

Eversource Substation

Lot 2, Condor Street
Boston, Massachusetts

SUBMITTED TO **Boston Conservation Commission**
1 City Hall Square, Room 709
Boston, MA 02201

APPLICANT **NSTAR Electric Company**
EVERSOURCE
ENERGY
Westwood, Massachusetts

PREPARED BY **VHB**
99 High Street
Boston, MA 02210

December 5, 2018



December 5, 2018

Ref: 12754.03

Ms. Amelia Croteau
Boston Conservation Commission
1 City Hall Square, Room 709
Boston, MA 02110

RE: Notice of Intent – Eversource Substation

Dear Ms. Croteau and Conservation Commission Members,

On behalf of NSTAR Electric Company d/b/a Eversource Energy (Eversource or the Applicant), VHB, Inc. is pleased to submit this Notice of Intent (NOI) under the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40) (WPA) and implementing regulations (310 CMR 10.00). Eversource is proposing preliminary site preparation and soil remediation activities associated with the planned construction of Substation 131 on a previously developed Eversource-owned parcel of land located at Lot 2, Condor Street in East Boston (the "Project").

Preliminary site clean-up activities are necessary to facilitate the planned construction of Substation 131, which is a fundamental component of Eversource's Mystic-East Eagle-Chelsea Reliability Project ("MEECRP"). MEECRP involves the construction of two new underground electric transmission cables being installed to interconnect the planned new substation into the existing electrical grid at Mystic Substation in Everett and Chelsea Substation in Chelsea. The planned construction of the substation will be submitted to the Boston Conservation Commission (BCC) for review and approval in a future NOI.

A limited portion of the proposed preliminary site preparation and soil remediation activities is located in previously developed upland areas within the 100-foot buffer zone to coastal bank associated with Chelsea Creek. The site is also located within the Chelsea Creek Designated Port Area. No activities within coastal or inland wetland resource areas are proposed and the Project will be conducted so as to not result in any temporary or permanent impacts to adjacent resources. A limited portion of Project activities and required access will take place on adjacent City of Boston property which will be facilitated through a license agreement with the City for temporary access.

As required, abutters within 100 feet of the property have been notified. Eversource has paid the Commonwealth of Massachusetts in the amount of \$512.50 for payment of the state share of the WPA

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filing fee. Enclosed is a check made payable to the City of Boston in the amount of \$1500.00 in accordance with the City of Boston Conservation Commission filing fee requirements. Should you have any questions concerning this submittal or require additional information, please contact Sean Hale, VHB at shale@vhb.com or at (207) 536-2588

Sincerely,

A handwritten signature in blue ink that reads "S.D. Hale".

Sean D. Hale, PWS, CWS
Project Manager, VHB
shale@VHB.com

CC: Mike Zylich, Eversource
MA DEP Northeast Region

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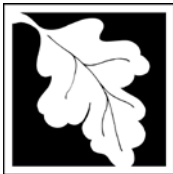
- Affidavit of Service
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- Filing Fee Check Copies

Notice of Intent Forms

- WPA Form 3



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number
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City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>Lot 2, Condor Street</u> a. Street Address	<u>Boston</u> b. City/Town	<u>02128</u> c. Zip Code
<u>Latitude and Longitude:</u>	<u>42.381862 N</u> d. Latitude	<u>-71.027201 W</u> e. Longitude
<u>0103711002</u> f. Assessors Map/Plat Number	<u>-</u> g. Parcel /Lot Number	

2. Applicant:

<u>Michael</u> a. First Name	<u>Zylich</u> b. Last Name
<u>NSTAR Electric d/b/a Eversource Energy</u> c. Organization	
<u>247 Station Drive</u> d. Street Address	
<u>Westwood</u> e. City/Town	<u>MA</u> f. State
<u>781-441-3804</u> h. Phone Number	<u>02090</u> g. Zip Code
<u>-</u> i. Fax Number	<u>michael.zylich@eversource.com</u> j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

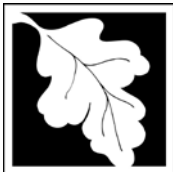
<u>see attached list</u>		
<u></u> a. First Name	<u></u> b. Last Name	
<u></u> c. Organization		
<u></u> d. Street Address		
<u></u> e. City/Town	<u></u> f. State	<u></u> g. Zip Code
<u>-</u> h. Phone Number	<u></u> i. Fax Number	<u></u> j. Email address

4. Representative (if any):

<u>Sean</u> a. First Name	<u>Hale</u> b. Last Name
<u>VHB</u> c. Company	
<u>99 High Street</u> d. Street Address	
<u>Boston</u> e. City/Town	<u>MA</u> f. State
<u>207-536-2588</u> h. Phone Number	<u>02110</u> g. Zip Code
<u>-</u> i. Fax Number	<u>shale@vhb.com</u> j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$1,050</u> a. Total Fee Paid	<u>\$512.50</u> b. State Fee Paid	<u>\$1,500 (per BCC policy)</u> c. City/Town Fee Paid
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A. General Information (continued)

6. General Project Description:

Site preparation and soil remediation activities, please see attach narrative for more information.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

310 CMR 10.24(7)[c](6)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk

a. County

4751

c. Book

b. Certificate # (if registered land)

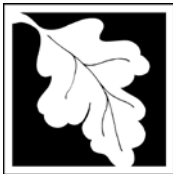
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d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland _____	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

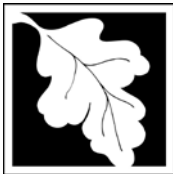
a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input checked="" type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	0 _____ 1. square feet	
	0 _____ 2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

5. Project Involves Stream Crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

2017 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

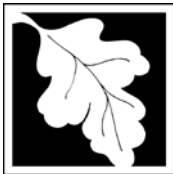
c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
 2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____
 3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 -
 b. ACEC
- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:

<ul style="list-style-type: none"> 1. <input type="checkbox"/> Single-family house 2. <input type="checkbox"/> Emergency road repair 3. <input type="checkbox"/> Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas. 	<p>*Project is site clean-up and remediation activities. Existing impervious surfaces will be removed and no new impervious surfaces are proposed. Drainage patterns will not be altered. Peak discharge rates will be reduced for all storm events. No stormwater conveyances proposed. Suitable BMPs will be utilized.</p>
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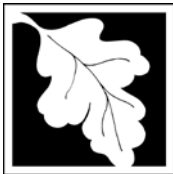
D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Site Preparation Plans, Station 131

a. Plan Title

Burns & McDonnell

Brendan W. Maurer

b. Prepared By

c. Signed and Stamped by

11-29-18

1" = 20'

d. Final Revision Date

e. Scale

Station 131 Soil Sampling Plan prepared by Tighe & Bond

December 2018

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

341714

11-29-18

2. Municipal Check Number

3. Check date

341715

11-29-18

4. State Check Number

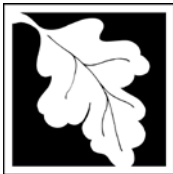
5. Check date

VHB, Inc.

-

6. Payor name on check: First Name

7. Payor name on check: Last Name



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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

12/3/18

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

12/4/18

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Property Owner List

Parcel ID # 0103711002

Lot 2, Condor Street

Boston, MA 02128

Owner: NSTAR Electric Company

P.O. Box 270

Hartford, CT 06141

Parcel ID # 0103711002

Condor Street

Boston, MA 02128

Owner: City of Boston

Condor Street

Boston, MA 02128

Parcel ID# 0103711003

338 East Eagle Street

Boston, MA 02128





Owner: City of Boston'

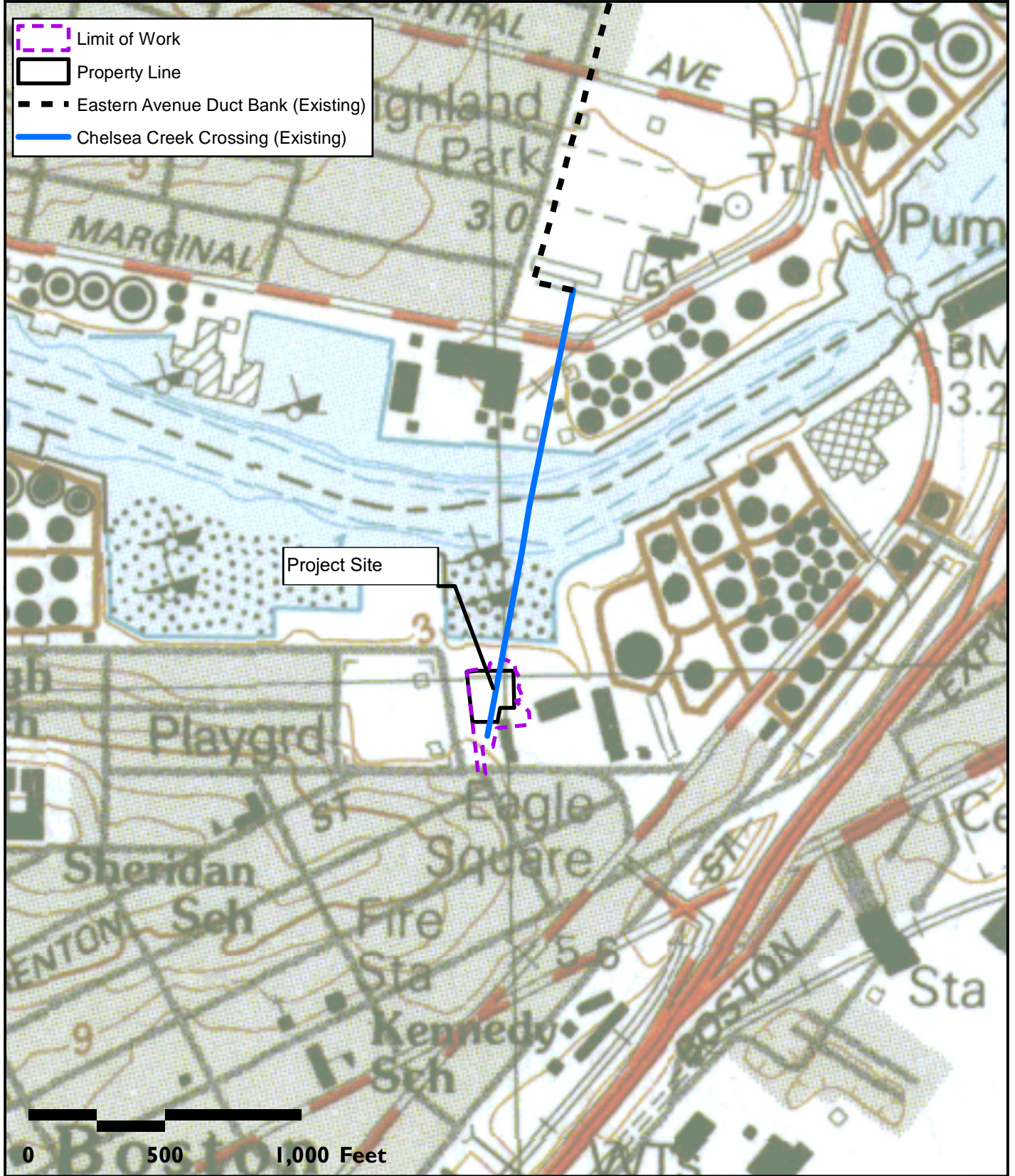
26 Court Street, 10th Floor

Boston, MA 02108

Notice of Intent Figures

- Figure 1 – USGS Site Location Map
- Figure 2 – Existing Conditions Aerial
- Figure 3 – Environmental Constraints
- Figure 4 – FEMA Firmette

-  Limit of Work
-  Property Line
-  Eastern Avenue Duct Bank (Existing)
-  Chelsea Creek Crossing (Existing)



