

THE VILNA SHUL, BOSTON CENTER FOR JEWISH CULTURE

Beacon Hill Architectural Commission

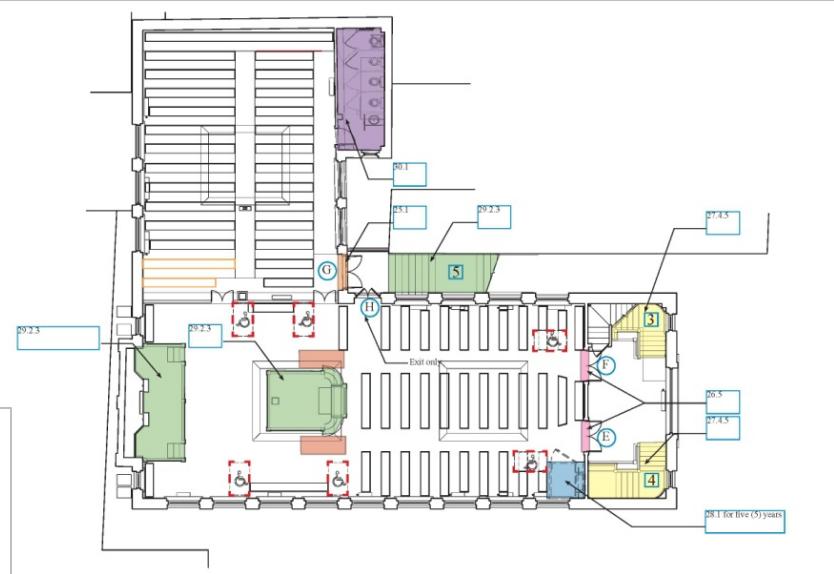
Continuance of Nov. 16th, 2017 Public Hearing

Dec. 21, 2017

2017 Renovation Project

- Universal access
- Dedicated office space
- Obstruction-free community room
- HVAC improvements
- Restoration of historic finishes, including murals in the sanctuary

All requested variances granted by the Massachusetts Architectural Access Board



	<p><i>The Commonwealth of Massachusetts</i> Department of Public Safety Architectural Access Board</p> <p>One Ashburton Place, Room 1310 Boston Massachusetts 02108-1618</p> <p>Phone: 617-727-0660 Fax: 617-727-0665 www.mass.gov/dps</p>	Docket Number
		(Office Use Only)

APPLICATION FOR VARIANCE

In accordance with M.G.L., c.22, § 13A, I hereby apply for modification of or substitution for the rules and regulations of the Architectural Access Board as they apply to the building/facility described below on the grounds that literal compliance with the Board's regulations is impracticable in my case.

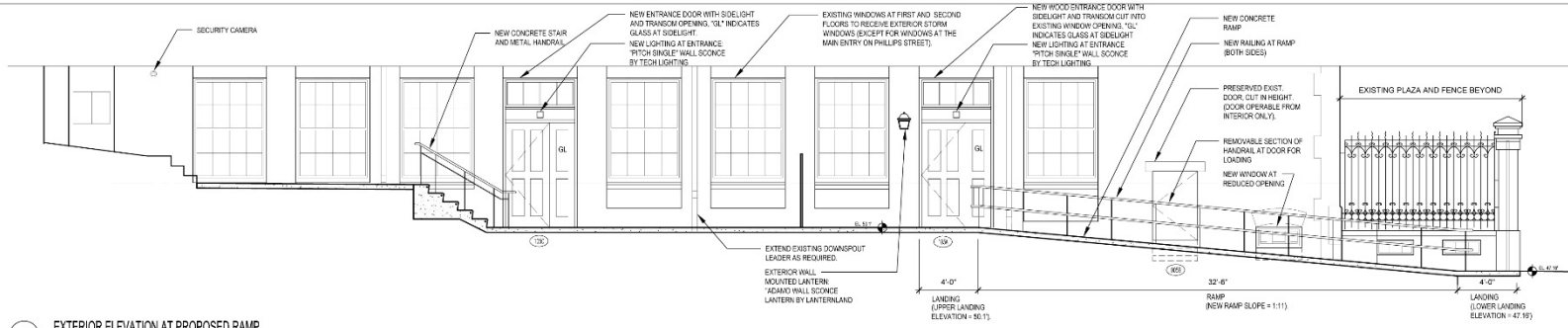
PLEASE ENCLOSE:

- 1) A filing fee of \$50.00 (Check/Money Order) made payable to the "Commonwealth of Massachusetts" and all supporting documentation (e.g. plans in 11" x 17" format, photographs, etc.). In addition, the complete package (including plans, photographs and the completed "Service Notice") must be submitted to all parties via compact disc.

