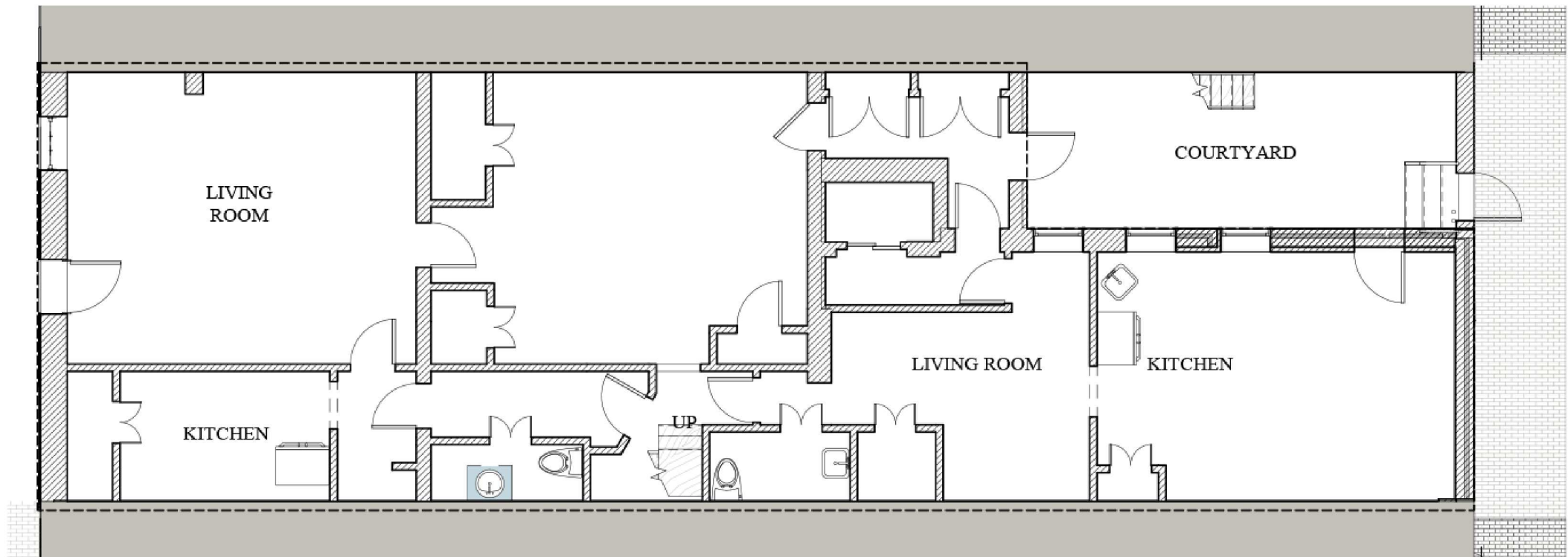


BEACON STREET

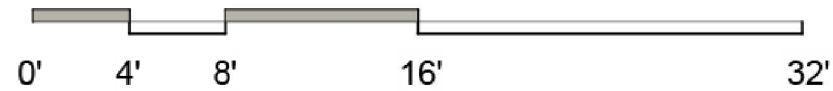


BYRON STREET

BEACON STREET



BYRON STREET

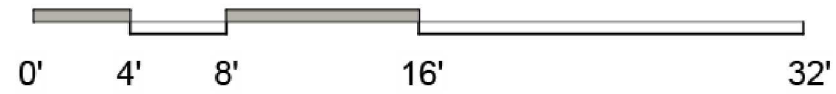
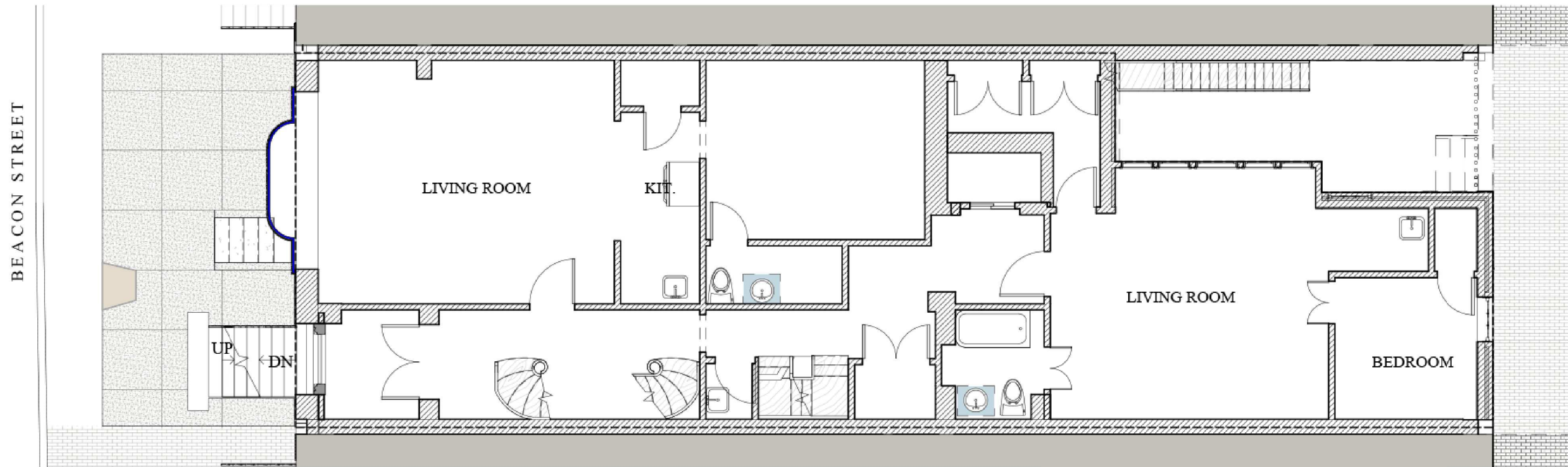
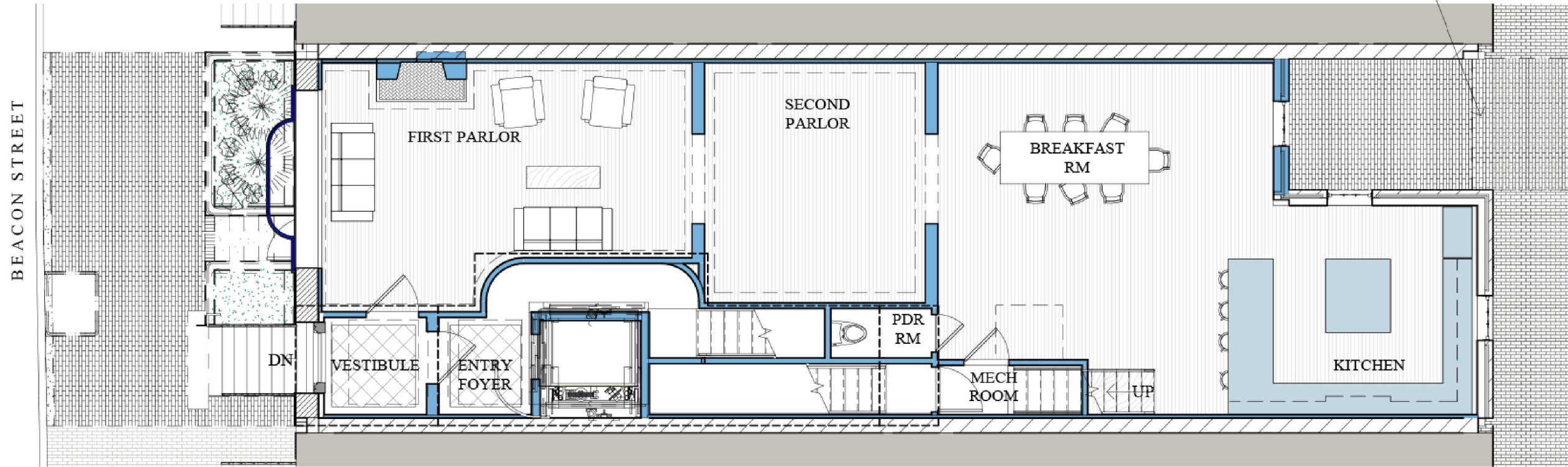