Substation 131 - Site Preparation & Soil Remediation





**Figure 1 USGS Locus Map
Boston, Massachusetts**

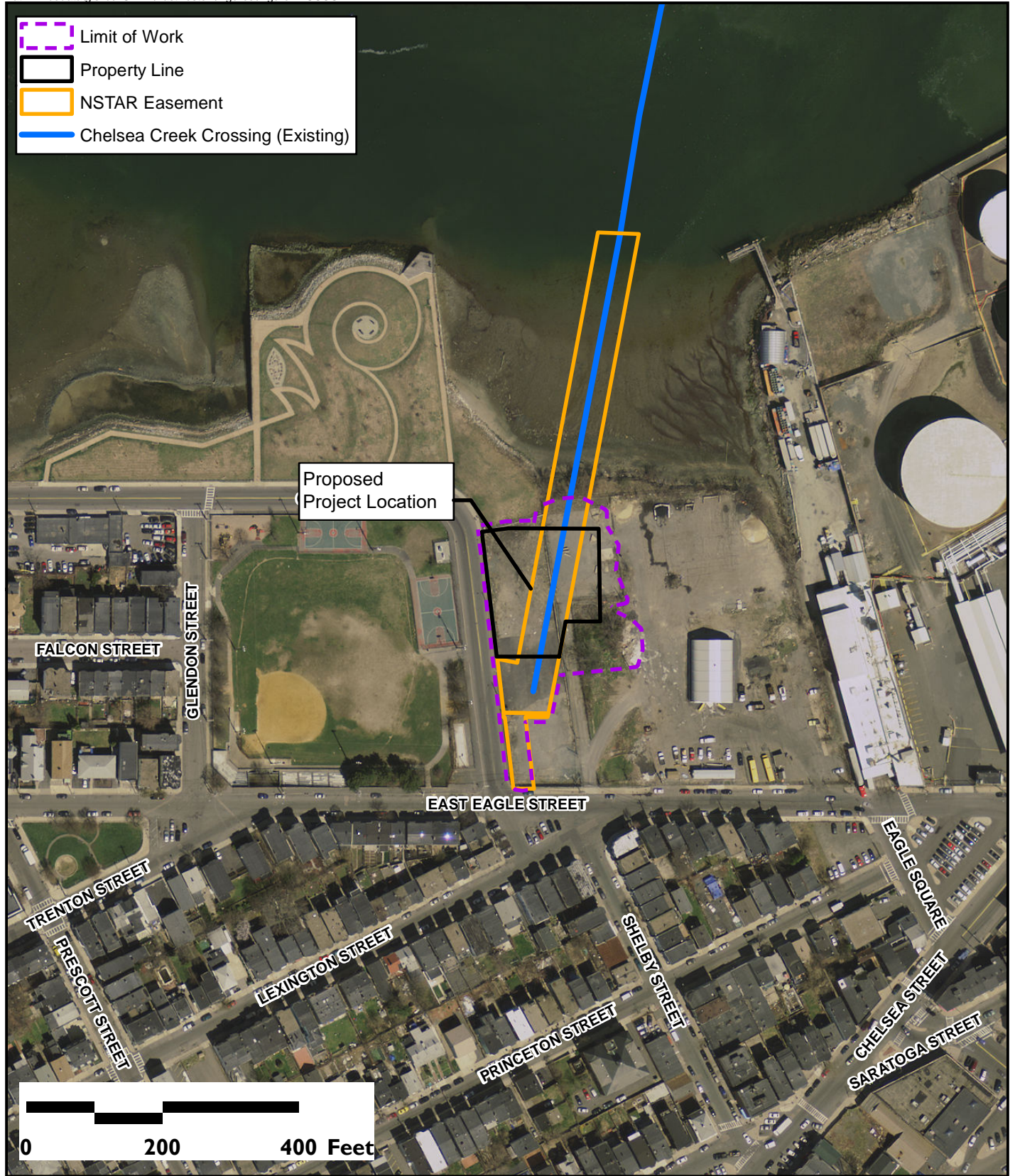
EVERSOURCE
ENERGY



Scale
1 inch = 500 feet

Source:
MassGIS USGS 2001

-  Limit of Work
-  Property Line
-  NSTAR Easement
-  Chelsea Creek Crossing (Existing)



Scale
1 inch = 200 feet

Substation 131 - Site Preparation & Soil Remediation











Figure 2 Aerial Overview Map
Boston, Massachusetts

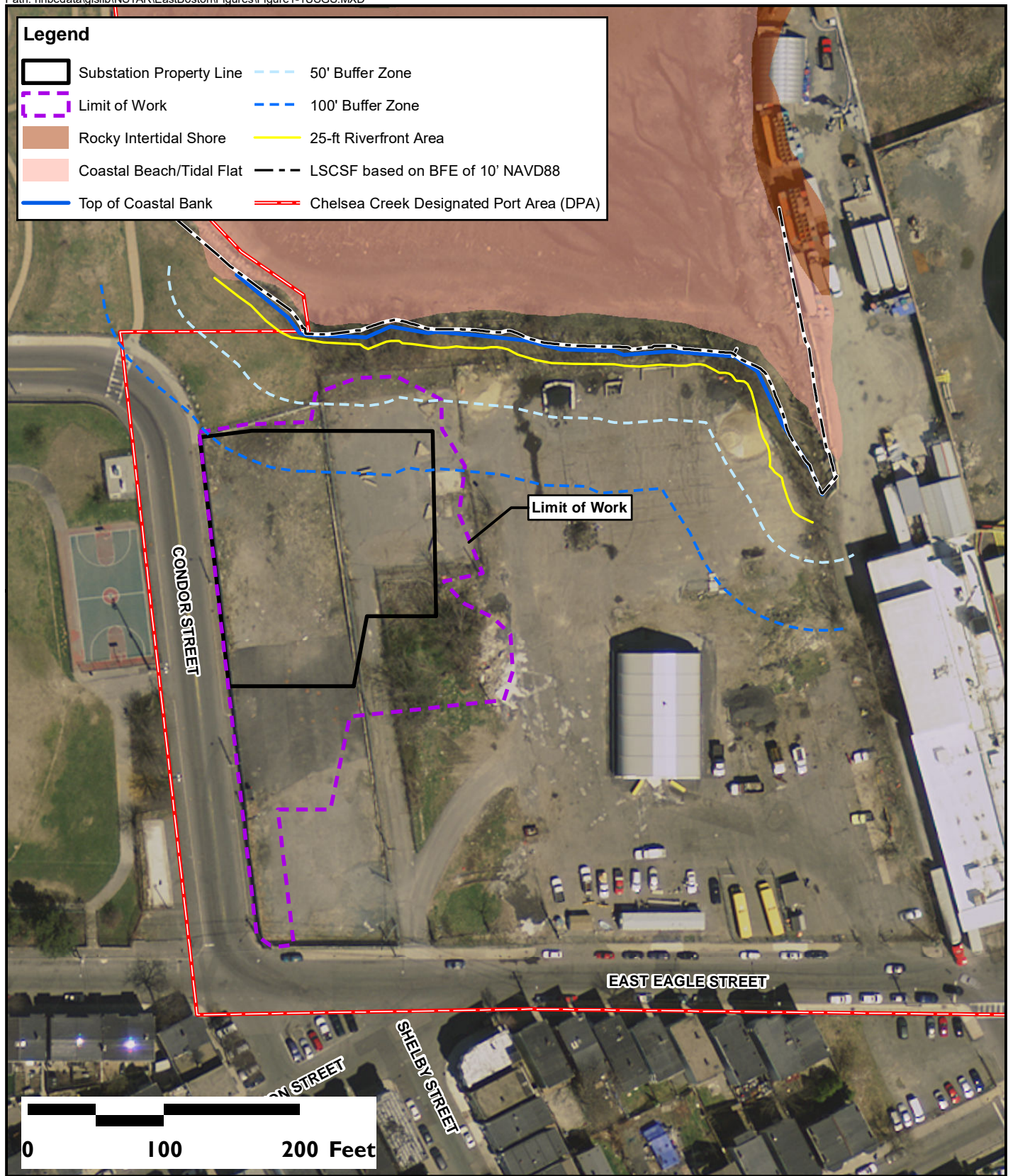
Source:
MassGIS USGS 2001

EVERSOURCE
ENERGY



Legend

-  Substation Property Line
-  Limit of Work
-  Rocky Intertidal Shore
-  Coastal Beach/Tidal Flat
-  Top of Coastal Bank
-  50' Buffer Zone
-  100' Buffer Zone
-  25-ft Riverfront Area
-  LSCSF based on BFE of 10' NAVD88
-  Chelsea Creek Designated Port Area (DPA)



Substation 131 - Site Preparation & Soil Remediation

Figure 3 Environmental Constraints
Boston, Massachusetts

EVERSOURCE
ENERGY



Scale
1 inch = 100 feet

Source:
MassGIS, BMcD

National Flood Hazard Layer FIRMette



42°23'8.73"N



USGS The National Map: Orthoimagery. Data refreshed October 2017. 1:6,000 42°22'42.16"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/29/2018 at 3:33:58 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Figure 4 - FEMA Firmette

Attachment A

Notice of Intent Narrative

- Introduction
- Site Description
- Work Description
- Mitigation Measures
- Regulatory Compliance
- Conclusion

Attachment A

Notice of Intent Narrative

This Notice of Intent (NOI) is submitted pursuant to the requirements of the Massachusetts Wetlands Protection Act (MGL Chapter 131, Section 40) and its implementing regulations (310 CMR 10.00).

1.1 Introduction

NSTAR Electric Company d/b/a Eversource Energy (Eversource), is proposing preliminary site preparation and soil remediation activities associated with the planned construction of Substation 131 on a previously developed and vacant Eversource-owned parcel of land located at Lot 2 Condor Street in East Boston (the "Project"). Please refer to Figures 1 and 2, which depict the site locus on a USGS topographical map and orthophoto aerial map, respectively.

These preliminary site clean-up activities are necessary to facilitate the planned construction of Substation 131, which is a fundamental component of NSTAR's Mystic-East Eagle-Chelsea Reliability Project ("MEECRP"). MEECRP involves the construction of two new underground electric transmission cables being installed to interconnect the planned new substation into the existing electrical grid at Mystic Substation in Everett and Chelsea Substation in Chelsea. The MEECRP is designed to address capacity and reliability needs in the surrounding community and to meet customers' growing electricity requirements. The planned construction of the substation will be submitted to the Boston Conservation Commission (BCC) for review and approval in a future NOI.

A limited portion of the proposed site preparation and soil remediation activities is located in previously developed and degraded upland areas within the 100-foot buffer zone to coastal bank associated with Chelsea Creek. The site is also located within the Chelsea Creek Designated Port Area. No activities within coastal or inland wetland resource areas are proposed and the Project will be conducted so as to not result in any temporary or permanent impacts to adjacent resources. As such, Eversource respectfully requests that the BCC issue an

Order of Conditions approving the work described in this NOI and as shown on the accompanying plans.

1.2 Site Description

The preliminary site preparation and soil remediation activities are located on an approximately 27,389-square foot parcel of land located in East Boston, Massachusetts. The site, a previously developed property, is generally level, clear of structures and sparsely vegetated. Historically, the site was used for railway and trolley maintenance and municipal public works. Today the site contains stockpiles of dirt, gravel and debris interspersed with abandoned infrastructure and is largely covered with deteriorated pavement. Limited portions of the parcel are overgrown with invasive species and other weedy plants.

The Project site is adjacent to a larger tract of developed land that is owned by the City of Boston. City property surrounds the site to the north, east, and south. The City parcel to the east and south of the site is currently used by the Boston Department of Public Works (“DPW”) for storage of equipment, vehicles and salt storage. The site abuts Condor Street to the west. A recreational area that includes playing fields and basketball courts abuts the other side of Condor Street. To the north of the site, beyond an approximately 80-foot wide strip of City-owned land that abuts the property, is Chelsea Creek.

The Project property was once part of the surrounding City parcel and the property has been configured to facilitate the City of Boston’s planned construction of a new East Boston Police Station on the corner of Condor and East Eagle Streets immediately south of the Project area. Residential neighborhoods are located further south and west of the site, across from East Eagle and Condor Streets, respectively. A fish processing facility owned by Channel Fish and other industrial uses are located beyond the adjacent City property further to the east.

The Project area is located south of Chelsea Creek, which is a tidally-influenced waterway that separates the City of Chelsea from Boston and Revere. In the area of the Project site, the waterway is used by oil tankers to transport fuel to nearby oil tank facilities. Chelsea Creek eventually turns southwest and discharges into the Mystic River, which empties into Boston Harbor.

According to the most recently available data provided by the Massachusetts Natural Heritage and Endangered Species Program (“NHESP”),¹ no Priority Habitat of Rare Species, Estimated Habitat of Rare Wildlife, or Certified Vernal Pools occur within the Project site. Figure 3 depicts environmental features proximate to the Project site. Additionally, the site is not located within an Area of Critical Environmental Concern (“ACEC”). According to the Massachusetts Department of Environmental Protection (“MassDEP”), the site is not located in an area



¹ NHESP, 2017. Massachusetts Natural Heritage Atlas. 14th Edition.

designated as an Outstanding Resource Water.² No portion of the site is located within a Zone II Interim Wellhead Protection Area.³

Because the Project area has been previously filled, the Natural Resources Conservation Service⁴ soil survey classifies the portion of the site where preliminary site clean-up activities are proposed as urban fill. Adjacent land on East Eagle Street and Condor Street and the surrounding area of East Boston is mapped as urban land, wet substratum. The most recently issued Flood Insurance Rate Map (FIRM)⁵ for the area, map number 25025C0019J, indicates that the Project site is not within the mapped floodplain for the 1% annual chance flood event, and the entire site is above the base flood elevation of Chelsea Creek (El. 10 NAVD88, see Figure 4 – FEMA Firmette).

Wetland resource areas proximate to the Site are depicted on the Project plans and in Figure 3 and are described below.