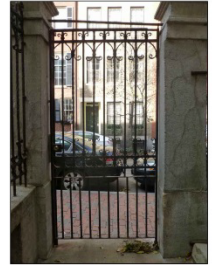
EXTERIOR WORK: East Alleyway Becomes New Entrance



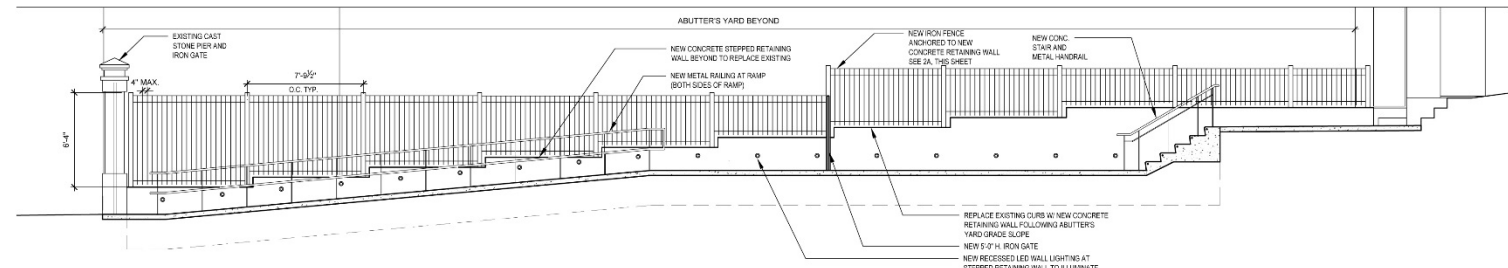




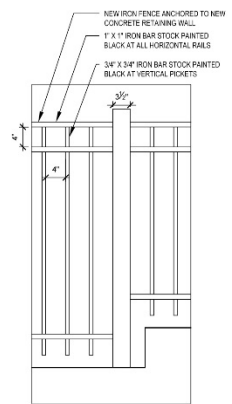
1 EXTERIOR ELEVATION AT PROPOSED RAMP
Scale: 1/4"=1'-0" @ 24 X 36 PRINT