Ground Floor Plans





1. Remove (e) non-original door and install (n) painted steel gate, Byron St.



BEACON STREET

BEACON STREET

BYRON STREET

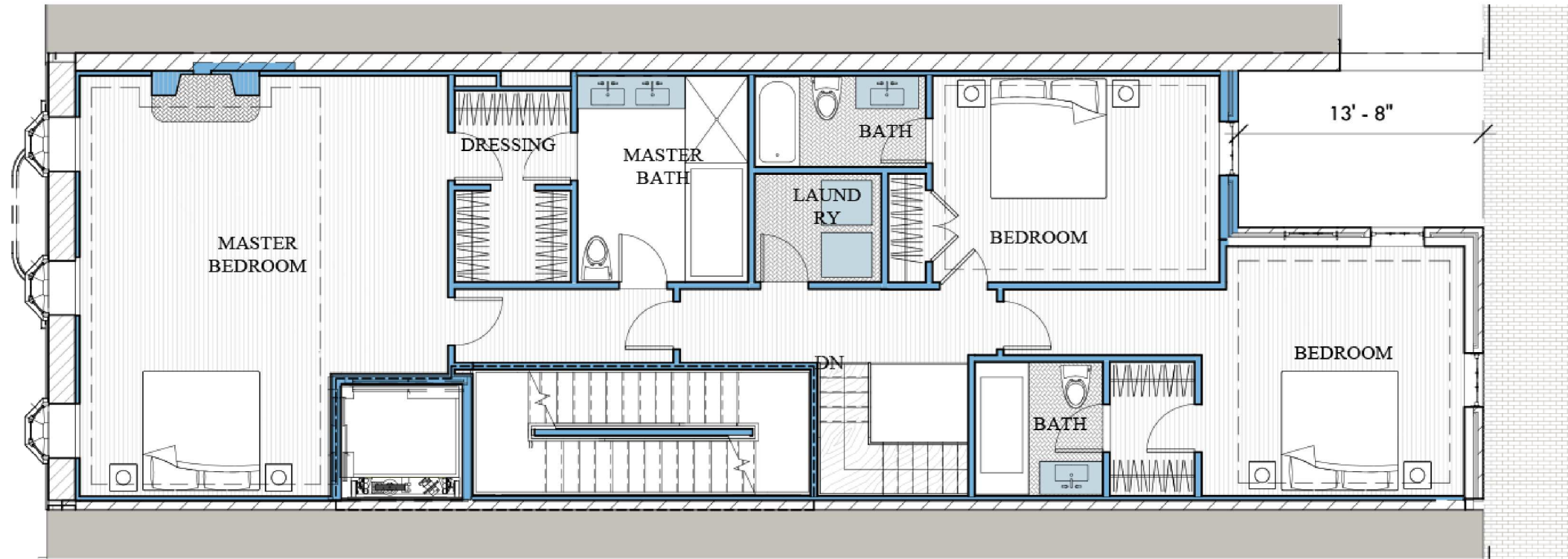
BYRON STREET

75 Beacon Street



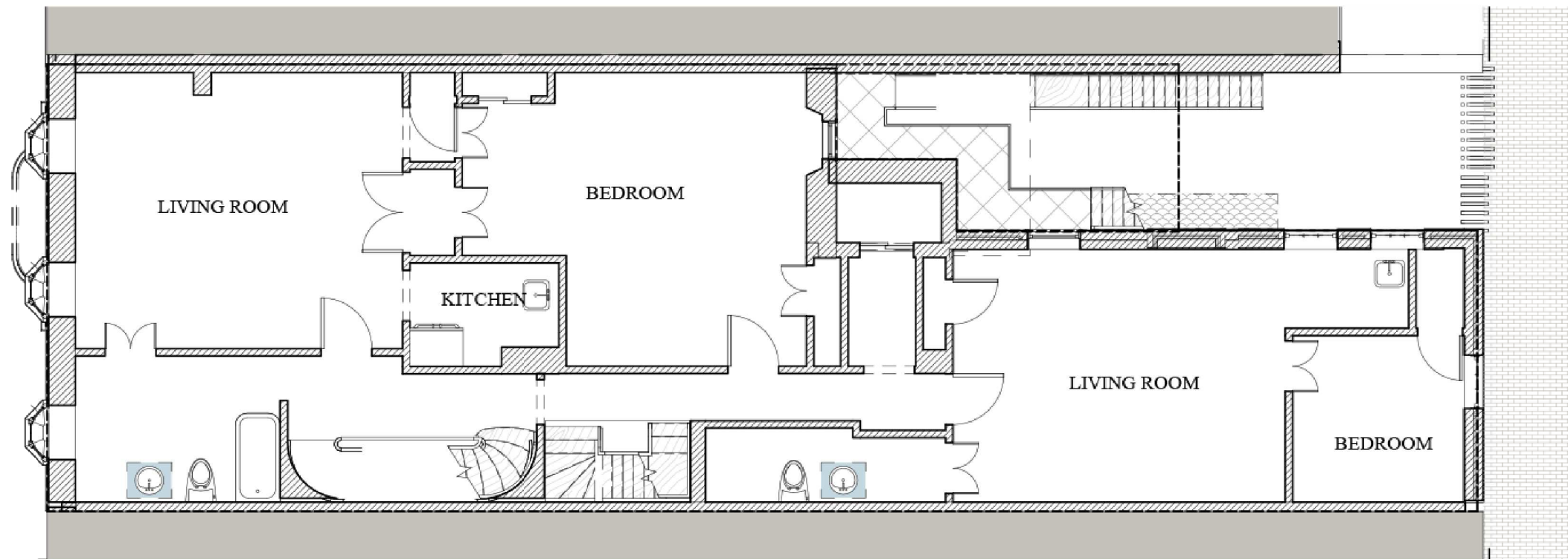


BEACON STREET

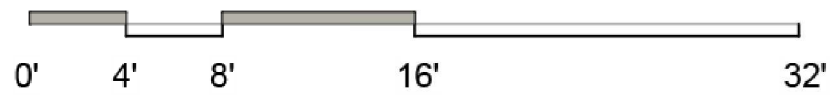


BYRON STREET

BEACON STREET



BYRON STREET

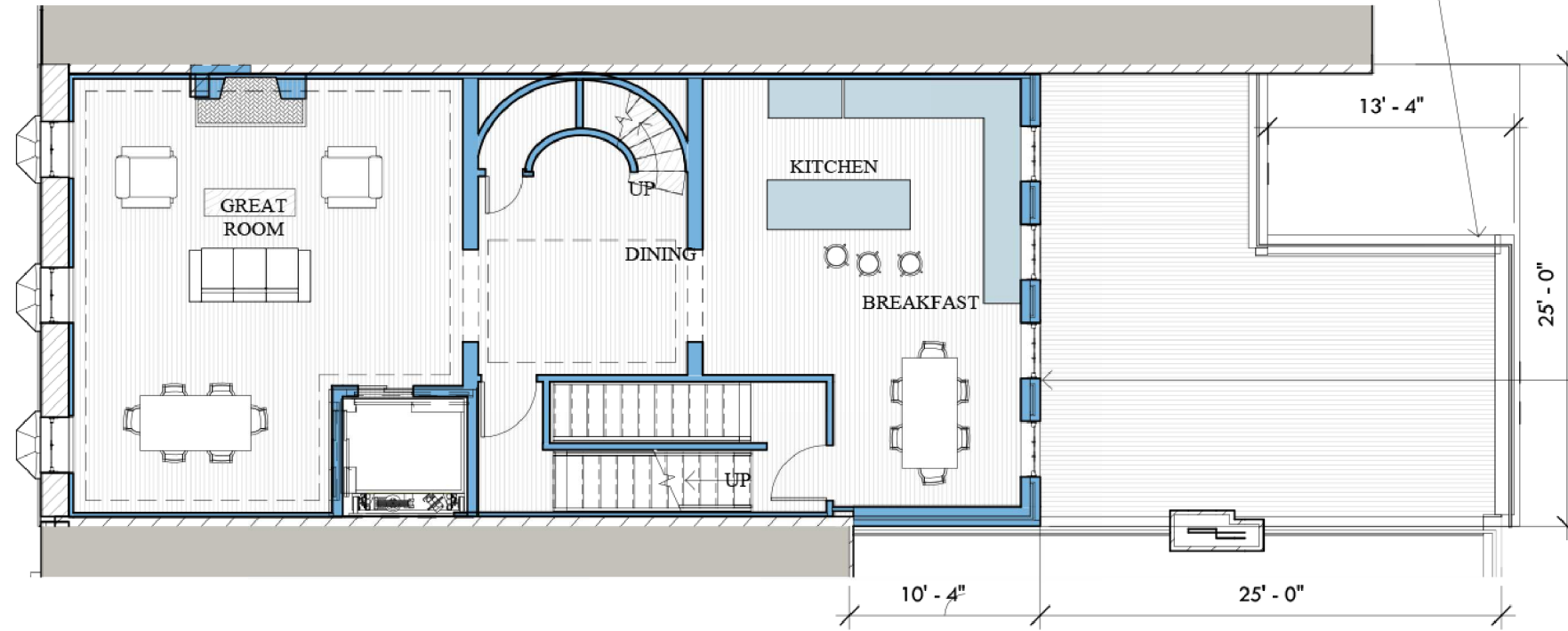


Second Floor Plans

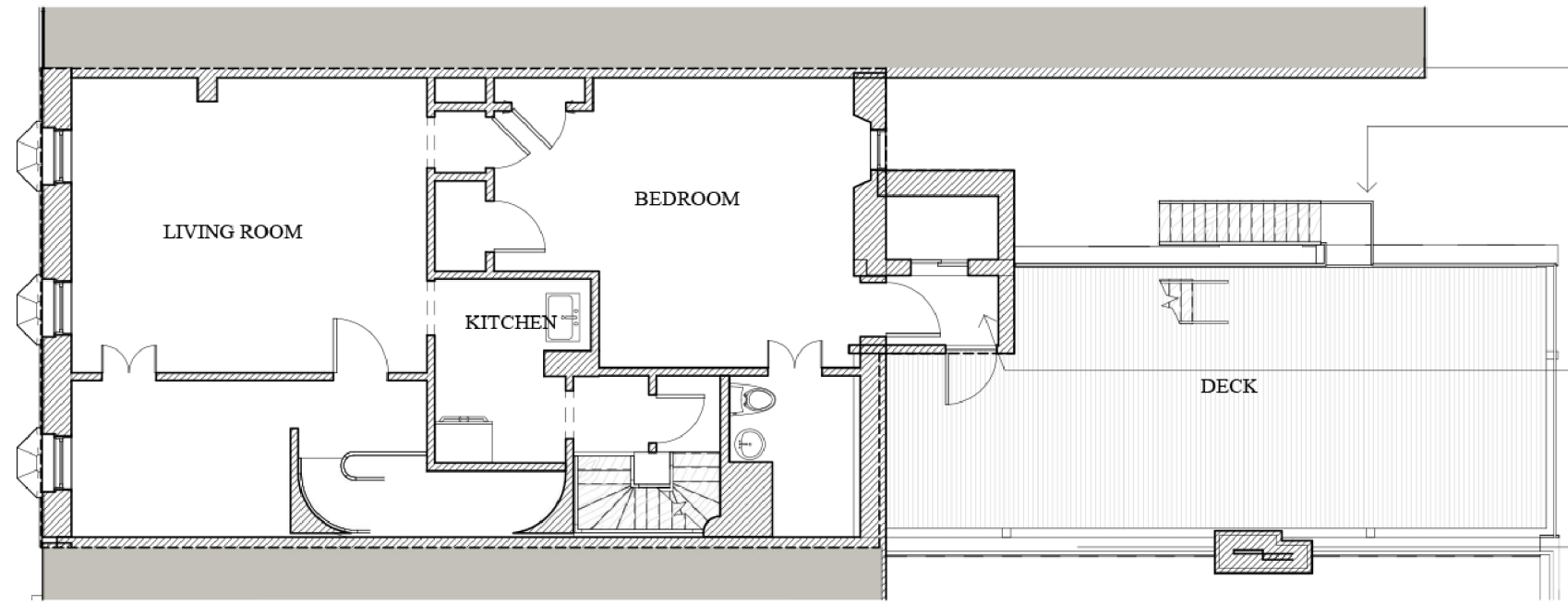




3a. Replace existing roof deck and railing with new recessed roof deck and painted metal black railing, Byron St.