1.2.1 Wetland Resource Area Descriptions

Wetland resource areas adjacent to the site were evaluated and identified by VHB in accordance with methods developed by the DEP⁶ and the U.S. Army Corps of Engineers.⁷ The following sections describe relevant wetland resource areas that are regulated under the WPA regulations (310 CMR 10.00). Project activities are not proposed within any of the listed wetland resource areas and are limited to developed upland areas within the 100-ft buffer zone only.

The site is located within the Chelsea Creek Designated Port Area. Other state-regulated wetland resource areas identified proximate to the Project location include 25-foot Riverfront Area, Land Subject to Coastal Storm Flowage and 100-foot buffer zone to Coastal Bank and Coastal Beach. These resource areas are described in relation to the Project and defined as under the WPA Regulations as follows:

- Designated Port Areas (DPAs): As defined at 310 CMR 10.26(2), DPAs are areas designated in 301 CMR 25.00 of the Coastal Zone Management Regulations. The Massachusetts Office of Coastal Zone Management (“CZM”) has produced maps showing DPA boundaries.⁸ As per 310 CMR 10.26(1), only land under the ocean in DPAs is likely to be significant to marine fisheries, storm damage prevention and/or flood control. The entirety of the site is located within the Chelsea Creek DPA.



² DEP, 2010. Designated Outstanding Resource Waters of Massachusetts.

³ DEP, 2012. Approved Wellhead Protection Areas (Zone II).

⁴ Soil Survey Staff, Natural Resources Conservation Service, United States Department of Agriculture. Web Soil Survey.

⁵ Federal Emergency Management Agency, National Hazard Flood Layer, Digital Flood Insurance Rate Map (DFIRM).

⁶ DEP, 1995. Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act.

⁷ USACE, 2012. Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0.

⁸ Massachusetts Office of Coastal Zone Management, 2011. Designated Port Area Boundary Maps.

- Riverfront Area ("RFA"): As defined at 310 CMR 10.58(2)(a), a Riverfront Area is the area of land between a river's mean annual high water line and a parallel line measured horizontally (25 feet in Boston). The RFA may include or overlap other resource areas or their buffer zones. Riverfront Area itself does not have a buffer zone. No activities are proposed within RFA, which is beyond the proposed limit of work.
- Coastal Bank (Buffer Zone Only): As defined by 310 CMR 10.30(2), Coastal Bank is "the seaward face or side of any elevated landform, other than a coastal dune, which lies at the landward edge of a coastal beach, land subject to tidal action, or other wetland." Coastal Bank adjacent to the Project Site was delineated on the plans in accordance with Wetlands Program Policy 99-1, *Definition and Delineation Criteria for Coastal Banks*. No activities are proposed that will alter Coastal Bank, which is outside the limit of work.
- Coastal Beach (Buffer Zone Only): As defined by 310 CMR 10.27(2), Coastal Beach means unconsolidated sediment subject to wave, tidal and coastal storm action which forms the gently sloping shore of a body of salt water and includes tidal flats. Coastal beaches extend from the mean low water line landward to the dune line, coastal bankline or the seaward edge of existing human-made structures, when these structures replace one of the above lines, whichever is closest to the ocean. As Per 310 CMR 10.26(1), Coastal Beaches are not likely to be significant to marine fisheries, storm damage prevention or flood control. No Project activities are proposed within Coastal Beach, which is located within Chelsea Creek and is well outside of the limit of work.
- Land Subject to Coastal Storm Flowage: Land Subject to Coastal Storm Flowage ("LSCSF") is defined in the Act at 310 CMR 10.04 as land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater. No Project activities are proposed within LSCSF.

Designated Port Area

The entirety of the Project area is located within the Chelsea Creek DPA. Under the regulations, in designated port areas coastal beaches, tidal flats, and other coastal resource areas are not likely to be significant to marine fisheries, storm damage prevention or flood control. Designated port areas are portions of developed harbors and, as such, relatively high concentrations of contaminants, from vessel discharges and point and non-point source discharges, are likely to occur in port areas. Water circulation patterns tend to distribute pollution throughout port areas, and to other areas which are likely to be significant to other interests of M.G.L. c. 131, § 40. Land forms in designated port areas are typically greatly altered from their natural shape, and coastal engineering structures often have replaced natural protection for upland areas from storm damage and flooding.

Land under the ocean in designated port areas may be significant to marine fisheries, storm damage prevention and flood control. No Project activities are proposed within land under the ocean. In addition, these preliminary activities are proposed to facilitate the planned substation construction, which is a supporting DPA use and an accessory to a water-dependent use. The planned construction of the substation is integral in function to the operation of water-dependent industrial uses that exist within the DPA, as it will increase the

reliability of the transmission supply supporting those uses, which includes fuel import terminals that are critical to maintaining the regional fuel supplies.

Project activities will incorporate Best Management Practices and an approved erosion control program so as to prevent potential impacts to adjacent resources, such as land under the ocean, that are present within Chelsea Creek.

Riverfront Area

The WPA regulations at 310 CMR 10.58 establish a 25-foot Riverfront Area associated with Chelsea Creek. As Chelsea Creek is a tidal river, the RFA is measured horizontally from mean high water ("MHW"), rather than from the top of the riverbank (310 CMR 10.58(2)(a)(2)(c)). The present MHW shoreline is located at elevation 4.33' NAVD88 (10.8' BCB). There is no buffer zone associated with the RFA. The RFA proximate to the Project site consists of the partially vegetated bank of Chelsea Creek, existing fencing and debris, and adjacent previously developed and degraded impervious areas. No Project activities are proposed within the 25-foot Riverfront Area proximate to the site.

Coastal Bank and Coastal Beach

The WPA regulations at 310 CMR 10.02(2)(b) establish a 100-foot buffer zone from the limits of top of Coastal Bank and the landward limit of Coastal Beach, which is the toe of a Coastal Bank. Since the limit of the buffer to Coastal Bank is further landward than the limit of the buffer to Coastal Beach at the Project site, the former is depicted in Figure 3 and on the Project plans, and as described in this NOI. The buffer zone to Coastal Bank within the Project area consists primarily of previously developed paved surfaces, disturbed areas and debris piles.

Land Subject to Coastal Storm Flowage

There is LSCSF proximate to the site associated with Chelsea Creek. There are no performance standards for LSCSF under the Act and there is no buffer zone associated with LSCSF. No Project activities are located within LSCSF. As such, Project activities will not result in a decrease of flood storage capacity within LSCSF or impact LSCSF's ability to provide storm damage prevention or flood control.

1.3 Work Description

The Project consists of preliminary site preparation, demolition, clean-up and soil remediation activities. The proposed work is entirely within previously developed, disturbed and degraded upland areas; the majority of work being within areas currently consisting of paved surfaces or containing debris and deteriorated infrastructure. The Project will incorporate appropriate Best Management Practices (BMPs) to ensure that jurisdictional wetland resource areas within the vicinity of the Project are not adversely affected as a result of the site-cleanup activities.

Project activities will take place over approximately 5 to 6 months. A limited portion of Project activities and required access will take place on adjacent City of Boston property which will be facilitated through a license agreement with the City for temporary access.

1.3.1 Site Preparation & Demolition

As described above, the site has a history of use for railway and trolley maintenance, but no buildings from that use remain on the property. The substation site and adjacent City of Boston property has more recently been used by the City of Boston Department of Public Works for vehicle and material storage, stockpiling of debris, and parking of school buses and temporary trailers. As such, the 100-foot buffer zone and the site at large currently contain previously developed and degraded paved areas interspersed with old fences, debris piles, and sparse invasive vegetation typical of urban environments.

To prepare the site for soil remediation and the subsequent planned construction of the substation, the site first needs to be cleared of the existing debris piles; deteriorated infrastructure will be removed (e.g., old utility poles, overhead cables, electric infrastructure, old lighting, a deteriorated shed, and fences); abandoned concrete foundations, concrete slabs and paved areas will be demolished and removed; and small patches of invasive vegetation will be cleared and grubbed. Site preparation and demolition activities will be conducted in accordance with an approved erosion and sedimentation control plan to prevent any transport of sediment or debris beyond the approved limit of work, and all material will be removed from the site and properly disposed of. Please see the Site Preparation Plans in Attachment B prepared by Burns & McDonnell for additional information.

1.3.2 Soil Remediation

Once site preparation and demolition activities are complete, a soil remediation program will be implemented. Two Release Tracking Numbers ("RTNs") have been assigned to the site by the Massachusetts Department of Environmental Protection. RTN 3-30299 was assigned to the site in September 2011 due to the presence of heavy metals at the property at concentrations above reportable concentrations ("RCs") for soil and groundwater. RTN 3-33978 was assigned to the site in December 2016 due to the presence of petroleum constituents and heavy metals at concentrations above RCs for soil. A review of the Phase II Comprehensive Site Assessment ("CSA") Report, Supplemental Phase II CSA Report, and Phase IV Remedy Implementation Plan prepared by Weston & Sampson identified three areas of contamination at the site where levels of lead and cadmium were detected in concentrations above MassDEP Upper Concentration Limits ("UCLs") in soil and cadmium in groundwater. Due to the contamination identified at the site, the planned remediation activities will be conducted under a Release Abatement Measure (RAM). The purpose of the RAM will be to manage soil and groundwater during remediation activities. Remediation of the site will be done in a manner that does not jeopardize public health and safety during cleanup. The planned remediation will improve soil and groundwater quality and mitigate future potential exposure to contaminants from the site.

Soil Remediation & Management

Based on an initial review of soil contamination identified at the site, the volume of soil requiring remediation is approximately 10,000 tons. Soil assessment activities identified four areas requiring remediation as summarized below:

- Area 1 – North Central Portion of Site: 100 feet by 40 feet by 15 feet deep
- Area 2 – Northwestern Portion of Site: 40 feet by 30 feet by 15 feet deep
- Area 3 – Southwestern Portion of Site: 50 feet by 40 feet by 7 feet deep
- Area 4 – Southeastern Portion of Site: 30 feet by 30 feet by 7 feet deep

The proposed soil remediation to be conducted within the 100-foot buffer zone is limited to an approximately 80-foot by 20-foot area associated with Areas 1 and 2 and excavation of soil will be conducted up to 15 feet below grade (please see the Soil Remediation Figures provided in Attachment C). Excavated soil will be stockpiled on-site and segregated by the following soil types, as determined through soil characterization sampling:

- Type C-1 Soil and Type C-2 Soil contain OHM concentrations above RCS-1 but below the criteria for Massachusetts Unlined or Lined Landfills, respectively;
- Type D-1 Soil and Type D-2 Soil contain OHM concentrations above the criteria for Massachusetts Unlined and Lined Landfills, but meet acceptance criteria for a permitted asphalt batch facility or a permitted thermal desorption facility, respectively;
- Type D-3 Soil and Type D-4 Soil do not meet acceptance criteria at Massachusetts Landfills but meet acceptance criteria for a permitted non-hazardous waste out of state Subtitle D landfill as daily cover and for disposal, respectively;
- Type E-1 Soil exceeds federal toxicity characteristic leaching procedure (TCLP) limits or otherwise meets the definition of a state or federal hazardous waste and meets acceptance criteria for a permitted hazardous waste out of state Subtitle B Resource Conservation and Recovery Act (RCRA) treatment facility of Subtitle C RCRA landfill facility.
- Type E-3 Soil includes soils that exceed federal TCLP limits for metals that are treated on Site using soil stabilization techniques to render the soils non-hazardous.

As described above, soil generally fits into two categories: non-hazardous (Types C & D) and hazardous (Type E) and will be managed accordingly. The non-hazardous soils will either be live-loaded and transported directly to the receiving facility or temporarily stored in a designated staging area located on the eastern portion of the site.

The hazardous soils (Type E soil) will be excavated and treated on-site within the Area of Contamination prior to disposal. On-site treatment will consist of metal stabilization, using either Portland cement or an alkaline based reagent (i.e., calcium oxide or calcium phosphate solutions) to render the material non-hazardous prior to off-Site disposal. Post treatment soil samples will be collected and submitted for TCLP analysis, to confirm that the stabilization treatment was successful in rendering the soil non-hazardous.

The soil will be segregated by soil type as described above and placed in separate storage bins. The storage bins will be constructed of concrete jersey barriers and located on an impervious surface (i.e., asphalt pavement, concrete or polyethylene sheeting). The stockpiled material will be placed on and covered with polyethylene sheeting prior to loading and transportation for off-Site disposal. The following BMPs are recommended for implementation during soil remediation and disposal procedures:

- The soil treatment and temporary storage areas will be located outside the 100-foot buffer zone.
- Erosion controls (i.e. straw wattles) and fencing will be placed around the perimeter of the work areas to prevent trespassing runoff.
- Prior to any work within the Type E areas (AOCs 1 and 3), two layers of 10-mil polyethylene sheeting will be installed adjacent to the excavation for stockpiling and along the loading areas.
- Transportation trucks will be staged outside of the staging area until individual loading begins.
- All trucks will be lined with 10-mil polyethylene sheeting prior to loading any Type E Soil.
- For Type E soil, a curtain made of 6-mil polyethylene sheeting will be used to cover the loading side of the trucks and will extend to the 10-mil polyethylene sheeting covering the end of the loading zone to prevent any spillage from the bucket of the loading equipment from contacting the outside of the truck.
- The buckets of the machines that will be excavating soil within Type E areas will be cleaned into the excavation following the remediation activities. Surfaces will also be scraped and/or brushed to remove any soil.
- Material from decontaminating the equipment within the Type E area will be either placed in 55-gallon drums or the Type E stockpile and disposed of according to state and federal regulations.
- Collection and removal of accumulated debris will be performed on a daily basis and disposed of in accordance with state and federal regulations.