1A EXISTING GATE AT EAST ALLEYWAY
Scale: NONE

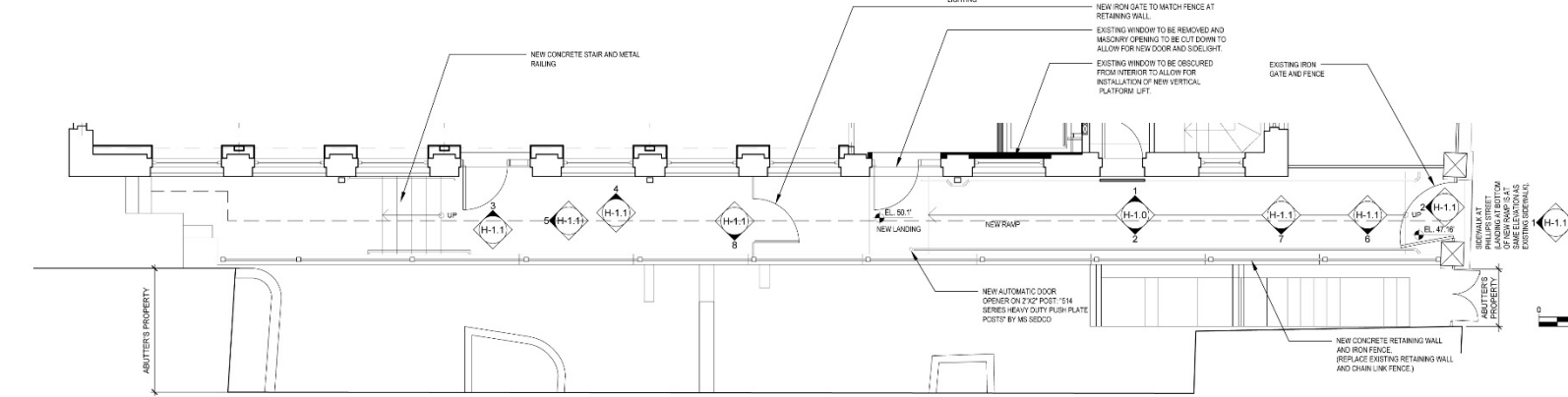


2 EXTERIOR ELEVATION AT PROPOSED RAMP
Scale: 1/4"=1'-0" @ 24 X 36 PRINT



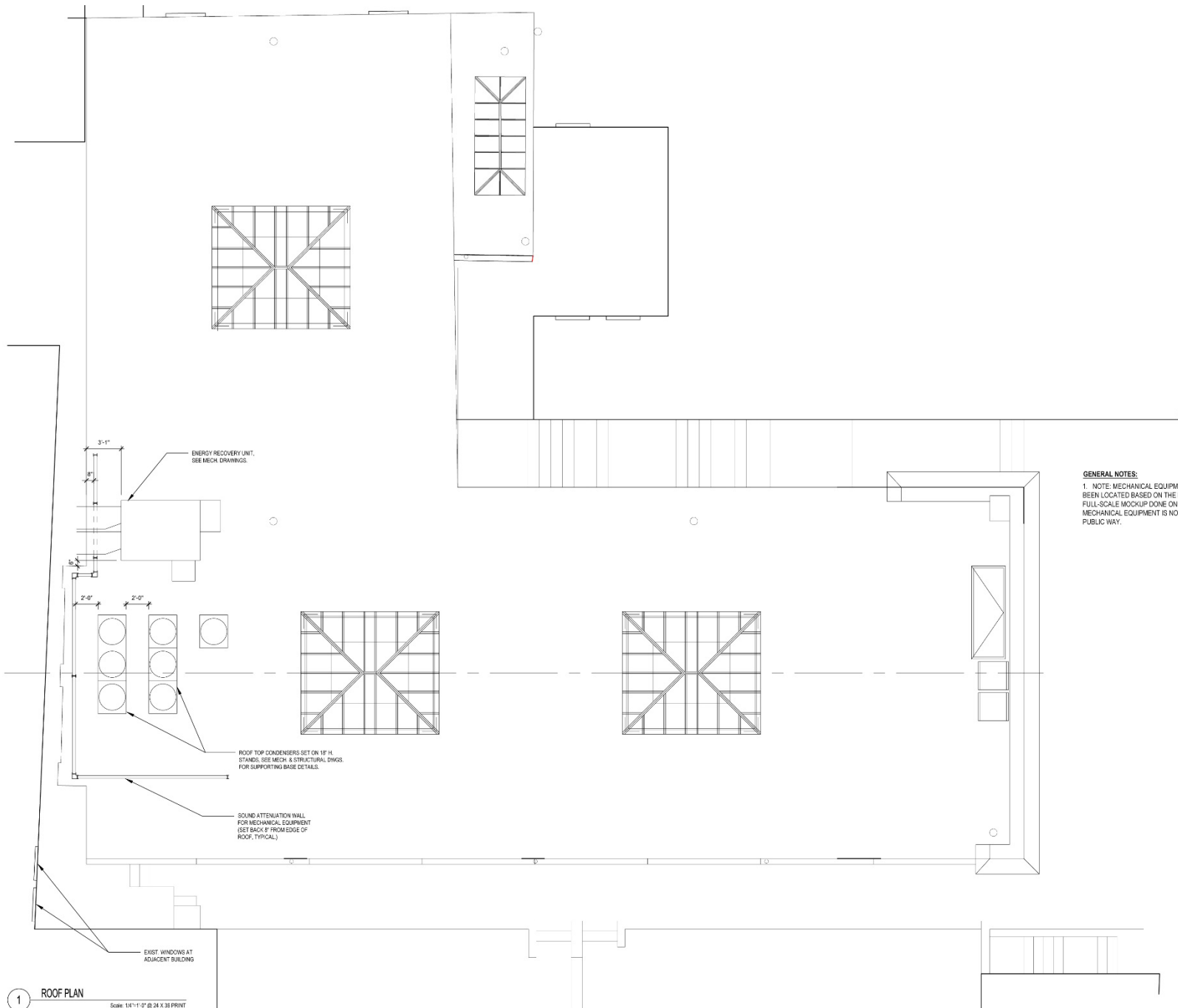
2A FENCE ELEVATION
Scale: 1/4"=1'-0" @ 24 X 36 PRINT