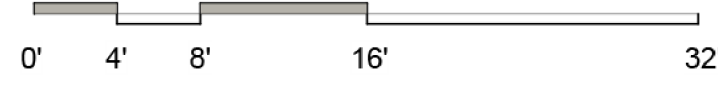


4. Rear yard Addition, Byron St.

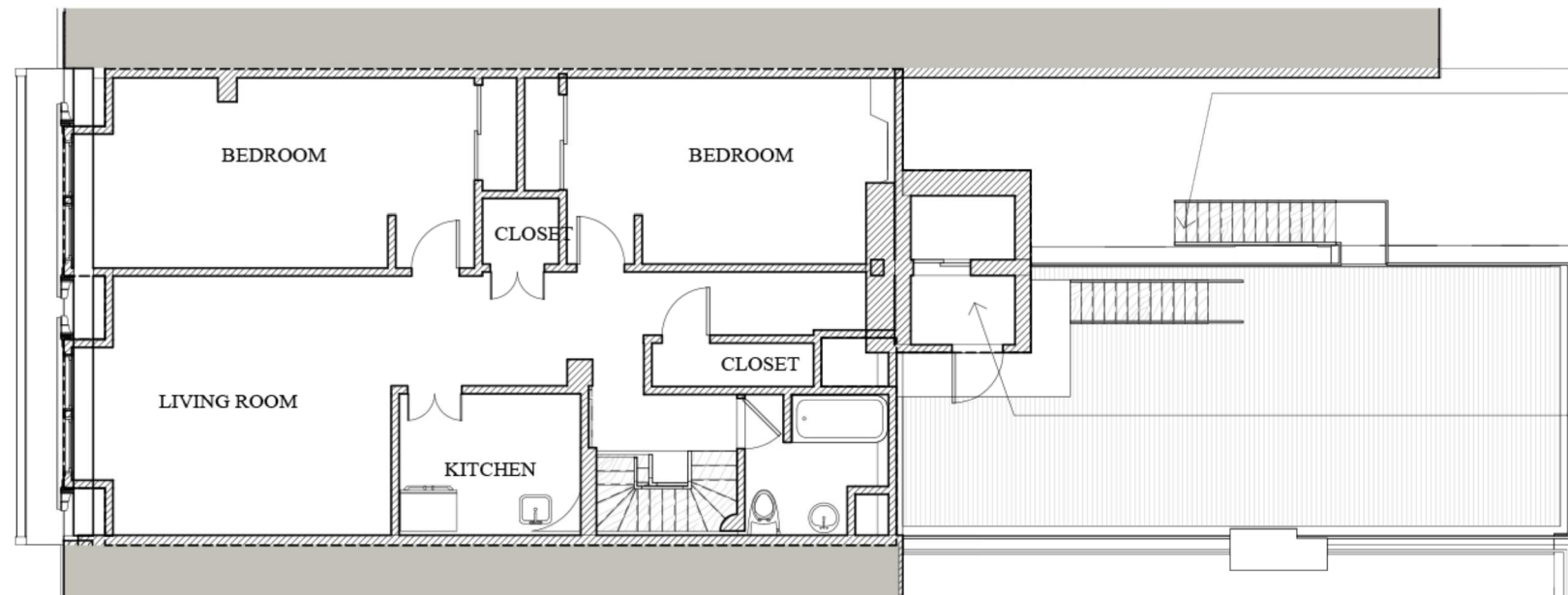
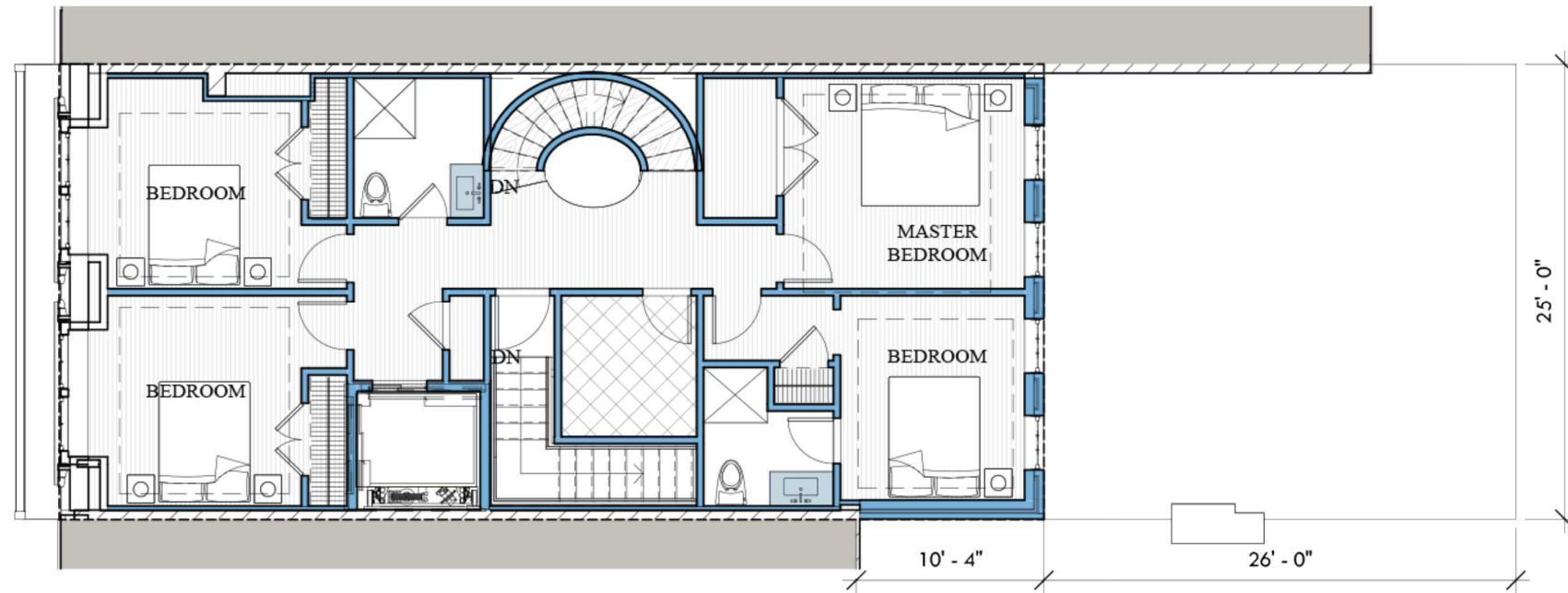


1b. Remove existing fire escape, Byron St.

6. Remove existing Non-original Elevator shaft, Byron St.

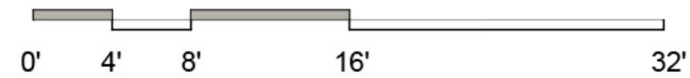




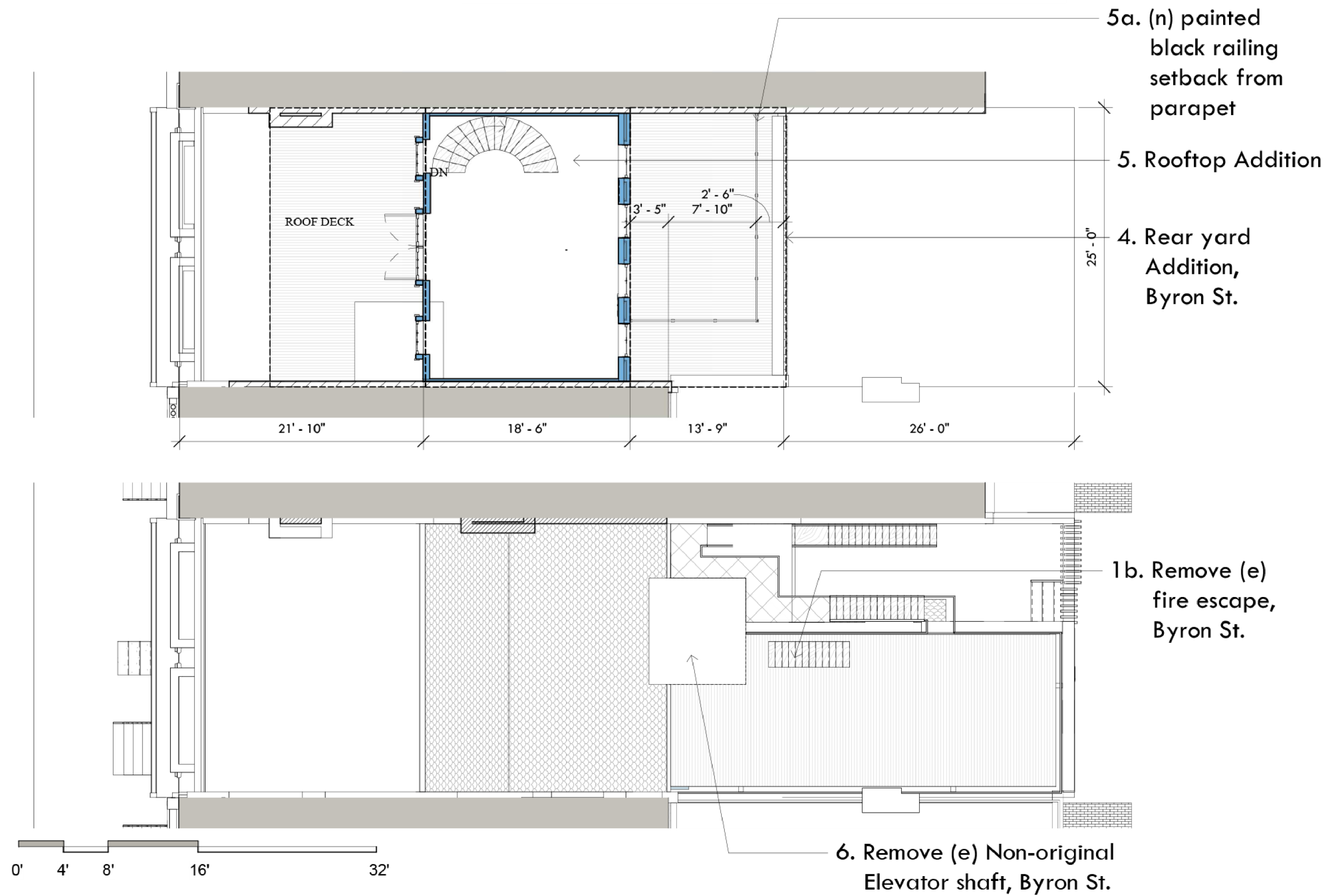


1b. Remove existing fire escape, Byron St.