Groundwater Management/Remediation

The groundwater table at the site is relatively shallow, at an average depth of 10 feet below grade. Based on the anticipated depths of soil work up to 15 feet below grade, dewatering activities may be necessary to facilitate the required soil work. Dewatered groundwater within the site will receive pretreatment prior to being discharged to a catch basin located on Condor

Street and into stormwater drainage system managed by the Boston Water and Sewer Commission ("BWSC"). This stormwater drainage system ultimately discharges to the Chelsea Creek via BWSC Outfall 29M049. Prior to discharging treated groundwater to the BWSC stormwater drainage system, Eversource will submit a Notice of Intent for coverage under the United States Environmental Protection Agency ("U.S. EPA") Remediation General Permit ("RGP"). A dewatering discharge permit will also be obtained from BWSC prior to the discharging of any treated groundwater to the stormwater drainage system.

Depending on the level of treatment required, the treatment system may be comprised of flocculation tubes, a 10,000 gallon open top fractionation tank with weirs, and/or a series of bag filters/media vessels (i.e., organoclay or granulated activated carbon [GAC]). Dewatered groundwater will be pumped from the trench, through the flocculants tubes and into the open top fractionation tank. From the fractionation tank, the water will be pumped through a series of bag filters and/or media vessels for the removal of total suspended solids ("TSS"), metals, petroleum, polycyclic aromatic hydrocarbons ("PAHs"), and other pollutants identified in the influent, as necessary.

1.3.3 Interim Grading

Subsequent to soil remediation activities, the site will be graded to an interim condition to facilitate the planned construction of the substation (see Interim Grading Plan in Attachment B). Any fill required will consist of clean fill material obtained from an approved off-site source. Reuse of any on-site materials and stockpiles shall be in accordance with the Project's geotechnical investigations. Excavation and backfilling of materials will be coordinated with the Project's soil management and demolition plan.

1.4 Mitigation Measures

A suite of mitigation measures is proposed to prevent the potential for any short- or long-term impacts to wetland resource areas in the vicinity of the Project. Please see the erosion and sedimentation control plan and notes within the Site Preparation Plans provided in Attachment B. BMPs for the soil remediation program are described above in Section 1.3.2. Additional mitigation measures proposed for this Project are described below.

1.4.1 Erosion and Sediment Controls

An erosion and sedimentation control program will be implemented to minimize temporary impacts to wetland resource areas during the proposed preliminary site clean-up and soil remediation activities (see the Erosion and Sediment Control sheet in Attachment B). The

program incorporates BMPs specified in guidelines developed by the DEP⁹ and the U.S. Environmental Protection Agency (EPA).¹⁰

Proper implementation of the erosion and sedimentation control program will:

- Minimize exposed soil areas through sequencing and permanent stabilization;
- Place erosion control structures to manage stormwater runoff and erosion; and
- Establish stabilization of work areas as soon as practicable.

The following sections describe the control options and practices that may be followed during Project activities. These practices comply with criteria contained in the NPDES General Permit for Discharges from Large and Small Construction Activities issued by the EPA.

Non-Structural Practices

Non-structural practices to be used during the Project may include pavement sweeping and dust control. These practices will be initiated as soon as practicable in appropriate areas at the site.

Pavement Sweeping

Paved portions of the site proximal to the work zone shall be swept as needed during Project activities. The sweeping program will remove sediment and other contaminants directly from paved surfaces before their release into stormwater runoff. Pavement sweeping has been demonstrated to be an effective initial treatment for reducing pollutant loading into stormwater.¹¹

Dust Control

The erosion and sediment control program includes provisions to minimize the generation of dust during dry and windy conditions. When necessary, larger areas of exposed soil will be wetted to prevent wind borne transport of fine grained sediment. Enough water shall be applied to wet the upper 0.5 inches of soil. The water will be applied as a fine spray in order to prevent erosion. A water truck will be kept on the property (or at a nearby location) to facilitate this practice.

Spill Prevention and Response Plan

During Project activities, a spill containment kit will be kept on site at all times. In the event that there is an accidental release of petroleum or other product into a wetland or waterbody, the Boston Conservation Commission will be notified along with appropriate emergency



⁹ DEP, 1997. Massachusetts Erosion and Sediment Control Guidelines for Urban and Suburban Areas: A Guide for Planners, Designers, and Municipal Officials.

¹⁰ EPA, 2007. Interim Developing Your Stormwater Pollution Prevention Plan: A Guide for Construction Sites. Office of Water Report EPA 833-R-060-04.

¹¹ U.S. Environmental Protection Agency, 1979. Demonstration of Nonpoint Pollution Abatement Through Improved Street Cleaning Practices.

response agencies. Equipment will be serviced or maintained offsite and kept in a condition that prevents leakage or discharge of pollutants during the Project period.

Structural Practices

Structural erosion and sedimentation controls that may be used on the site include erosion control barriers, stabilized access points, and catch basin inlet protection (see Erosion and Sedimentation Controls Notes and Details sheet in Attachment B). In addition, a chain link fence will be installed around the property.

Erosion Control Barriers

Prior to any ground disturbance, demolition, or clearing and grubbing, a perimeter barrier of geotextile silt fencing, straw wattles and/or compost filter tubes (i.e., silt sock) or some combination thereof will be installed at the limit of work as shown on the plans provided with this NOI. Where possible, in any unpaved areas, barriers will be staked and entrenched into substrate to the extent practicable to prevent underflow.

If sediment has accumulated to a depth that impairs proper functioning of a barrier, it will be removed by hand or by machinery operating upslope of the barriers. This material will be either reused at the site or disposed of at a suitable offsite location. Any damaged sections of erosion control barriers will be repaired or replaced immediately upon discovery.

Stabilized Access Points

A temporary stone construction entrance will be installed at access points to the work area to prevent the offsite transport of sediment by vehicles. The stabilized entrances and exits will be at least fifty feet long and will consist of a 4-inch thick layer of crushed stone (1.5 to 2.5 inches in diameter). The stone will be placed over a layer of non-woven filter fabric. The anti-tracking pads will remain in place until Project activities are complete (see Temporary Stone Construction Entrance Detail on Erosion and Sedimentation Controls Notes and Details sheet in Attachment B).

Catch Basin Inlet Protection

The inlets of existing catch basins in the vicinity of the work will be protected from sediment inflow during the work period by surrounding them with haybale and fabric drop inlet protection. If sediment has collected in catch basin inlet protection devices to a point where it impairs proper functioning, it will be removed and will be either reused onsite or disposed of at a suitable offsite location.

1.5 Regulatory Compliance

As demonstrated below, the Project complies with all applicable performance standards under the WPA regulations. Project activities are located within the Chelsea Creek DPA and limited

to the 100-foot buffer zone which consists entirely of previously developed and disturbed areas.

1.5.1 Designated Port Areas (310 CMR 10.26)

Project activities will be conducted within the limits of the Chelsea Creek DPA. Performance standards for this resource area only exist when land under the ocean is impacted and is found to be significant to the protection of marine fisheries, storm damage prevention or flood control. The Project will not impact land under the ocean and is therefore not subject to performance standards for DPAs.

1.5.2 100-ft Buffer Zone

A limited portion of the north extent of the Project area is located within the 100-ft buffer zone associated with the top of Coastal Bank (see Site Preparation Plans in Attachment B). As described above, the majority of the area within the 100-ft buffer zone consists of existing impervious (i.e. paved, concrete) surfaces. The Project will not alter the vegetated areas (i.e., existing vegetation growing at the bank of Chelsea Creek) within the buffer zone that is beyond the limit of work, as such, the ability of the existing buffer zone to protect the interests identified in the Act will be maintained or improved.

In addition, work proposed in the 100-foot buffer zone complies with the requirements contained in 310 CMR 10.53(1) of the WPA regulations where, *"the issuing authority should consider the characteristics of the buffer zone, such as the presence of steep slopes, that may increase the potential for adverse impacts on resource areas. Conditions may include limitations on the scope and location of work in the buffer zone as necessary to avoid alteration of resource areas. The issuing authority may require erosion and sedimentation controls during construction, a clear limit of work, and the preservation of natural vegetation adjacent to the resource area and/or other measures commensurate with the scope and location of work with the buffer zone to protect the interests of the Act."*

Project activities will be in compliance with these requirements. A clear limit of work is shown on the Project plans and will be demarcated in the field to prevent any activity beyond the approved Project limits; an erosion and sedimentation control program and suitable BMPs will be implemented to prevent any potential adverse impacts to resource areas proximate to Project activities; and all existing vegetation along the bank of Chelsea Creek will be maintained as this area is well outside the proposed limit of work.

1.6 Conclusion

The proposed site preparation, clean-up and soil remediation activities described herein are located within the Chelsea Creek DPA and outside of all other WPA resource areas; and are limited to the outer 100-ft buffer zone only within previously developed and disturbed areas. No direct temporary or permanent impacts to any wetland resource areas are proposed. Protection of resource areas proximate to the site will be achieved through design planning, BMPs and on-site impact avoidance and minimization. As such, Eversource respectfully

requests that the Boston Conservation Commission find the activities described in this NOI adequately protective of the public interests identified in the WPA and issue an Order of Conditions allowing the Project to proceed as described herein.

Attachment B – Site Preparation Plans

EVERSOURCE ENERGY

SITE PREPARATION PLANS STATION 131 LOT 2 CONDOR STREET BOSTON, MA NOVEMBER 29, 2018

OWNER:

EVERSOURCE ENERGY
247 STATION DRIVE
WESTWOOD, MA

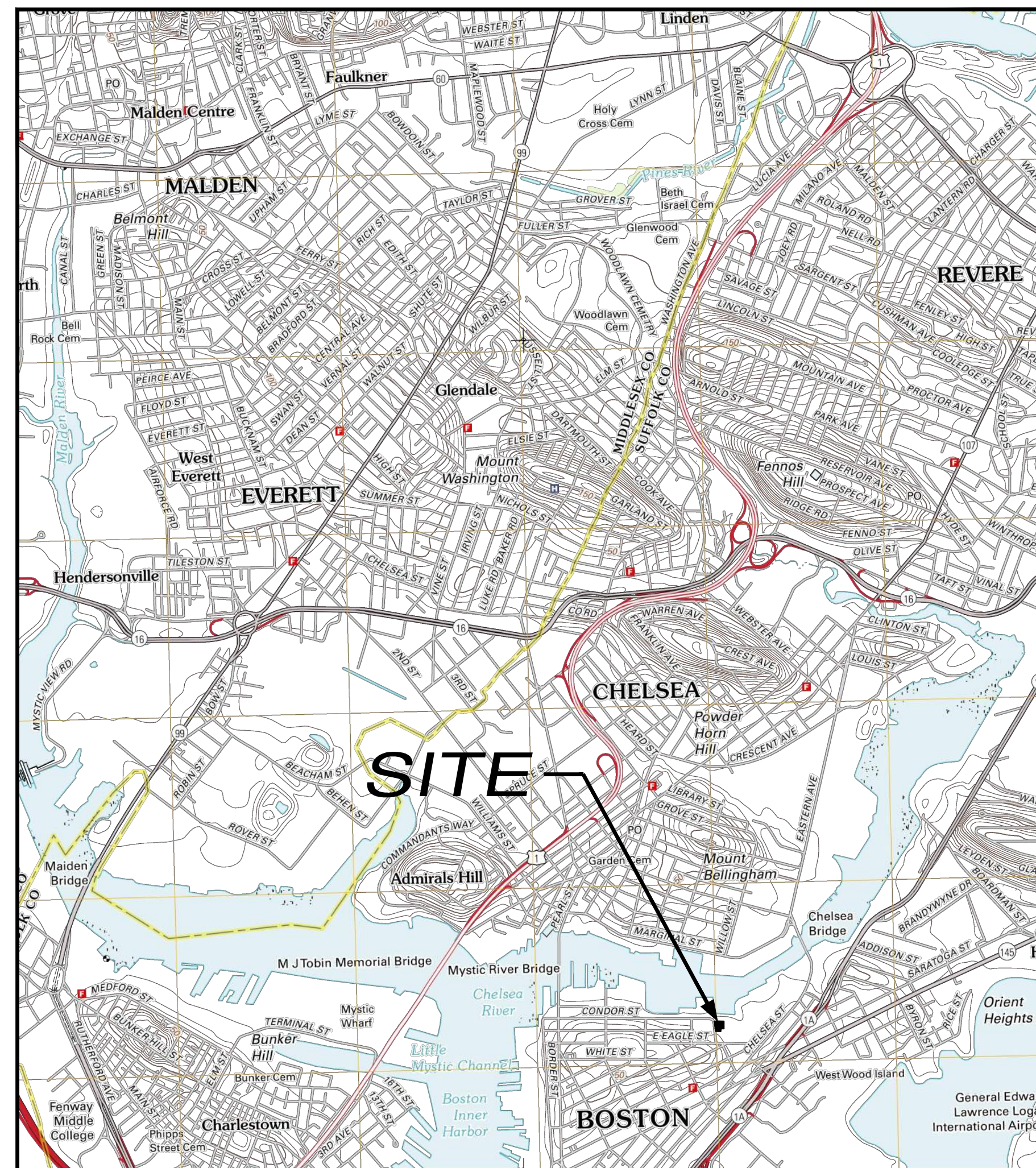
ENGINEER:



BURNS & MCDONNELL
108 LEIGUS ROAD
WALLINGFORD, CT 06492

CONTRACT DRAWINGS

DRAWING TITLE	DWG. NO	REV.
COVER SHEET	131-6100	A
GENERAL NOTES AND LEGEND	131-6101	A
DEMOLITION PLAN	131-6102	A
EROSION AND SEDIMENTATION CONTROL PLAN	131-6110	A
EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS	131-6111	A
INTERIM GRADING PLAN	131-6113	A



LOCATION MAP
SCALE: 1"=2000'

STATION DESIGN CHANGE No: 14-056						
TITLE OF CHANGE: NEW STATION						
(BASE) DWG. No. NEW DRAWING		(BASE) DWG. Rev.No. A				
DESIGN REV	DESCRIPTION OF REVISION	DESIGNER	REVIEWED/APPROVED	DATE	ISSUE TO	DATE
A	ISSUED FOR PERMIT	BWM	DAN FOLEY	11/2/18	NSTAR	
B						
C						
D						
E						



ISSUED FOR PERMIT

GENERAL NOTES

- 1. THE GENERAL NOTES SHALL APPLY TO THE STATION 131 SITE PLANS THROUGHOUT.
2. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME.
3. EXISTING CONDITIONS TAKEN FROM "EXISTING CONDITIONS SURVEY 338 EAST EAGLE STREET AND CONDR STREET" BY SMC SURVEYING AND MAPPING CONSULTANTS, DATED JANUARY 18, 2017.
4. BOUNDARY TAKEN FROM "PLAN OF LAND 338 EAST EAGLE STREET AND CONDR STREET IN BOSTON MASSACHUSETTS (SUFFOLK COUNTY)" PREPARED BY BSC GROUP, DATED MARCH 6, 2018.
5. PARTIAL EXISTING UNDERGROUND ELECTRIC DISTRIBUTION COMPILED FROM "CHELSEA RIVER ELECTRIC AS-BUILT" BY MCCOURT, DATED DECEMBER 30, 2011.
6. COORDINATES, IN U.S. SURVEY FEET, ARE IN THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (MCS) MAINLAND ZONE, REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83). REFER TO GENERAL NOTE #3 FOR ADDITIONAL INFORMATION.
7. ELEVATIONS, IN U.S. SURVEY FEET, ARE REFERENCED TO THE BOSTON CITY BASE VERTICAL DATUM (BCB). REFER TO GENERAL NOTE #3 FOR ADDITIONAL INFORMATION. THE CONVERSION FROM MEAN LOWER LOW WATER (MLLW) TO BOSTON CITY BASE DATUM (BCB) IS AS FOLLOWS: BCB=MLLW+0.89-FT.
8. SURVEY INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE.
10. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE OWNER AND ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS PRIOR TO CONSTRUCTION.
11. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS OR IN THE SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE OWNER AND BURNS & MCDONNELL FOR SUCH FURTHER EXPLANATION AS MAY BE NECESSARY.
12. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL, EVERSOURCE ENERGY STANDARDS AND SPECIFICATIONS, CITY OF BOSTON STANDARDS AND BOSTON WATER AND SEWER COMMISSION SPECIFICATIONS AND STANDARDS.
13. ENGINEER ASSUMES NO RESPONSIBILITY AS TO LOCATION, SIZE, AND ELEVATIONS OF UTILITIES AND STRUCTURES NOT VISIBLE AND WHERE TAKEN FROM PLANS BY OTHERS.
14. DO NOT INTERRUPT EXISTING SERVICING UTILITIES AND FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, THE LOCAL MUNICIPALITIES AND THE UTILITY PROVIDER.
15. THE CONTRACTOR SHALL PROVIDE RECORD AS-BUILT DRAWINGS OF ALL CONSTRUCTION IN ACCORDANCE WITH REGULATORY AGENCY REQUIREMENTS (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER NO LATER THAN FIFTEEN (15) CALENDAR DAYS AFTER SUBSTANTIAL COMPLETION.
16. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
17. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES.
18. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.

- 19. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO CONSTRUCTION.
20. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
21. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
22. CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
23. FOR OFF-SITE CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
24. THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION.
25. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
26. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES AND ANY NECESSARY EASEMENTS OR AGREEMENTS WITH ADJACENT PROPERTY OWNERS HAVE BEEN EXECUTED.
27. THERE ARE NO DELINEATED WETLANDS LOCATED ONSITE.
28. THE SITE IS LOCATED OUTSIDE ZONE 'AE' SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATION = 10-FT NAVD88 (16.46-FT BCB) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25025C0019J, SUFFOLK COUNTY, MASSACHUSETTS, EFFECTIVE DATE MARCH 16, 2016.
29. PERMANENT BENCHMARKS SHALL BE INSTALLED BY THE CONTRACTOR UPON COMPLETION OF CLEARING.
30. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE, LANDSCAPED AREAS, AND OTHER EXISTING OR NEW FEATURES DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, CITY OF BOSTON AND MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, OR OTHER APPLICABLE REGULATORY AGENCY.
31. ANY CLEARED AND EXCAVATED MATERIALS WHICH ARE SUSPECTED OF BEING ENVIRONMENTALLY POLLUTED, CONTAMINATED, OR IMPACTED SHALL BE STOCKPILED ON-SITE ON TOP OF POLYETHYLENE SHEETING AND COVERED WITH POLYETHYLENE SHEETING.
32. GEOTECHNICAL DATA AND RECOMMENDATIONS ARE PENDING.
33. THE LIMIT OF WORK BOUNDARY IS THE PROPERTY LINE OR PAVEMENT SAWCUT LINE FOR OFF-SITE WORK AREAS IN THE CITY OF BOSTON RIGHT-OF-WAY, OR AS AS INDICATED ON THE CONTRACT DRAWINGS.
34. WHERE ELECTRICAL SUBSTATION COMPONENTS, FENCING, AND THEIR FOUNDATIONS ARE DEPICTED HEREIN, THEY ARE FOR REFERENCE ONLY.
35. LIMIT OF DISTURBANCE (LOD) AREA TOTAL = 1.113 ACRES. (LIMIT OF DISTURBANCE ONSITE = 0.629 ACRES, LIMIT OF DISTURBANCE OFF-SITE = 0.484 ACRES).

EXISTING FEATURES LEGEND

Table listing existing features and their symbols: BCP (Bituminous Concrete Patch), BIT (Bituminous Concrete), CATV (Cable Television), CB (Catch Basin), CLF (Chain Link Fence), CLC (Cofferdam Limit), CONC. SIDEWALK, 10' (Concrete Sidewalk), 9' (Concrete Sidewalk), VGC (Contour Major), D (Contour Minor), DMH (Drain Manhole), DICL (Ductile Iron Cement Lined), EP (Easement), E (Edge of Pavement), EMH (Electric Manhole), ELEV (Elevation), FND (Found), GG (Gas Gate), G (Gas Line), I (Invert), M (Light Pole on Base), MP (Metal Post), NPV (No Pipe Visible), P (PK, Nail, Spike), PL (Plastic), PVC (Polyvinyl Chloride), PRIV (Private), RCP (Property Line), R (Reinforced Concrete Pipe), RIM (Record), SB/EP (Stone Bound/Escutcheon Pin), S (Sewer Line), SMH (Sewer Manhole), 100.0 (Spot Elevation), SQ. FT. (Square Feet), T (Telephone Line), TOH (Telephone Manhole), TOS (Top of Hood), TOW (Top of Hood), UP (Top of Hood), VCP (Top of Hood), WG (Top of Hood), W (Top of Hood), W (Water Line).

PROPOSED FEATURES LEGEND

DEMOLITION PLAN (REMOVE AND DISPOSE)

Table listing demolition features and their symbols: REMOVE EXISTING FEATURE (FENCE, WALL, UTILITY, ETC.), REMOVE BITUMINOUS CONCRETE PAVEMENT, CLEAR AND GRUB VEGETATION, REMOVE DEBRIS PILE, REMOVE CONCRETE, LIMIT OF WORK.

EROSION AND SEDIMENTATION CONTROL (FURNISH AND INSTALL)

Table listing erosion and sedimentation control features and their symbols: GEOTEXTILE SILT FENCE, SILT SOCK, INLET PROTECTION, STONE CONSTRUCTION ENTRANCE.

ABBREVIATIONS

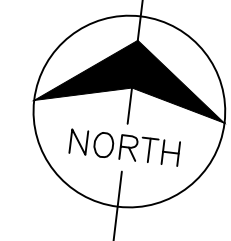
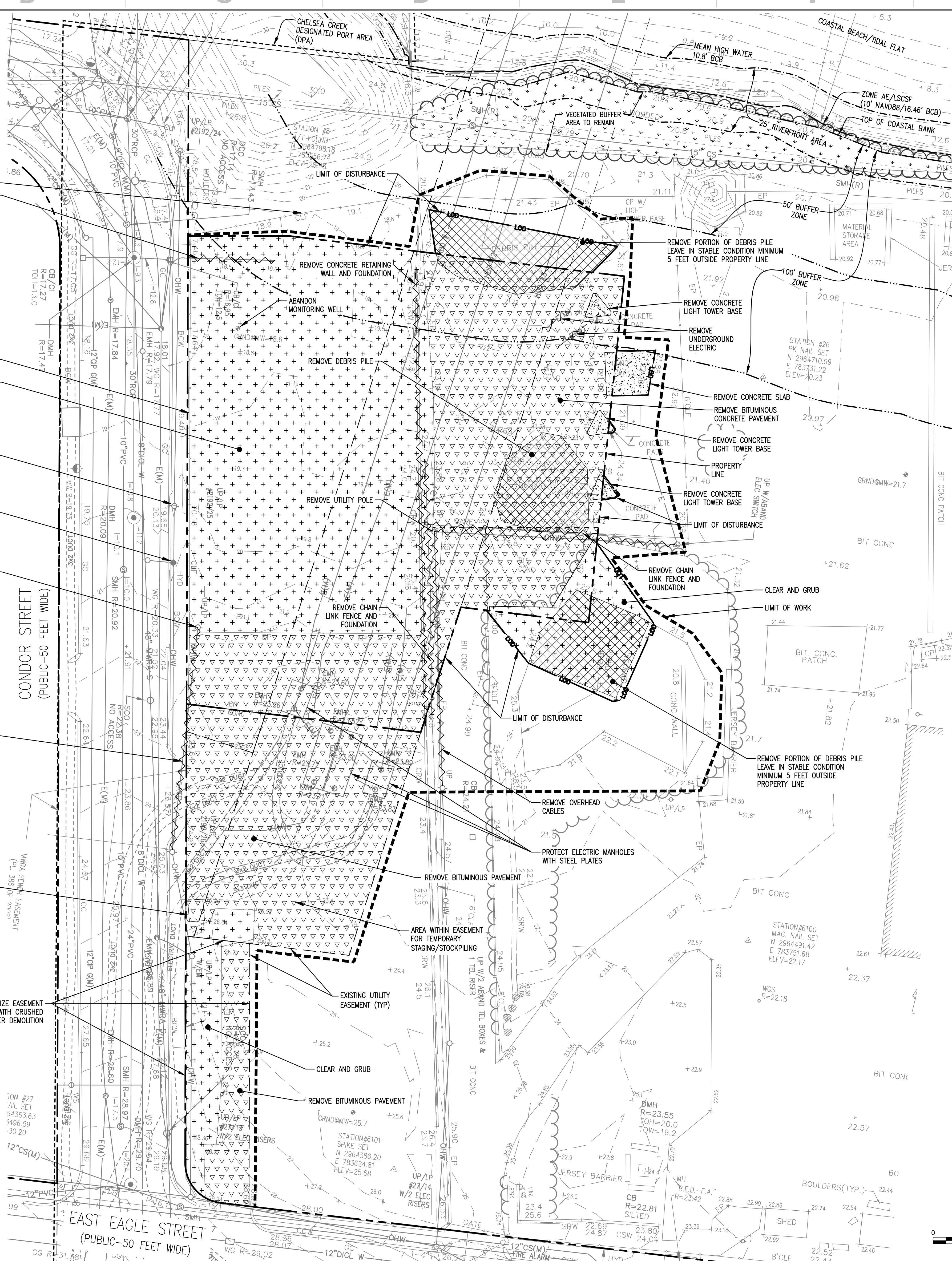
Table listing abbreviations: CB (Catch Basin), CL (Centerline), EL (Elevation), FBD (Flat Bottom Ditch), HORIZ (Horizontal), HP (High Point), INV (Pipe Invert), MH (Manhole), OCS (Outlet Control Structure), PC (Point of Curvature), PI (Point of Intersection), PT (Point of Tangent), ST (Storm Drain), TF (Top of Frame), TOS (Top of Slope), TYP (Typical), VERT (Vertical), VIF (Verify in Field), VPI (Vertical Point of Intersection).