NOTE: FENCE DESIGN IS A SIMPLIFIED VERSION OF THE IRON GATE AT THE EAST ALLEYWAY. SEE PHOTOGRAPH 1A THIS PAGE.

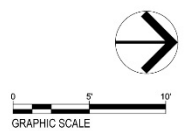


3 PROPOSED ALLEYWAY RAMP PLAN AND PHOTO KEY
Scale: 1/4"=1'-0" @ 24 X 36 PRINT





GENERAL NOTES:
 1. NOTE: MECHANICAL EQUIPMENT AT ROOF HAS BEEN LOCATED BASED ON THE RESULTS OF A FULL-SCALE MOCKUP DONE ON 11.28.2017. MECHANICAL EQUIPMENT IS NOT VISIBLE FROM THE PUBLIC WAY.





#20-20A
N/F
SFLMASSON HOLDINGS, LLC
BOOK 37016, PAGE 99

VILNA CENTER FOR JEWISH
HERITAGE, INC.
L.C.O. 10858

#14-18
N/F

ENTRY THRESHOLD
ELEV=62.59'

ENTRY THRESHOLD
ELEV=62.62'

ENTRY THRESHOLD
ELEV=52.00'

ENTRY THRESHOLD
ELEV=49.05'

ENTRY THRESHOLD
ELEV=53.69'

1ST FLOOR (WOOD)
ELEV=50.10'
BSMT FLOOR (CONC)
ELEV=42.25'

2 STORY
BRICK

CONCRETE
PLATFORM

BRICK SIDE WALK

EXTEND DOWNSPOUT AS REQUIRED TO
CONNECT TO EXIST. BUILDING DRAIN
(3 TOTAL--SEE ARCH. DWGS.)

PROPOSED GATE
(SEE ARCH. DWGS.)

PROPOSED ENTRANCE
(SEE ARCH. DWGS.)

EXISTING DOOR TO
BE PRESERVED
(SEE ARCH. DWGS.)

WALK TO EXTEND TO BOTTOM
OF EXISTING STAIRS

PROPOSED ENTRANCE
(SEE ARCH. DWGS.)

RECONSTRUCT CONC. WALK UPON
COMPLETION OF NEW WALL

RECONSTRUCT CONC. WALK UPON
COMPLETION OF NEW WALL

32'-6" PROPOSED CONC. 1:11 RAMP
SLOPE=8.8% (SEE ARCH. DWGS.)

CROSS SLOPE NOT
TO EXCEED 2% IN
ALL DIRECTIONS

MATCH EXISTING
BRICK WALK

PROP. WALK SLOPE 3.2%

CROSS SLOPE NOT
TO EXCEED 2% IN
ALL DIRECTIONS

TRENCH DRAIN TO CONNECT
TO INTERIOR PLUMBING
R=50.07

PROPERTY LINE

PROPERTY LINE

PROP. CONC. STAIRS
15 RISERS AT 0.6" EACH
OR 8 RISERS AT 0.3"
EACH (SEE ARCH. DWGS.)