6. Remove existing Non-original Elevator shaft, Byron St.





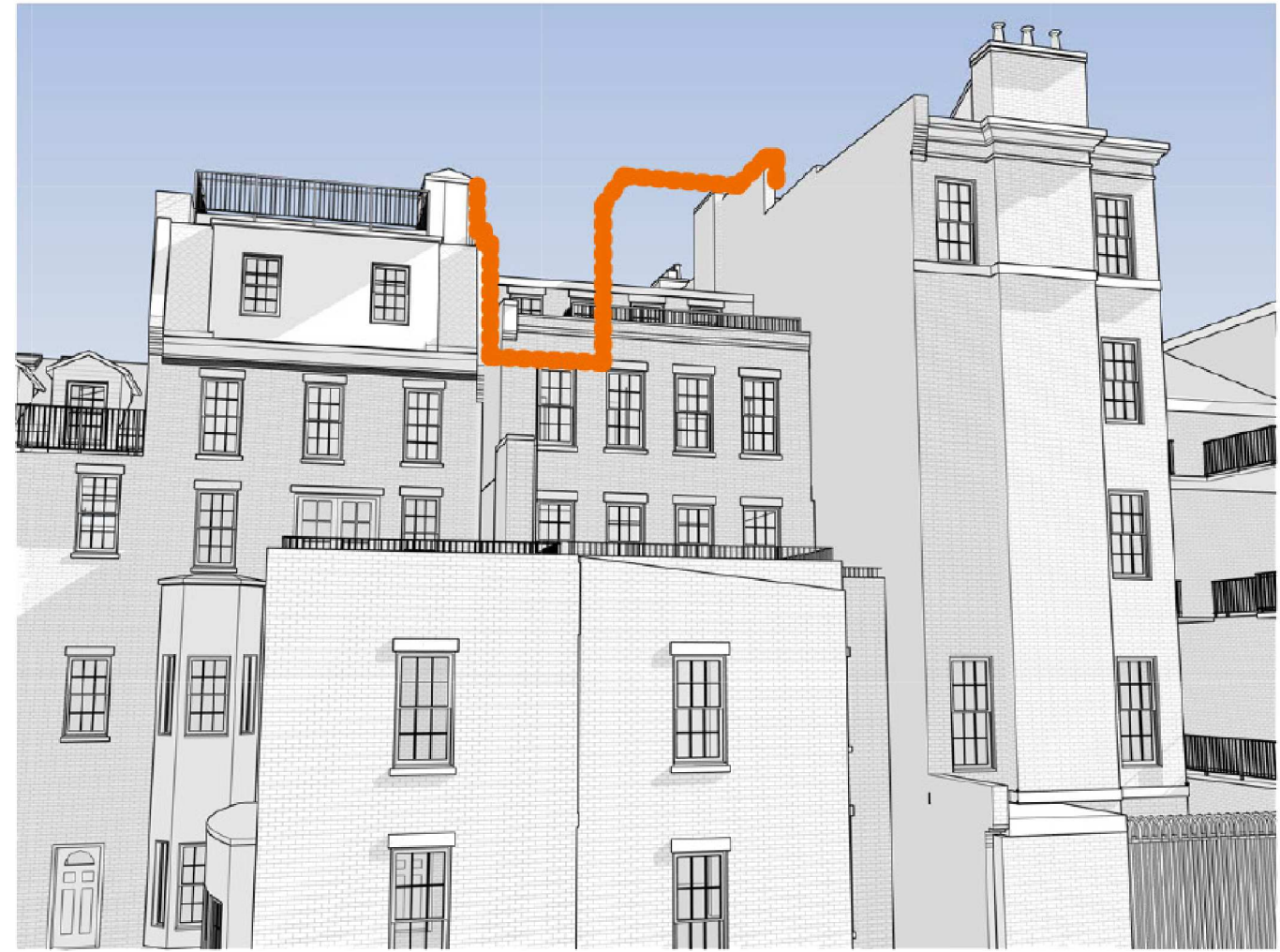


75 Beacon Street



Rooftop Addition

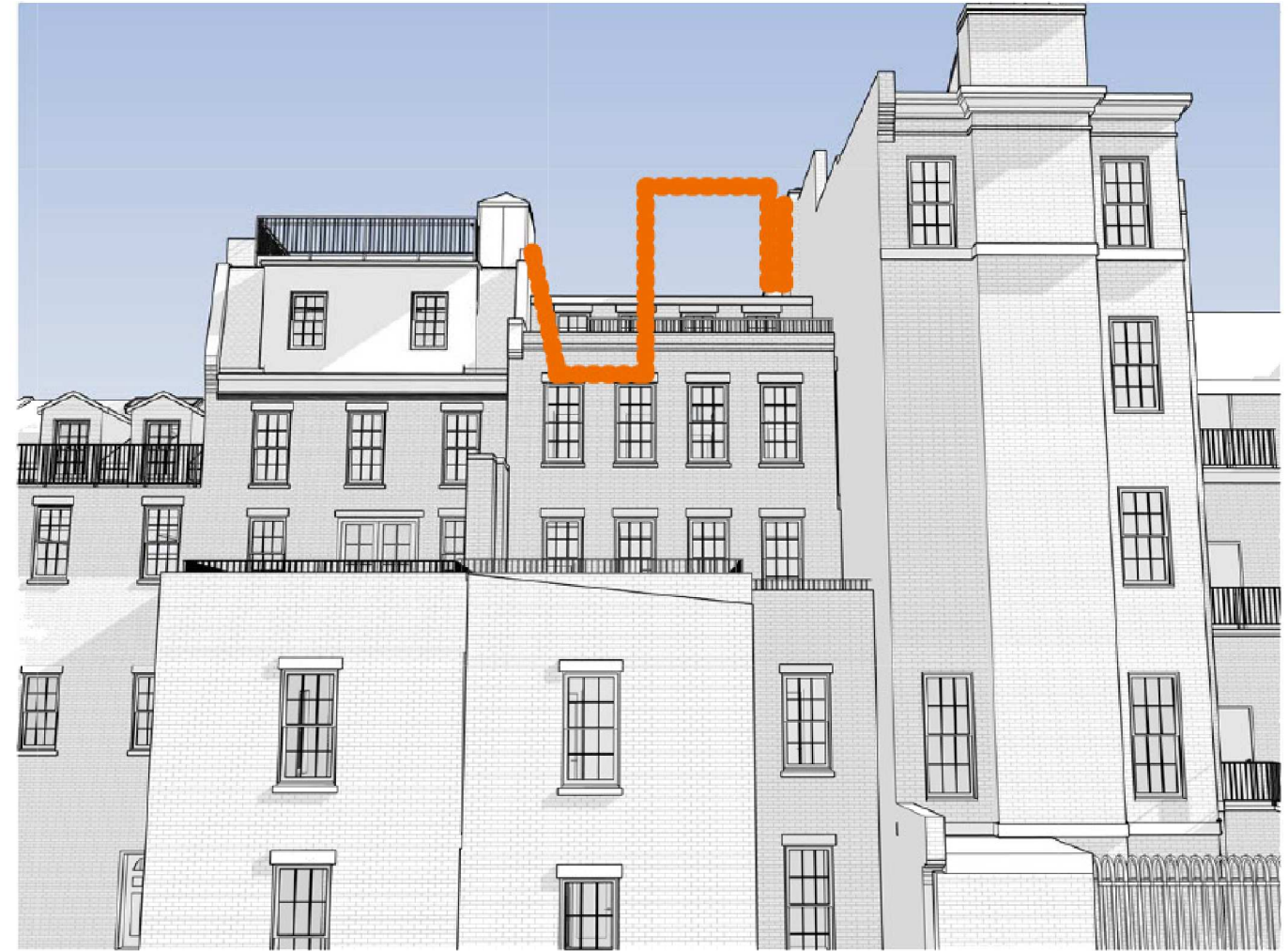




75 Beacon Street

Skyline Study





75 Beacon Street

Skyline Study

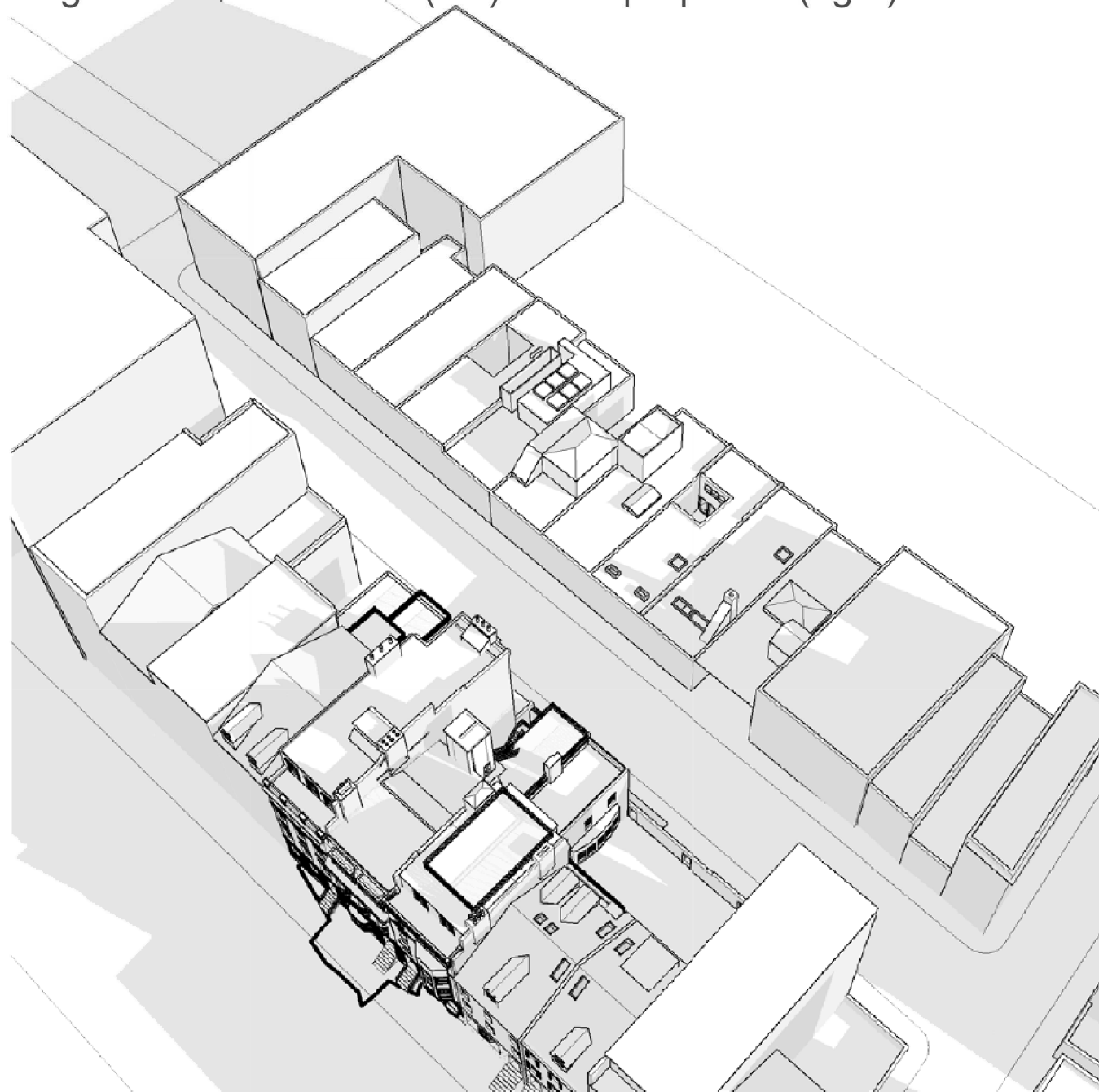




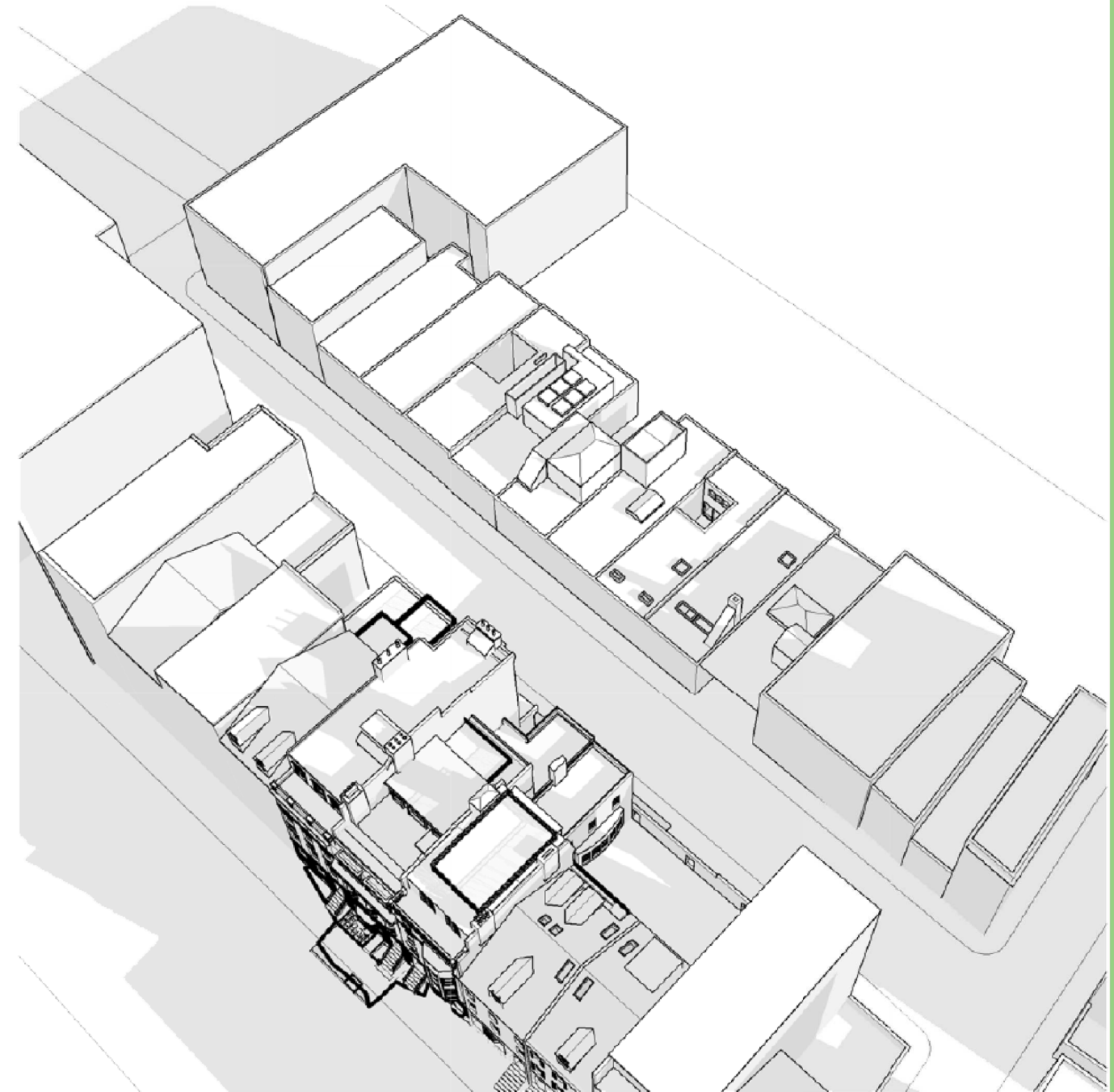