STATION DESIGN CHANGE No: 14-056
TITLE OF CHANGE: NEW STATION
(BASE) DWG. No. NEW DRAWING (BASE) DWG. Rev.No. A
DESIGN REVISION TABLE

ISSUED FOR PERMIT
Burns & McDonnell
NSTAR ELECTRIC
GENERAL NOTES & LEGEND
131-6101
131 STATION CONDR STREET
I.D. ED

IN THE CITY RIGHT OF WAY, PROVIDE DEMOLITION AND RESTORATION IN KIND OF SURFACE IMPROVEMENTS INCIDENTAL TO CONSTRUCTION OF PROPOSED WORK UNLESS OTHERWISE INDICATED. THE EXTENTS OF DEMOLITION AND RESTORATION ARE DEPENDENT ON CONTRACTOR'S MEANS AND METHODS, AND AS SUCH ARE NOT SPECIFICALLY INDICATED HEREON. ALL DEMOLITION AND RESTORATION, WHETHER SPECIFICALLY INDICATED OR NOT, SHALL BE IN ACCORDANCE WITH THE CITY OF BOSTON PUBLIC WORKS DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS AND THE BOSTON WATER AND SEWER COMMISSION STANDARD DETAILS AND SPECIFICATIONS.



LEGEND (REGULATORY AREAS)

- MEAN HIGH WATER/25' RIVERFRONT AREA
- TOP OF COASTAL BANK, 50'/100' BUFFER ZONES
- LIMIT OF LAND SUBJECT TO COASTAL STORM FLOWAGE ZONE AE 100 YR FLOOD ELEVATION
- CHELSEA CREEK DESIGNATED PORT AREA

LEGEND (REMOVE AND DISPOSE)

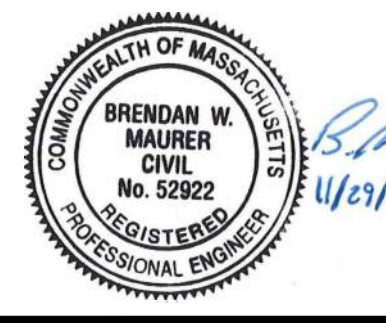
- REMOVE EXISTING FEATURE (FENCE, WALL, UTILITY, ETC.)
- REMOVE BITUMINOUS CONCRETE PAVEMENT
- CLEAR AND GRUB VEGETATION
- REMOVE DEBRIS PILE
- REMOVE CONCRETE
- LIMIT OF WORK (SEE NOTE 5)
- LIMIT OF DISTURBANCE (SEE NOTE 4)

REGULATORY ELEVATIONS

- ELEVATIONS ARE REFERENCED TO BOSTON CITY BASE VERTICAL DATUM.
- MEAN HIGH WATER = 10.8'
- LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) = 16.46'
- ZONE AE 100 YR FLOOD ELEVATION = 16.46' PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 2502500019J, SUFFOLK COUNTY, MASSACHUSETTS, EFFECTIVE DATE MARCH 16, 2016.

DEMOLITION NOTES

- REFER TO SHEET 131-6101 FOR ADDITIONAL NOTES, ABBREVIATIONS AND LEGENDS.
- REFER TO SHEET 131-6110 FOR EROSION AND SEDIMENTATION CONTROL PLAN.
- REFER TO SHEET 131-6111 FOR EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS.
- LIMIT OF DISTURBANCE IS AT THE PROPERTY LINE OR EDGE OF UTILITY EASEMENT, EXCEPT WHERE INDICATED.
- LIMIT OF WORK IS INTENDED TO GRAPHICALLY REPRESENT THE APPROXIMATE PROJECT WORK AREA AND AS SUCH IS DRAWN OUTSIDE PROPERTY LINES, EASEMENT LINES, PERIMETER SEDIMENT CONTROLS, ETC. SO AS TO NOT OVERLAP AND OBSCURE SAID FEATURES.
- THE CONTRACTOR SHALL INSTALL SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY PAVEMENTS, FENCES, BLOCKS, BARRIERS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND OWNER'S REQUIREMENTS.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY EXISTING BURIED FOUNDATION ELEMENTS ENCOUNTERED ON SITE, INCLUDING BUT NOT LIMITED TO SLABS AND FOOTINGS. FOUNDATIONS MAY BE PRESENT ON-SITE FROM PAST BUILDINGS, HOWEVER SIZE AND LOCATION OF FOUNDATION ELEMENTS ARE NOT KNOWN AT THIS TIME.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND DISPOSAL OF DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. POST BONDS AND PAY PERMIT FEES AS REQUIRED.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENT AND REMOVALS.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO OWNER.
- THE CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF WORK, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENTATION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH THE OWNER ENGINEER, AND CITY AGENCIES HAVING JURISDICTION IS HELD. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE "DIG SAFE" MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
- THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
- THE CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION OR STABILIZE WITH OTHER NON-VEGETATIVE METHOD. FOUNDATION AREAS TO BE BACK FILLED IN 8" LIFTS WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT 2% OF OPTIMUM MOISTURE CONTENT. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE STATE AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
- MULTIPLE MONITORING WELLS ARE LOCATED THROUGHOUT THE PROPERTY. COORDINATE WITH OWNER TO DETERMINE IF MONITORING WELLS WILL BE ABANDONED OR ADJUSTED TO FINISH GRADE WITH PERMANENT COVER. ABANDONMENT SHALL BE IN ACCORDANCE WITH MAEP REQUIREMENTS AFTER RECEIVING PERMISSION FROM OWNER.
- WHERE PAVEMENT IS INDICATED TO BE REMOVED, THE PAVEMENT SHALL BE SAWCUT NEATLY FOR FULL DEPTH OF PAVEMENT AT THE LIMIT OF REMOVAL AREA.
- PURPOSE OF THIS DEMOLITION PLAN IS TO REMOVE EXISTING SITE IMPROVEMENTS IN PREPARATION FOR SITE REMEDIATION WORK DESIGNED BY OTHERS.
- CONTRACTOR SHALL REMOVE UTILITY POLES AND WIRES AS INDICATED, AND COORDINATE AS REQUIRED WITH UTILITY PROVIDERS, AND PAY ANY FEES REQUIRED BY UTILITY PROVIDERS PERTAINING TO REMOVALS AND DISCONNECTIONS.



STATION DESIGN CHANGE No: 14-056

TITLE OF CHANGE: NEW STATION

(BASE) DWG. No. NEW DRAWING (BASE) DWG. Rev.No. A

DESIGN REV	DESCRIPTION OF REVISION	DESIGNER	REVIEWED/APPROVED	DATE	ISSUE TO	DATE
A	ISSUED FOR PERMIT	BWM	DAN FOLEY	11/2/18	NSTAR	
B						
C						
D						
E						

ISSUED FOR PERMIT Burns & McDonnell

NSTAR ELECTRIC

DEMOLITION PLAN

131-6102 131-6102 131-6110 131-6101

131-6113 131-6111 131-6110 131-6101

NO DATE DESCRIPTION OF ALTERATIONS BY CHECKED APPROVED TITLE OF REFERENCE DRAWINGS NUMBER

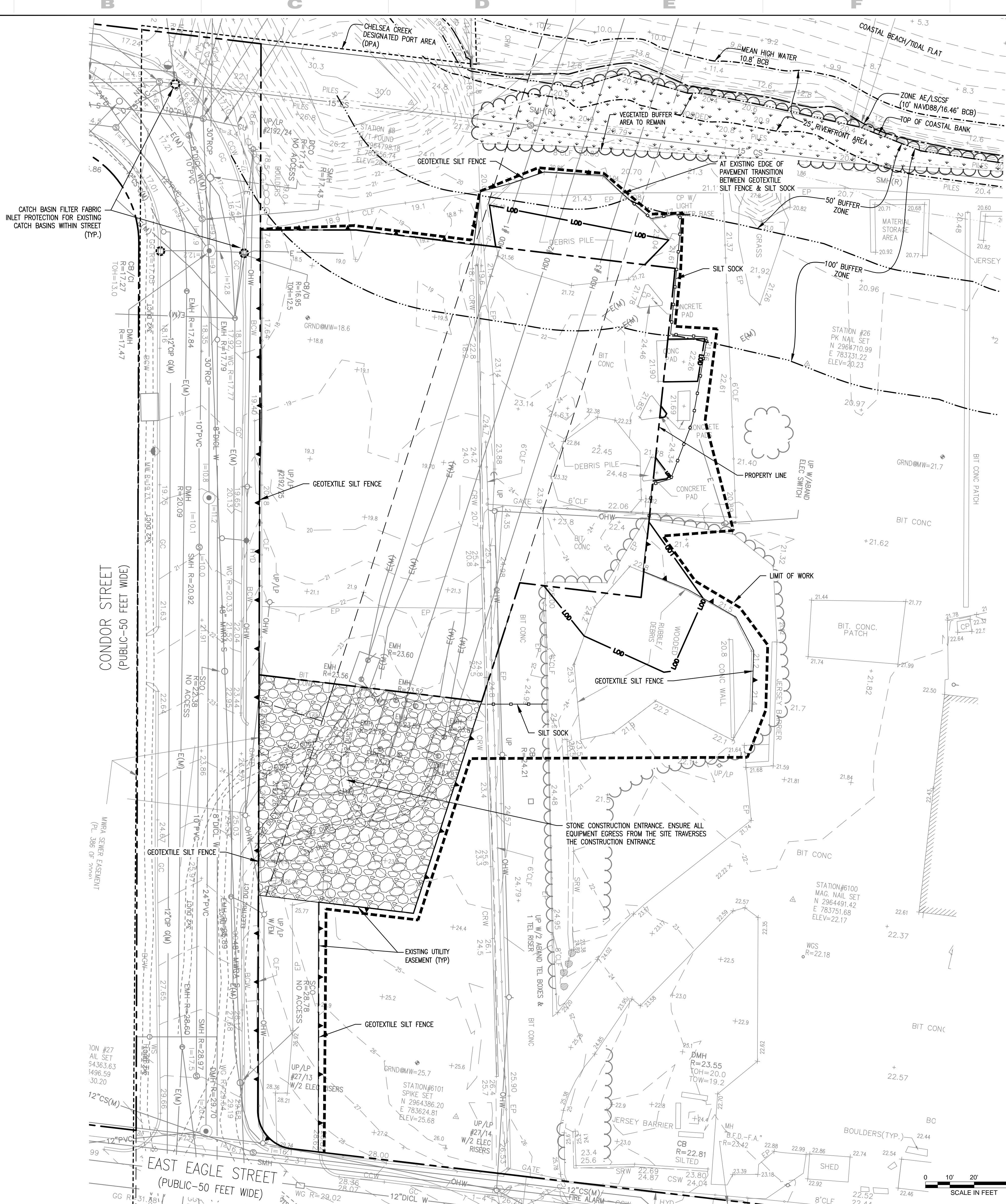
INTERIM GRADING PLAN 131-6113
 EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS 131-6111
 EROSION AND SEDIMENTATION CONTROL PLAN 131-6110
 GENERAL NOTES AND LEGEND 131-6101

DATE 11/2/18
 SCALE 1 IN.=20 FT
 THIS DWG PRODUCED FROM 131-6102

131 STATION CONDOR STREET

I.D. ED

0119-181



REGULATORY ELEVATIONS

- ELEVATIONS ARE REFERENCED TO BOSTON CITY BASE VERTICAL DATUM.
- MEAN HIGH WATER = 10.8'
- LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) = 16.46'
- ZONE AE 100 YR FLOOD ELEVATION = 16.46' PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25025C0019J, SUFFOLK COUNTY, MASSACHUSETTS, EFFECTIVE DATE MARCH 16, 2016.