RETAINING WALL TO BE RECONSTRUCTED
(SEE STRUCTURAL PLANS)

FOR HANDRAILS - SEE ARCH. PLANS

RETAINING WALL TO BE RECONSTRUCTED
(SEE STRUCTURAL PLANS)

N/F

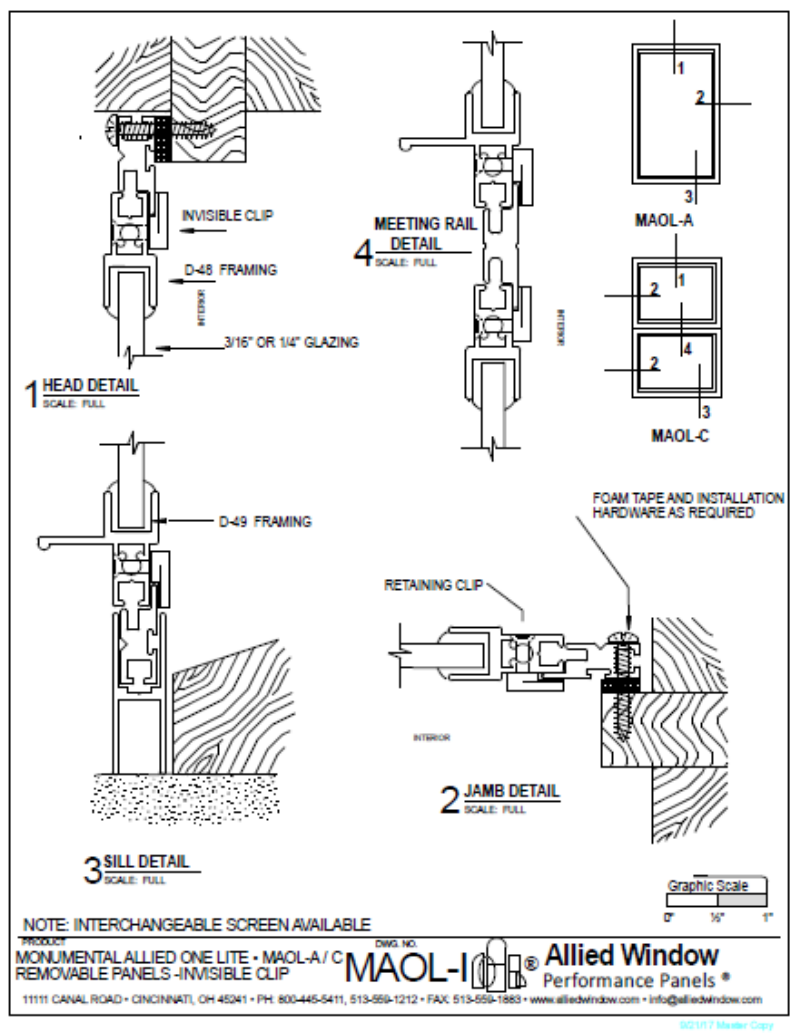
BR

BR

3C

RE
30C