75 Beacon Street



Comparing existing conditions (left) to our proposed (right)-



Existing Plan View- Summer Solstice 7am



Proposed Plan View- Summer Solstice 7am

# Summer- 7am

MEYER & MEYER  
ARCHITECTURE AND INTERIORS

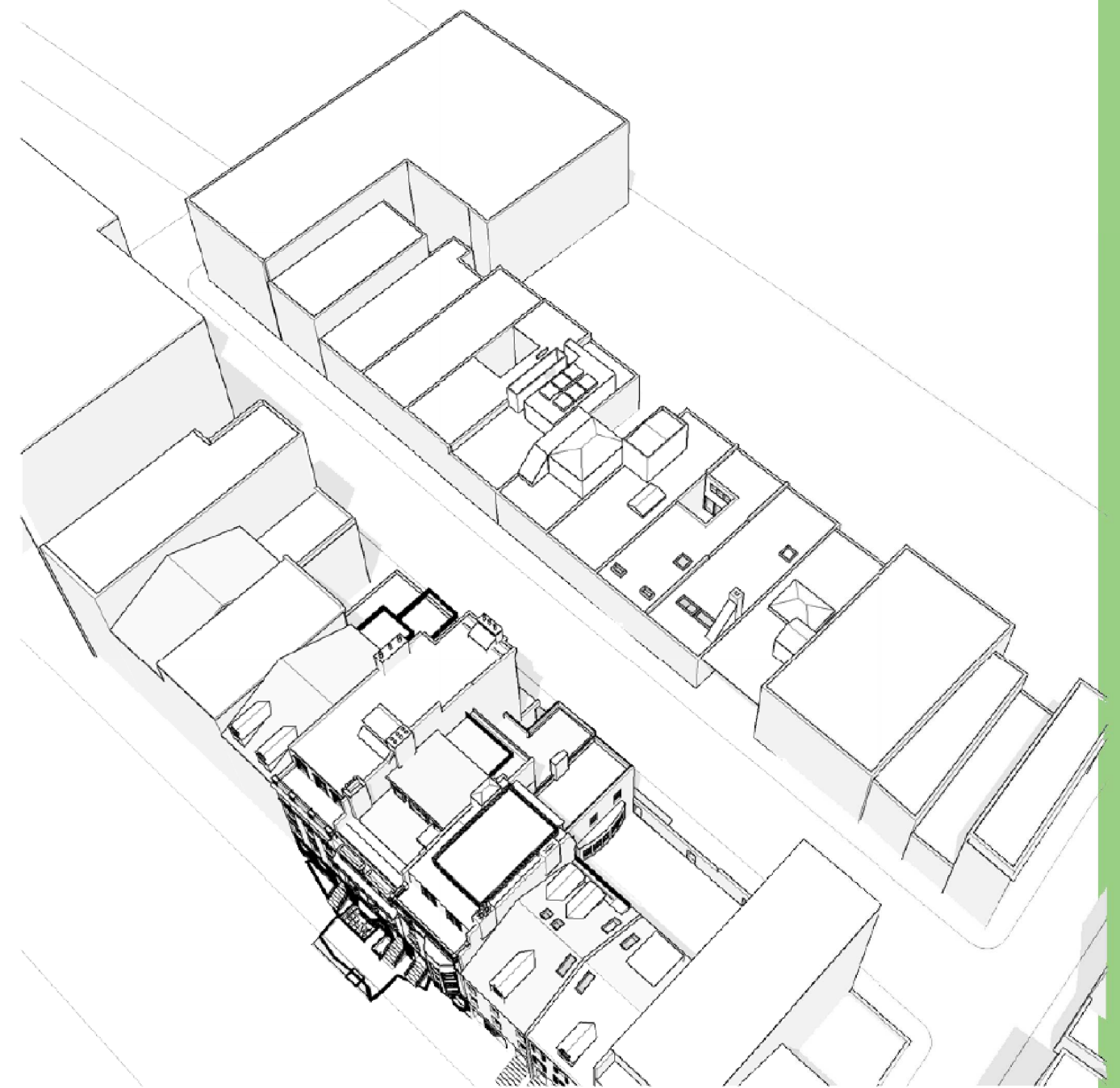
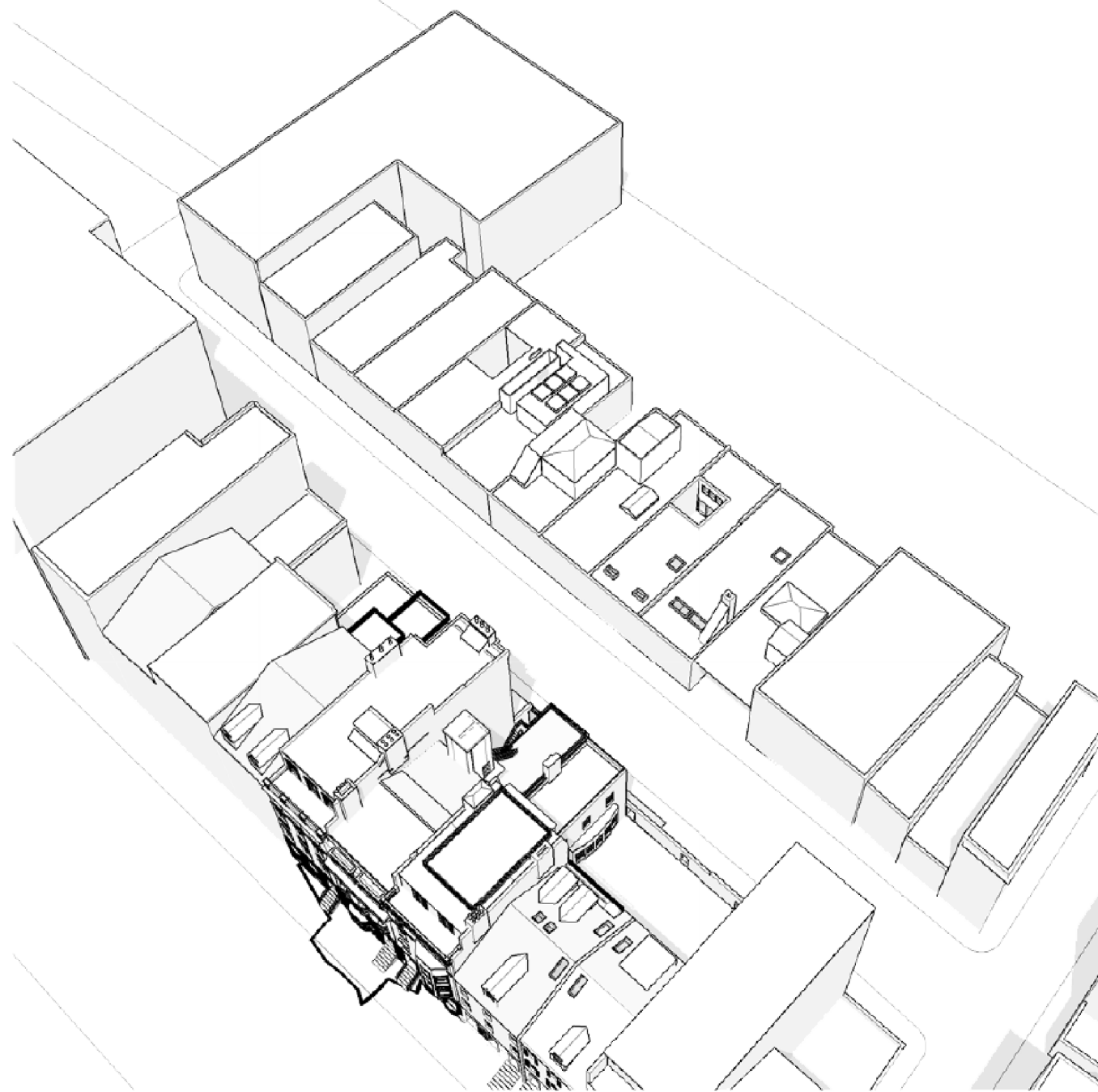
Sun Study  
Morning Sun  
Plan View