LEGEND (REGULATORY AREAS)

- MEAN HIGH WATER/25' RIVERFRONT AREA
- TOP OF COASTAL BANK, 50'/100' BUFFER ZONES
- LIMIT OF LAND SUBJECT TO COASTAL STORM FLOWAGE ZONE AE 100 YR FLOOD ELEVATION
- CHELSEA CREEK DESIGNATED PORT AREA

LEGEND (FURNISH AND INSTALL)

- LIMIT OF WORK (SEE NOTE 5)
- LIMIT OF DISTURBANCE (SEE NOTE 4)
- GEOTEXTILE SILT FENCE
- SILT SOCK
- INLET PROTECTION
- STONE CONSTRUCTION ENTRANCE

EROSION AND SEDIMENTATION CONTROL NOTES

- REFER TO SHEET 131-6101 FOR ADDITIONAL NOTES, ABBREVIATIONS, AND LEGENDS.
- REFER TO SHEET 131-6111 FOR EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS.
- EROSION & SEDIMENT CONTROLS SHOWN FOR SITE CLEARING & DEMOLITION PHASE ONLY.
- ACCORDING TO THE NATIONAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY, THE SOIL TYPES ONSITE AND WITHIN THE LIMIT OF DISTURBANCE IS 603 - URBAN LAND, WET SUBSTRATUM, 0 TO 3 PERCENT SLOPES AND 655 - UDOTHERENTS, WET SUBSTRATUM.
- LIMIT OF DISTURBANCE IS AT THE PROPERTY LINE OR EDGE OF UTILITY EASEMENT, EXCEPT WHERE INDICATED.
- LIMIT OF WORK IS INTENDED TO GRAPHICALLY REPRESENT THE APPROXIMATE PROJECT WORK AREA AND AS SUCH IS DRAWN OUTSIDE PROPERTY LINES, EASEMENT LINES, PERIMETER SEDIMENT CONTROLS, ETC. SO AS TO NOT OVERLAP AND OBSCURE SAID FEATURES.
- THE CONTRACTOR SHALL ENSURE NO DISTURBANCE BEYOND THE LIMIT OF DISTURBANCE LINE.
- REINFORCE PERIMETER CONTROLS WITH STRAW BALES WITHIN THE 100'-FT BUFFER ZONE.



STATION DESIGN CHANGE No: 14-056		TITLE OF CHANGE: <u>NEW STATION</u>				
(BASE) DWG. No. <u>NEW DRAWING</u>	(BASE) DWG. Rev.No. <u>A</u>					
DESIGN REV	DESCRIPTION OF REVISION	DESIGNER	REVIEWED/APPROVED	DATE	ISSUE TO	DATE
A	ISSUED FOR PERMIT	BWM	DAN FOLEY	11/2/18	NSTAR	
B						
C						
D						
E						

ISSUED FOR PERMIT

DATE: _____

SCALE: 1 IN. = 20 FT

THIS DWG PRODUCED FROM: **131-6110**

EROSION AND SEDIMENTATION CONTROL PLAN

131 STATION CONDOR STREET

NO	DATE	DESCRIPTION OF ALTERATIONS	BY	CHECKED	APPROVED	TITLE OF REFERENCE DRAWINGS	NUMBER
		INTERIM GRADING PLAN				131-6113	
		EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS				131-6111	
		DEMOLITION PLAN				131-6102	
		GENERAL NOTES AND LEGEND				131-6101	

EROSION AND SEDIMENTATION CONTROL NOTES

- GENERAL NOTES:
1. THE EROSION AND SEDIMENTATION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE...
2. THE EROSION AND SEDIMENTATION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS...
3. THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS NOVEMBER 2018 WITH COMPLETION ANTICIPATED DECEMBER 2020...
4. THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION...
5. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION...
6. THE CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN...
7. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE CITY OF BOSTON TO ENSURE IMPLEMENTATION OF THE EROSION CONTROL MEASURES...
8. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD...
9. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH/RIP RAP ETC.) ON-SITE...
10. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION...
11. STONE CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION...
12. TOPSOIL SHALL BE STRIPPED, SEGREGATED, AND REMOVED...
13. COMPLY WITH REQUIREMENTS OF THE EPA FOR NPDES AND RECORD KEEPING...
14. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY...
15. CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED...
16. ANY STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT...
17. DEWATERING SUMP PITS SHALL BE INSTALLED WHEN WATER COLLECTS DURING EXCAVATION...
18. WHERE SEDIMENT HAS BEEN TRACKED-OUT FROM THE CONSTRUCTION SITE ONTO ROADS, SIDEWALKS, OR OTHER PAVED AREAS, REMOVE THE DEPOSITED SEDIMENT...

- 5. PERFORM DEMOLITION ACTIVITIES AS INDICATED ON THE DEMOLITION PLANS. REMOVE PAVEMENTS, UTILITY POLES, STOCKPILES, CONCRETE PADS, ETC.
6. REMOVE CONCRETE RETAINING WALL. SLOPE SUBGRADE AT 2H:1V.
7. BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPILL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CITY OF BOSTON...
8. THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES, HAY BALES AND OTHER EROSION CONTROL DEVICES...
9. STABILIZE EXPOSED PORTIONS OF THE SITE. IMPLEMENT AND MAINTAIN STABILIZATION MEASURES (E.G. SEEDING PROTECTED BY EROSION CONTROLS...
10. CLEAN STORM DRAINAGE FACILITIES, PIPES, AND STRUCTURES OF DEBRIS AND SEDIMENT.
11. UPON DIRECTION OF THE CITY OF BOSTON AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

- FILLING OPERATIONS
1. PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.

- PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND FOUNDATION CONSTRUCTION OPERATIONS
1. SILT FENCES OR SILT SOCK SHALL BE INSTALLED AT THE DOWNHILL SIDES OF EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES...

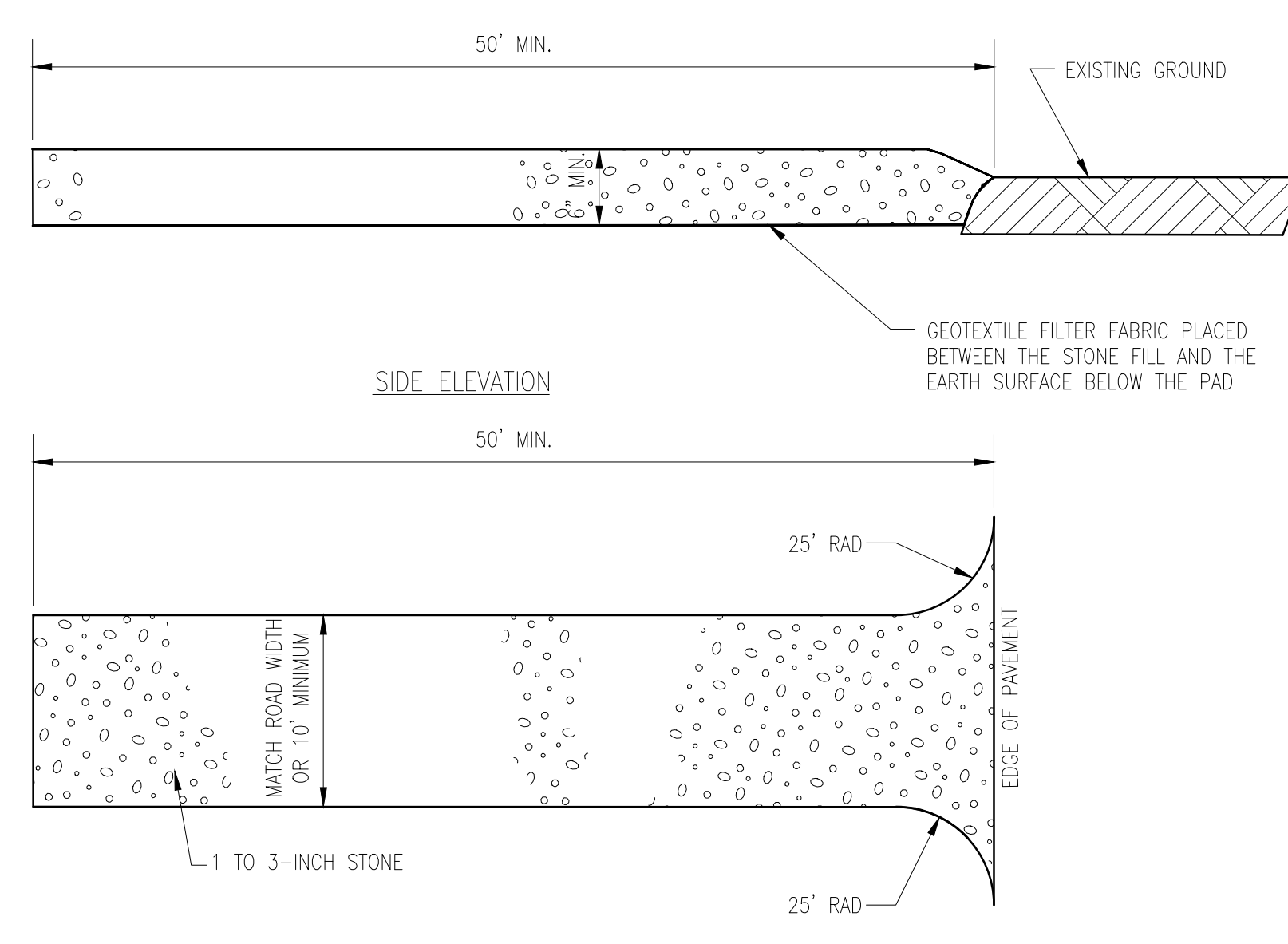
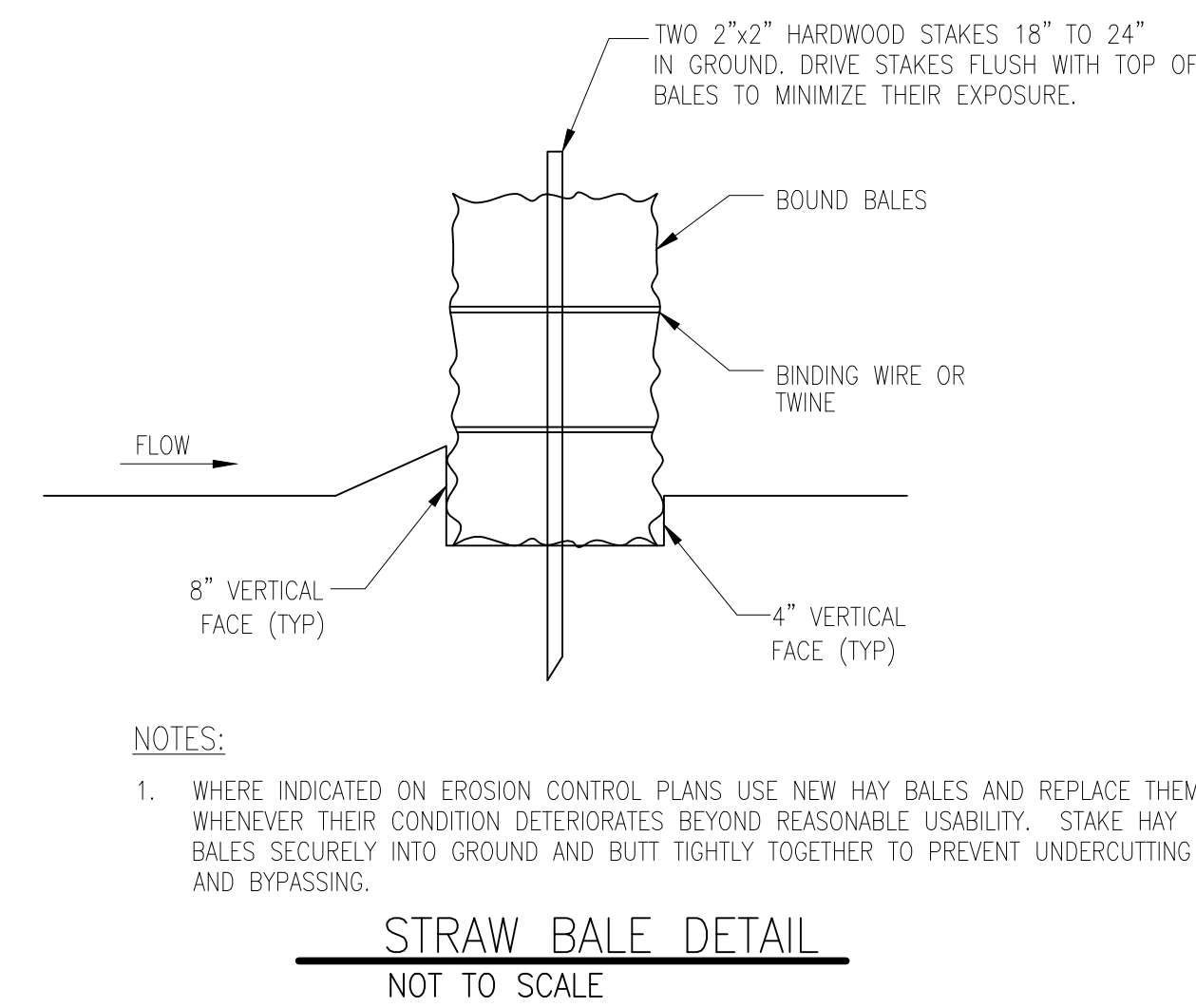
- FINAL GRADING AND PAVING OPERATIONS
1. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.