Windows

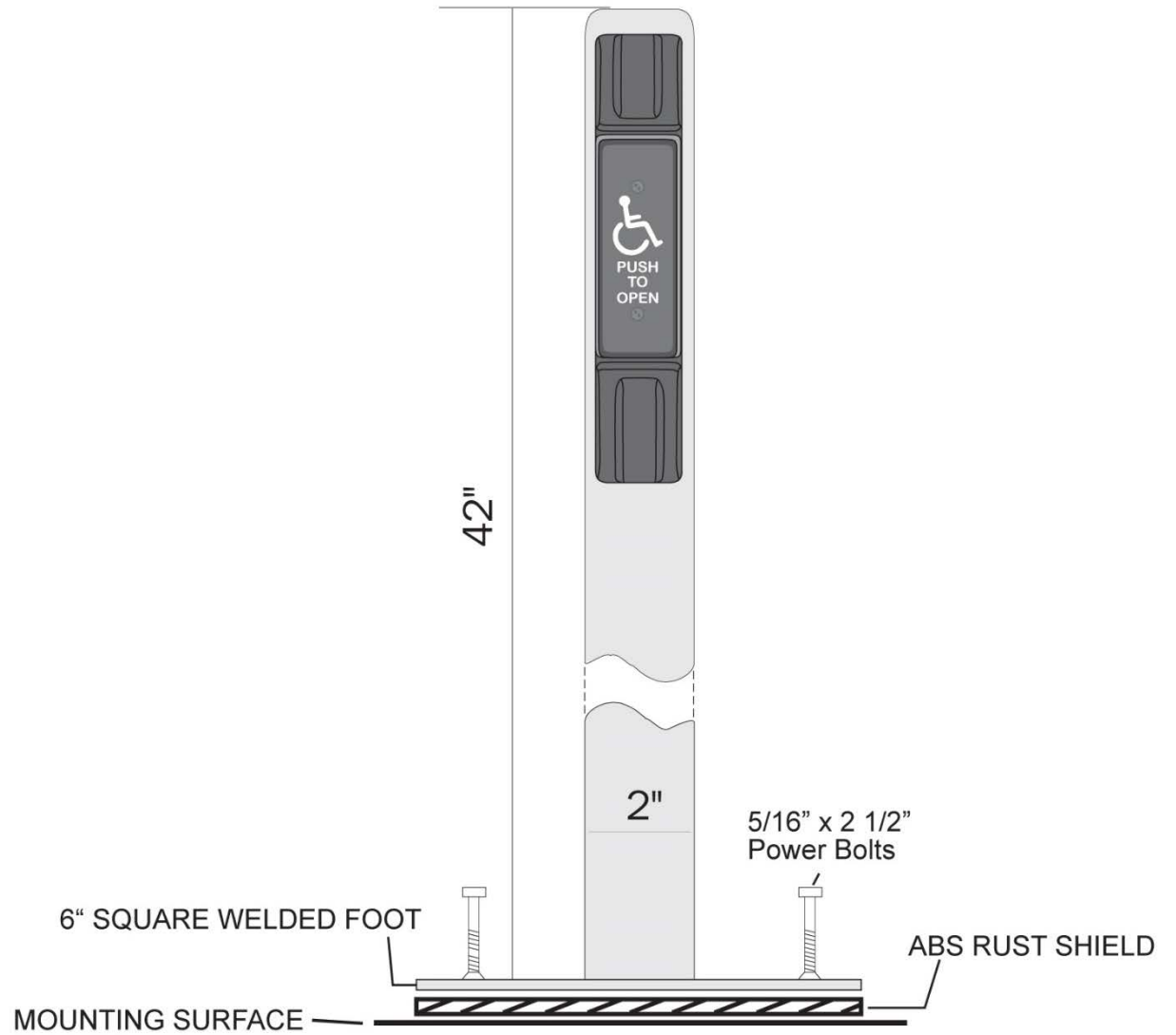




BLANK
POST

POST WITH
59J-H IN 1010
SURFACE BOX

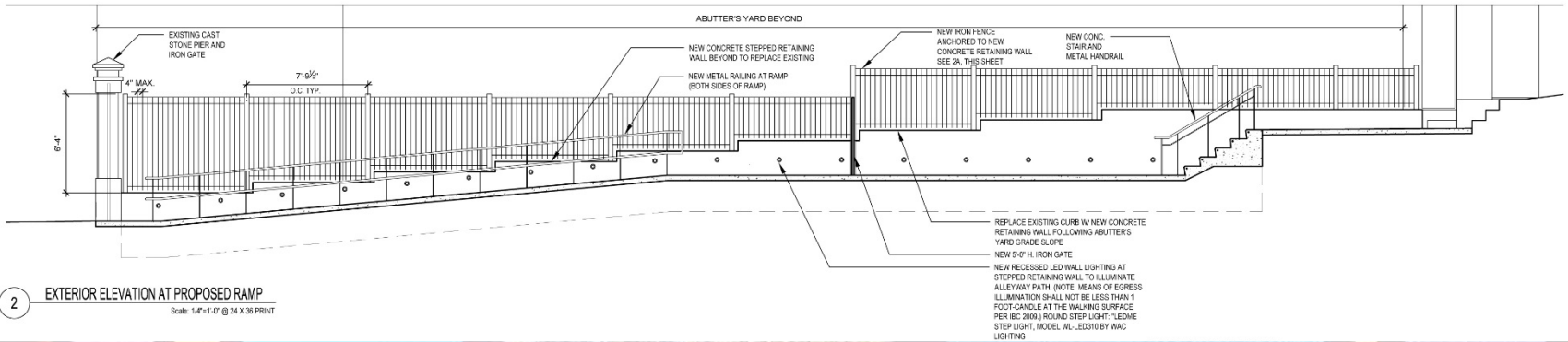
SURFACE MOUNTED TO CONCRETE



Lighting



Fence Lighting



Security Cameras