75 Beacon Street

iv



Comparing existing conditions (left) to our proposed (right)-



Existing Plan View- Summer Solstice 12pm

Proposed Plan View- Summer Solstice 12pm

# Summer- 12pm

MEYER & MEYER  
ARCHITECTURE AND INTERIORS

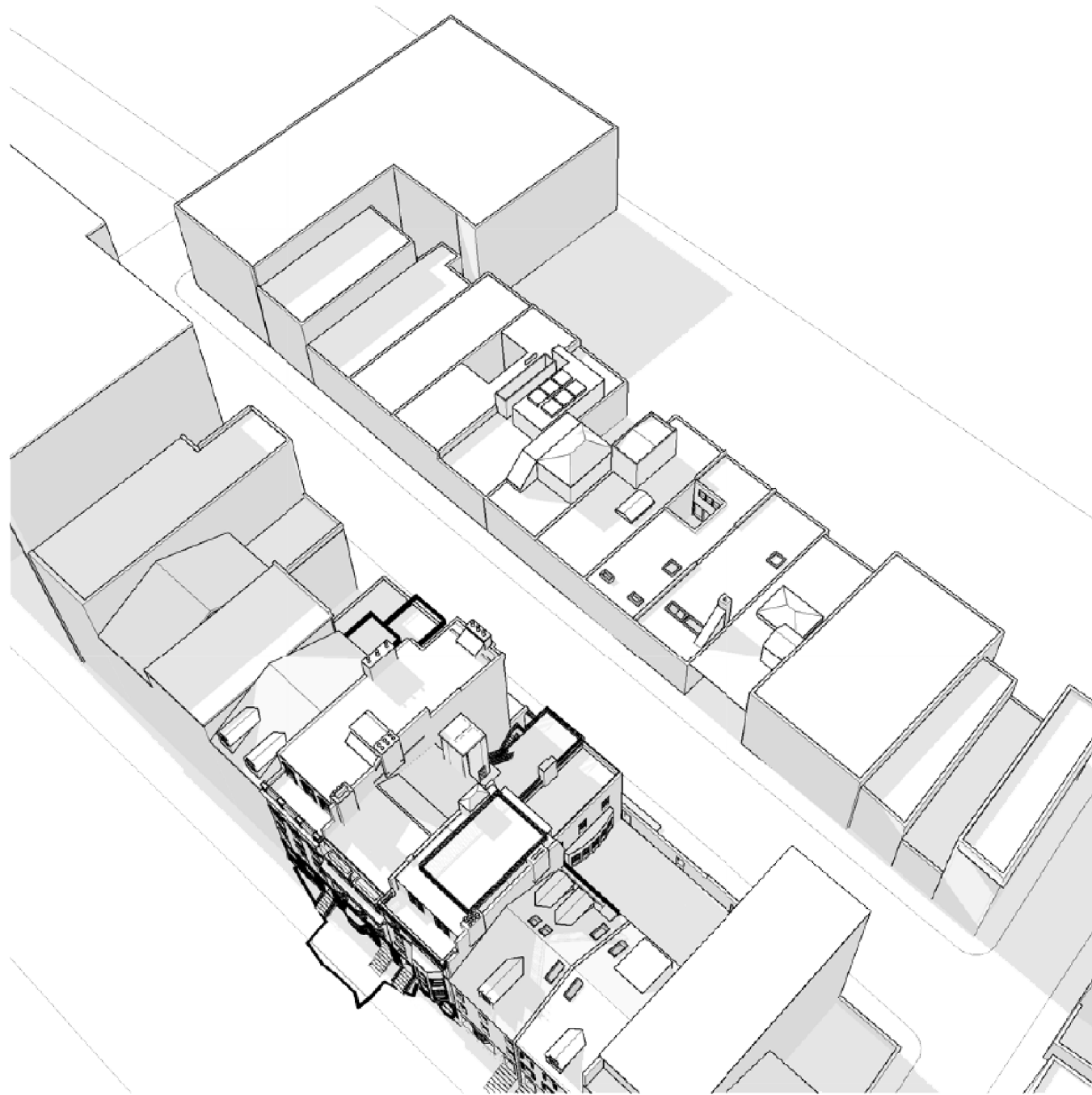
Sun Study  
Noon Sun  
Plan View

75 Beacon Street

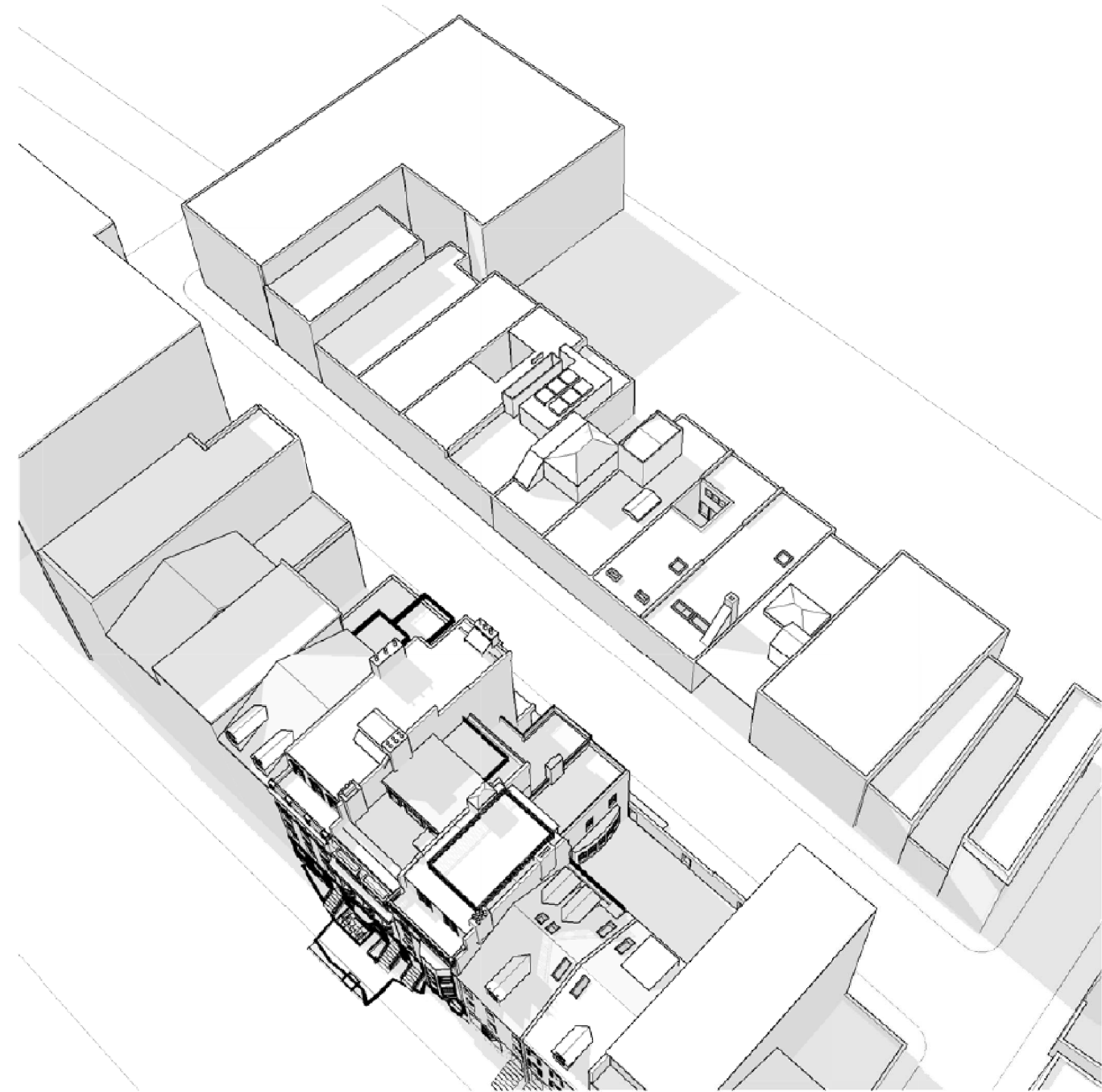
IV



Comparing existing conditions (left) to our proposed (right)-



Existing Plan View- Summer Solstice 5pm



Proposed Plan View- Summer Solstice 5pm

Summer- 5pm

MEYER & MEYER  
ARCHITECTURE AND INTERIORS

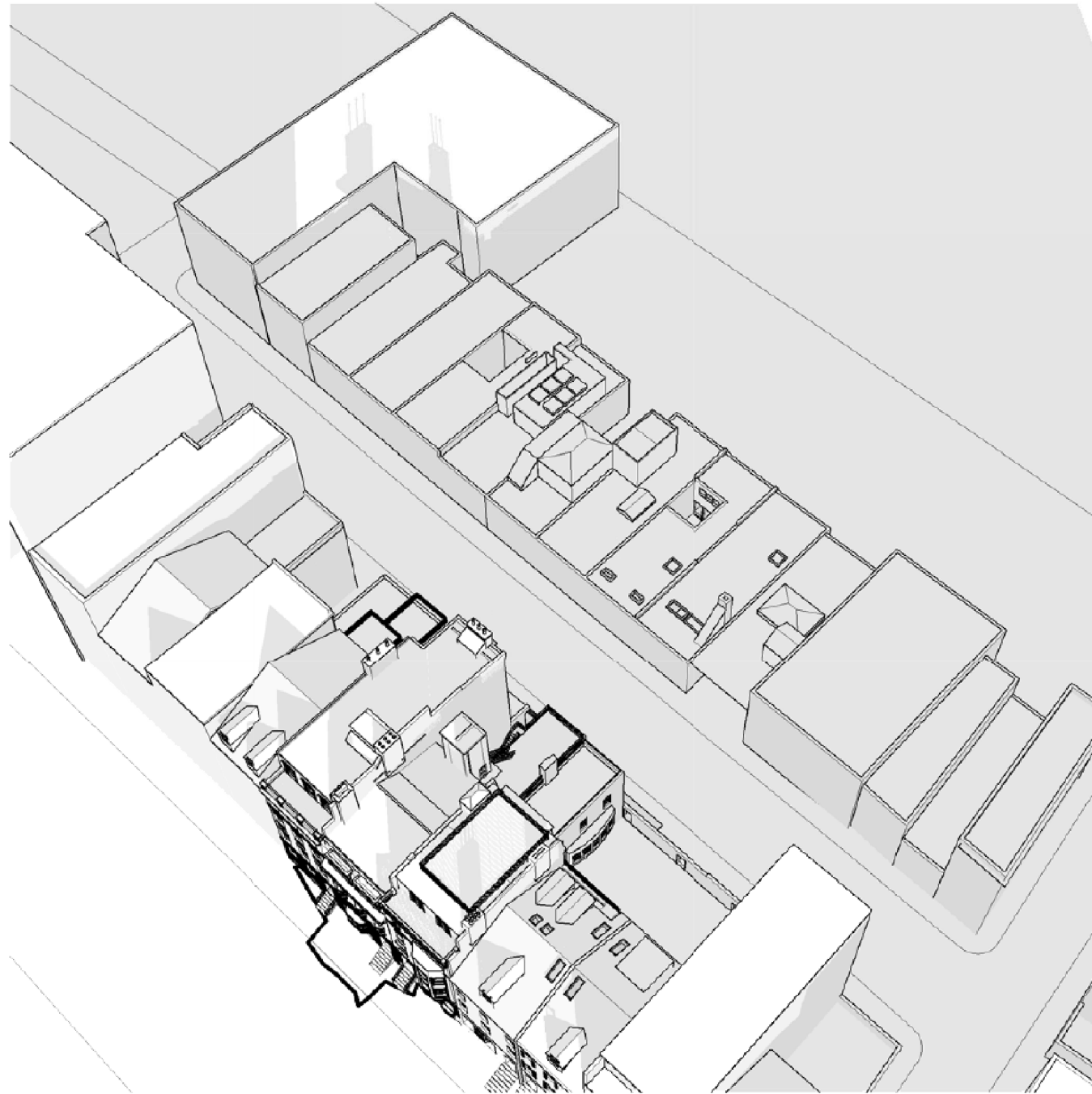
Sun Study  
Worst Case Scenario- Afternoon Sun  
Plan View

75 Beacon Street

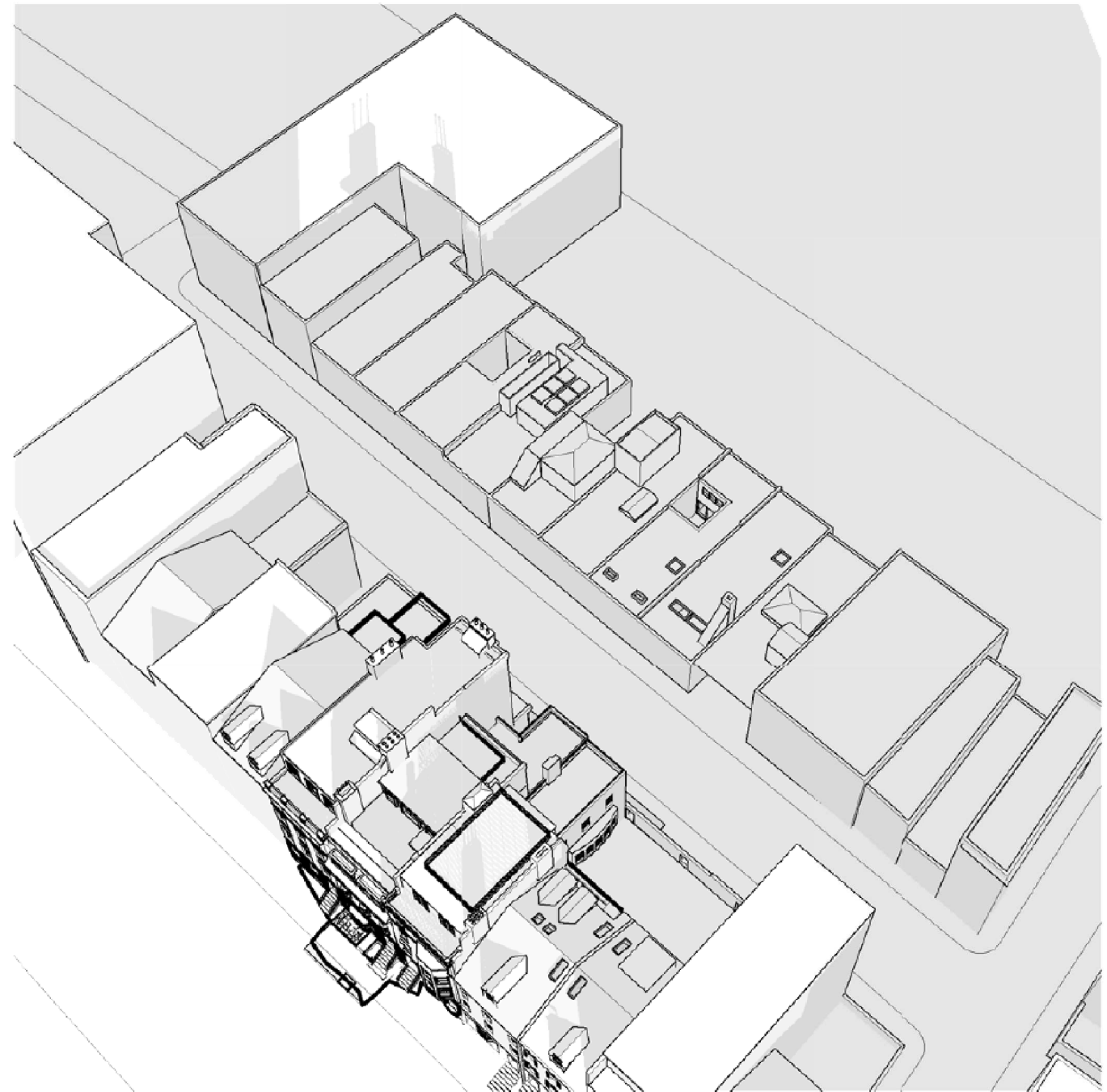
IV



Comparing existing conditions (left) to our proposed (right)-



Existing Plan View- Winter Solstice 7am



Proposed Plan View- Winter Solstice 7am

Winter- 7am

MEYER & MEYER  
ARCHITECTURE AND INTERIORS

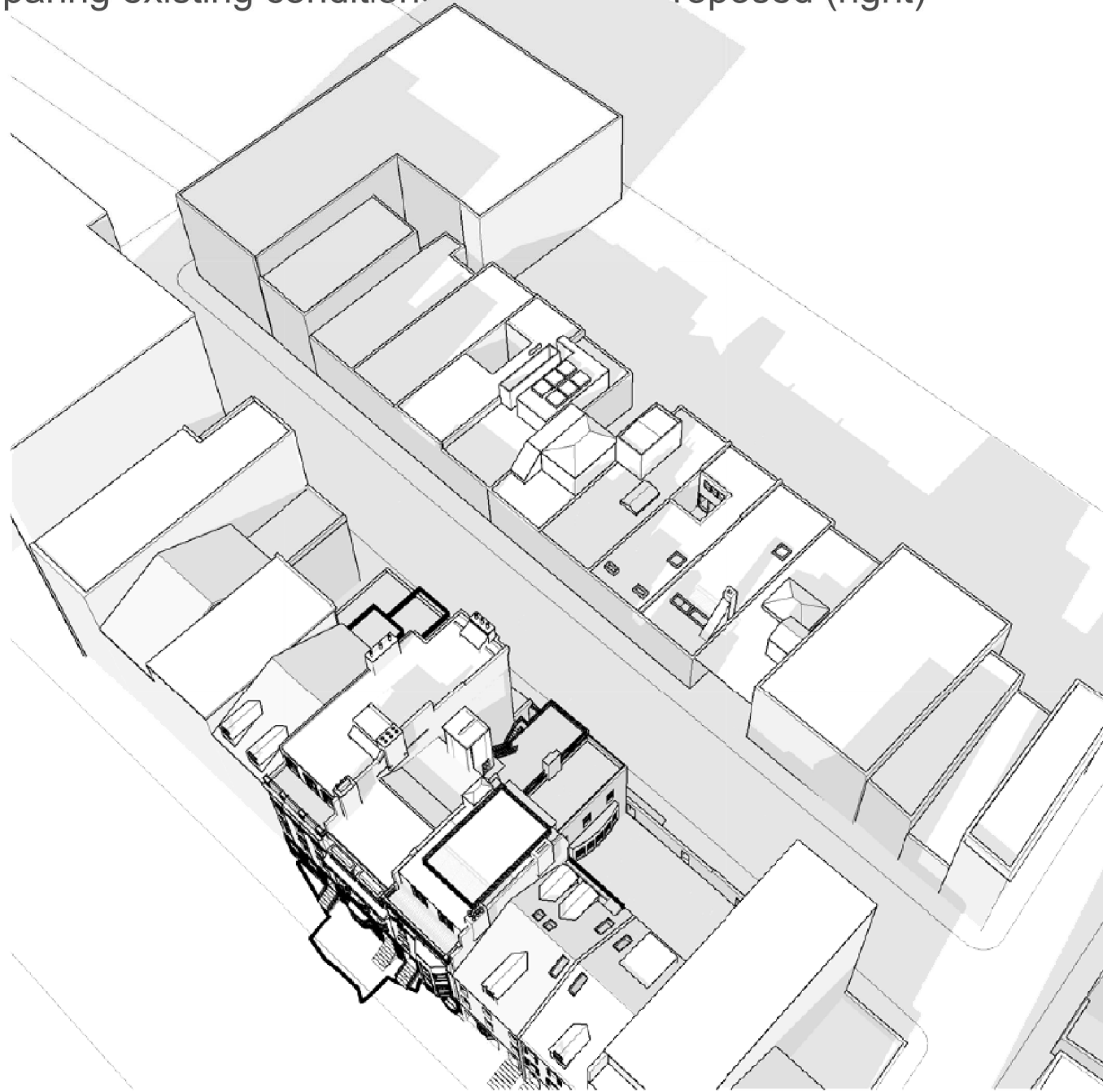
Sun Study  
Morning Sun  
Plan View

75 Beacon Street

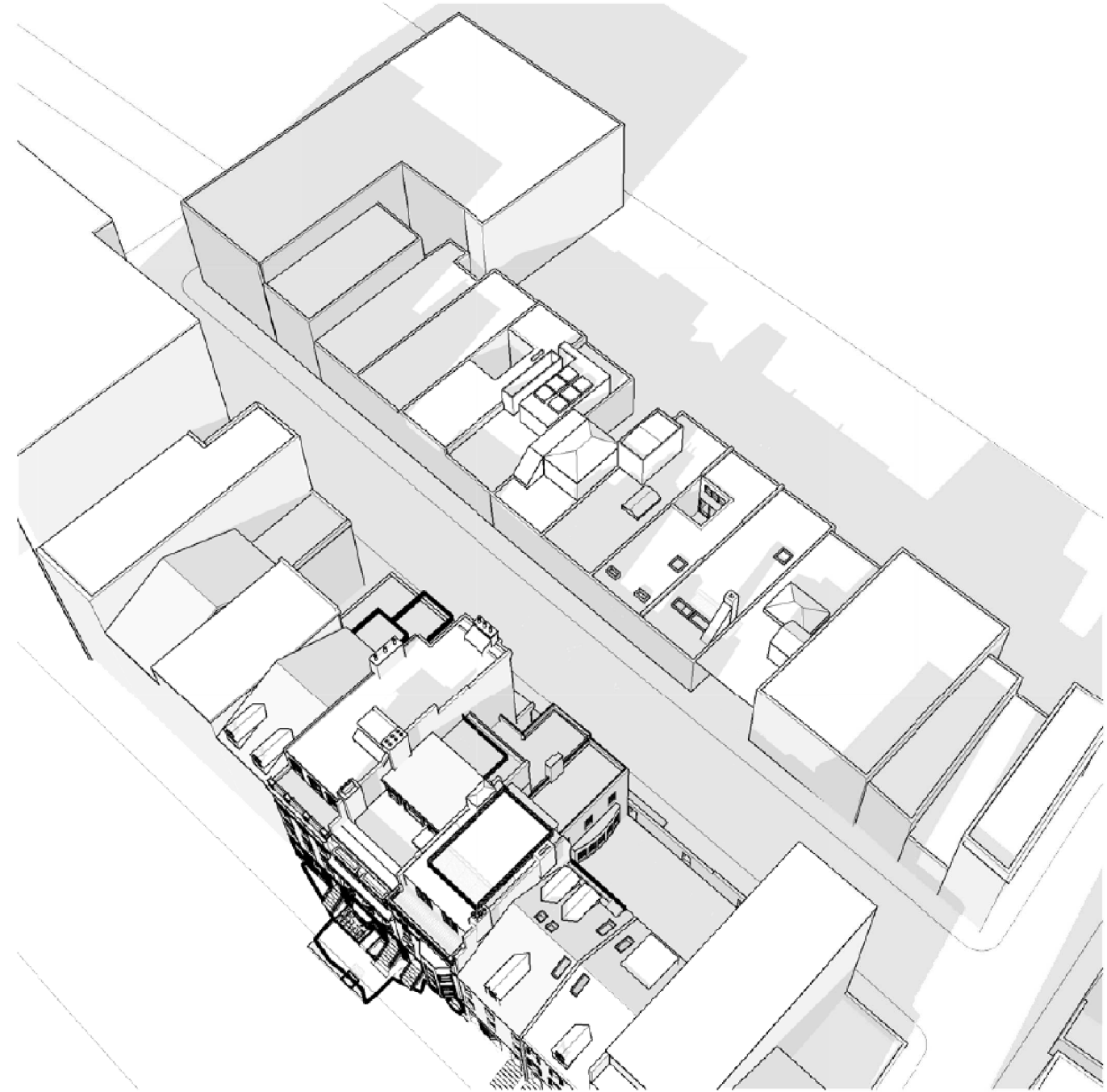
IV



Comparing existing conditions (left) to our proposed (right)-



Existing Plan View- Winter Solstice 12pm



Proposed Plan View- Winter Solstice 12pm

Winter- 12pm

MEYER & MEYER  
ARCHITECTURE AND INTERIORS

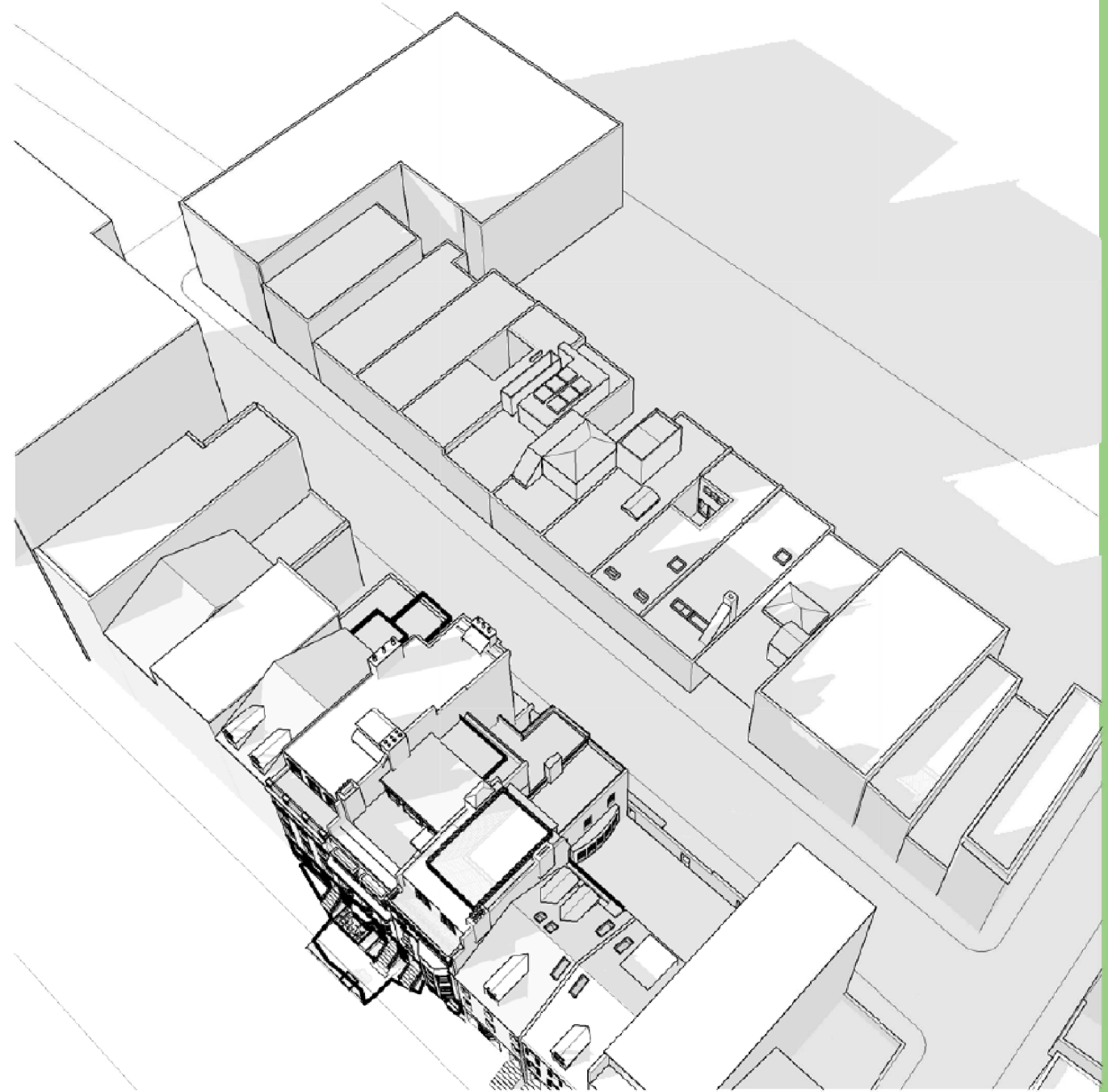
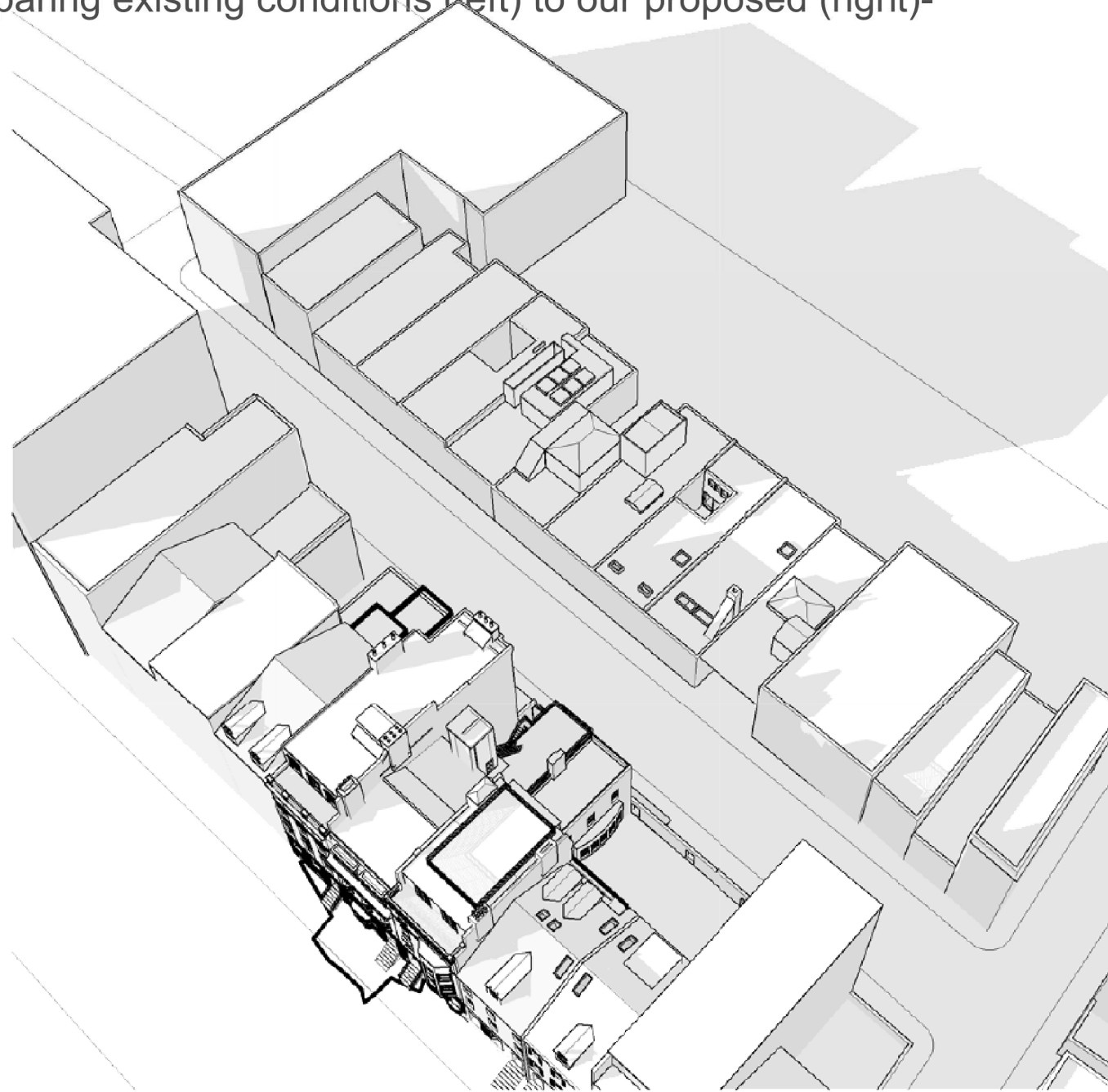
Sun Study  
Noon Sun  
Plan View

75 Beacon Street

IV



Comparing existing conditions (left) to our proposed (right)-



Existing Plan View- Winter Solstice 5pm

Proposed Plan View- Winter Solstice 5pm

**Winter- 5pm**  
MEYER & MEYER  
ARCHITECTURE AND INTERIORS

Sun Study  
Afternoon Sun  
Plan View



Comparing existing conditions (left) to our proposed (right)-



Existing Plan View- Summer Solstice 5pm



Proposed Plan View- Summer Solstice 5pm

Summer- 5pm

MEYER & MEYER  
ARCHITECTURE AND INTERIORS

Sun Study  
Birdseye View

75 Beacon Street

IV