- 2. PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.

- 3. AFTER CONSTRUCTION OF PAVEMENT AND STONE SURFACING, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR STONED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE OWNER AND THE CITY OF BOSTON.

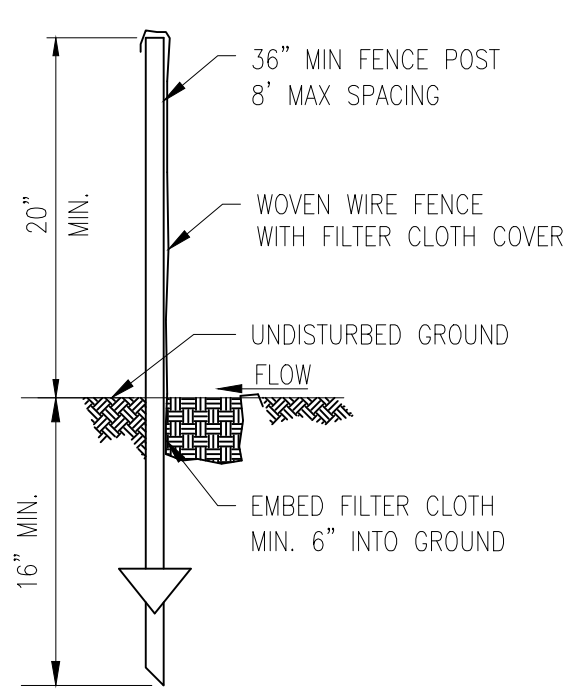
- 4. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.

- 5. MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PAVED AREAS AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY...

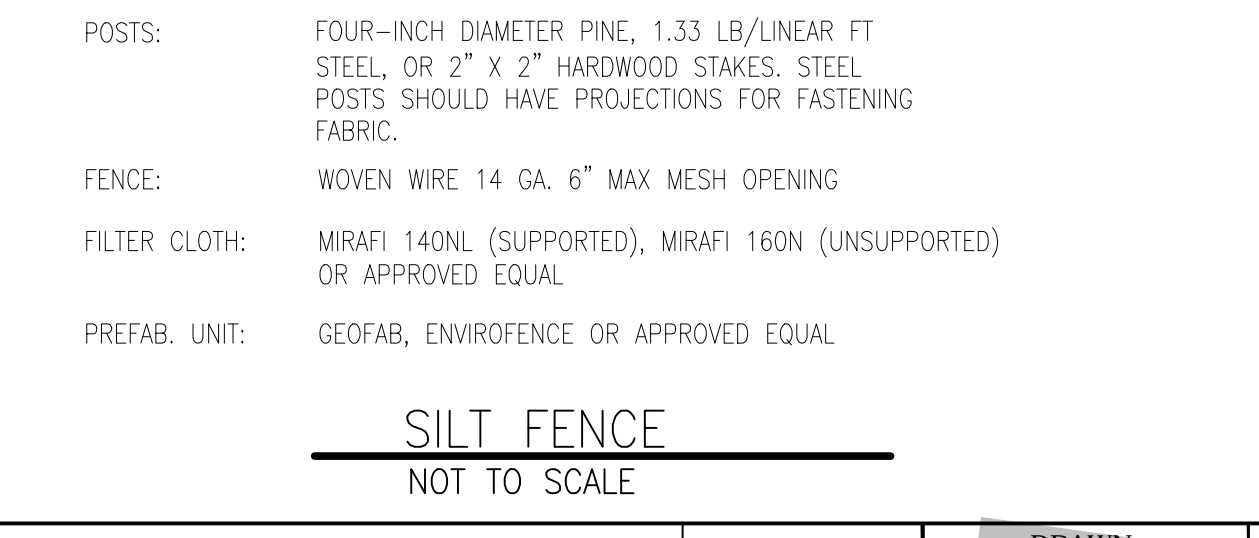


- TEMPORARY STONE CONSTRUCTION ENTRANCE CONSTRUCTION SPECIFICATIONS:
1. THE AREA OF THE ENTRANCE MUST BE EXCAVATED A MINIMUM OF 3 INCHES AND MUST BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL...
2. FOLLOWING THE INSTALLATION OF THE FILTER CLOTH, THE STONE SHALL BE PLACED TO THE SPECIFIC DIMENSIONS...
MAINTENANCE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY...
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PUBLIC STREETS FREE OF CONSTRUCTION DEBRIS AND SEDIMENT.

TEMPORARY STONE CONSTRUCTION ENTRANCE NOT TO SCALE

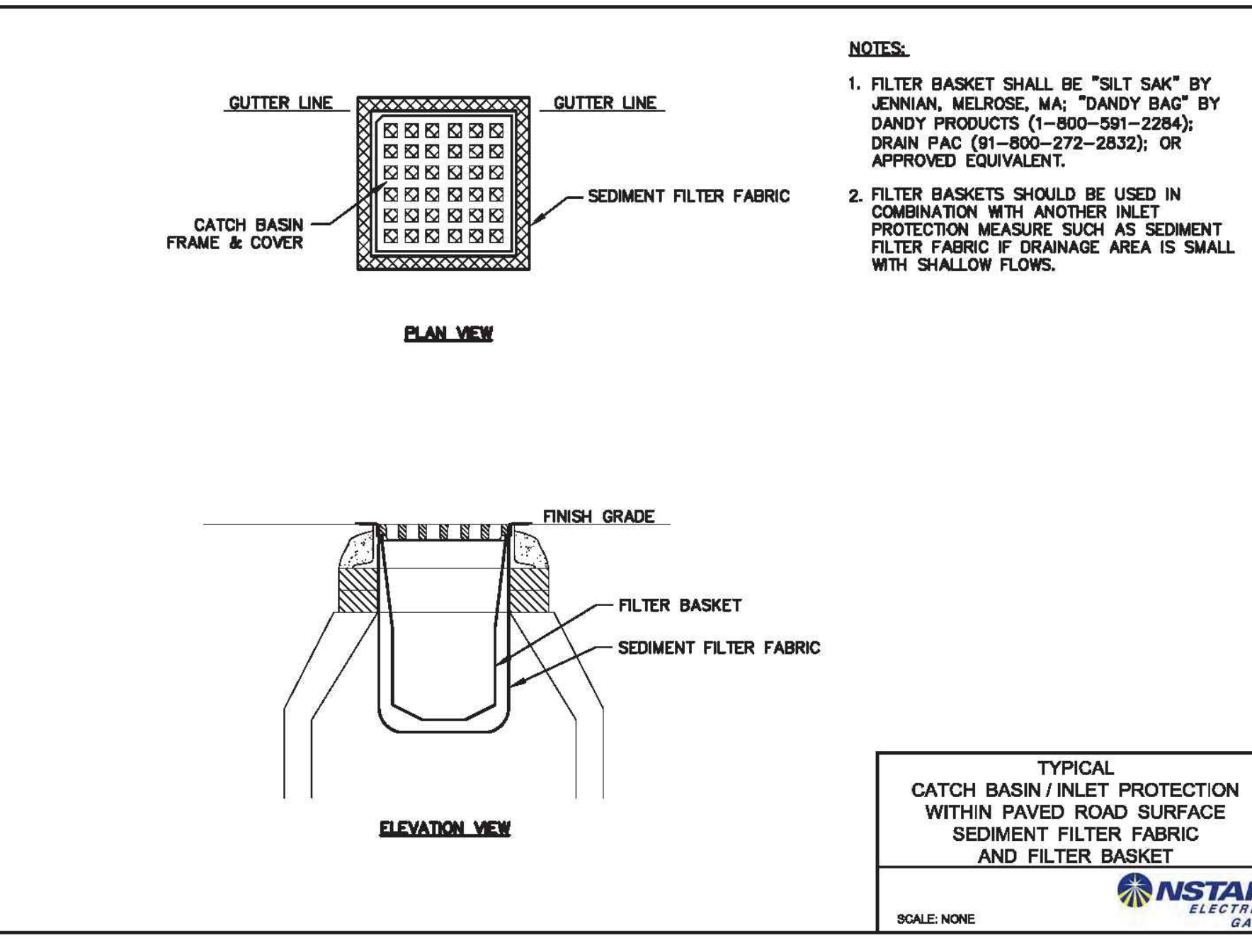
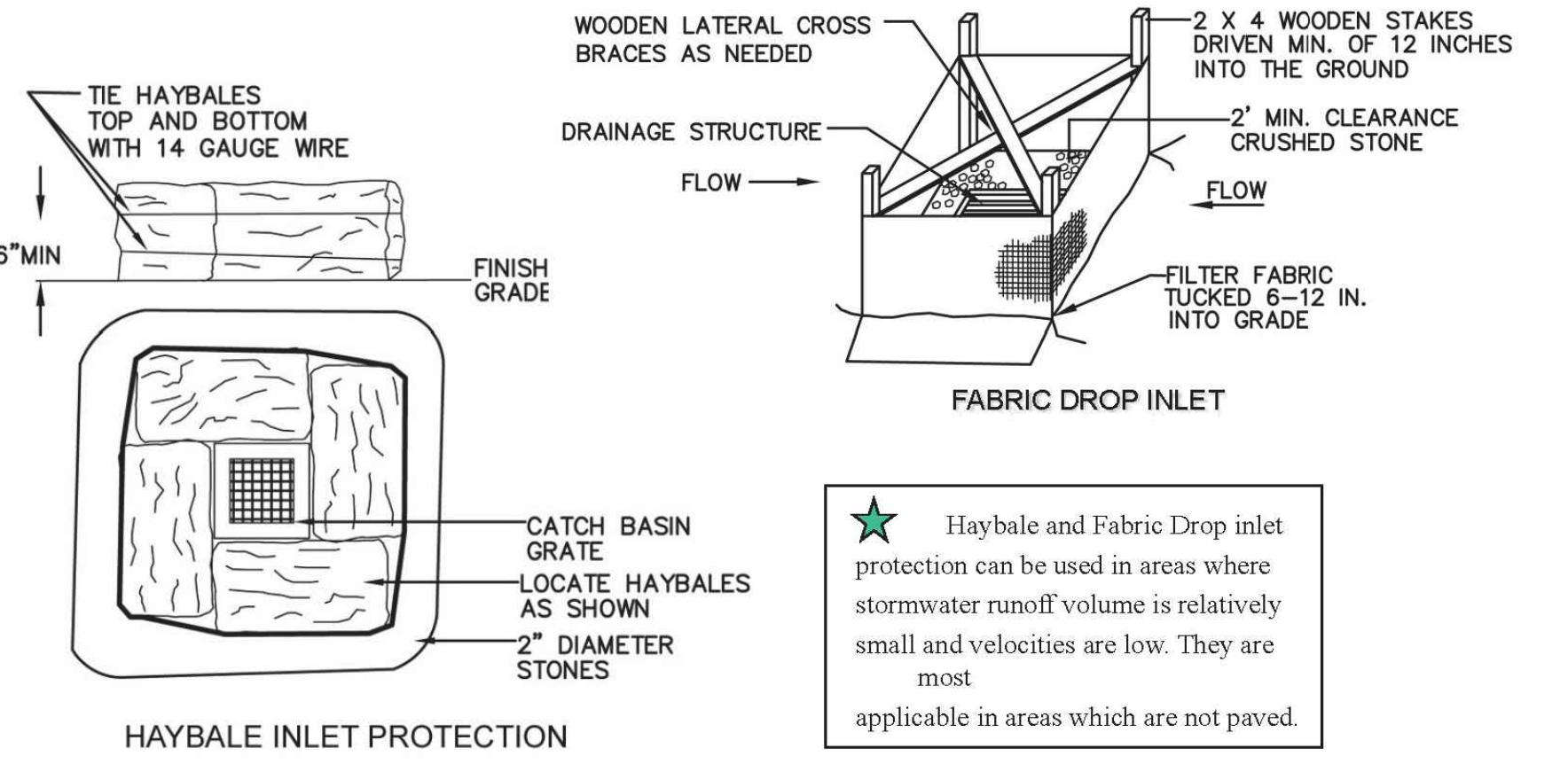


- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.



- NOTES:
1. SILT SOCK SHALL BE FILTREXXM SILT SOCK OR APPROVED EQUIVALENT.
2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

CATCH BASIN / INLET PROTECTION - HAYBALE AND FABRIC DROP INLETS



CATCH BASIN INLET PROTECTION NOT TO SCALE

STATION DESIGN CHANGE No: 14-056

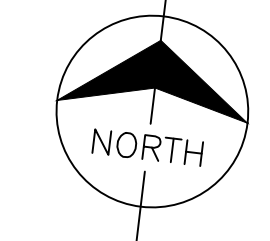
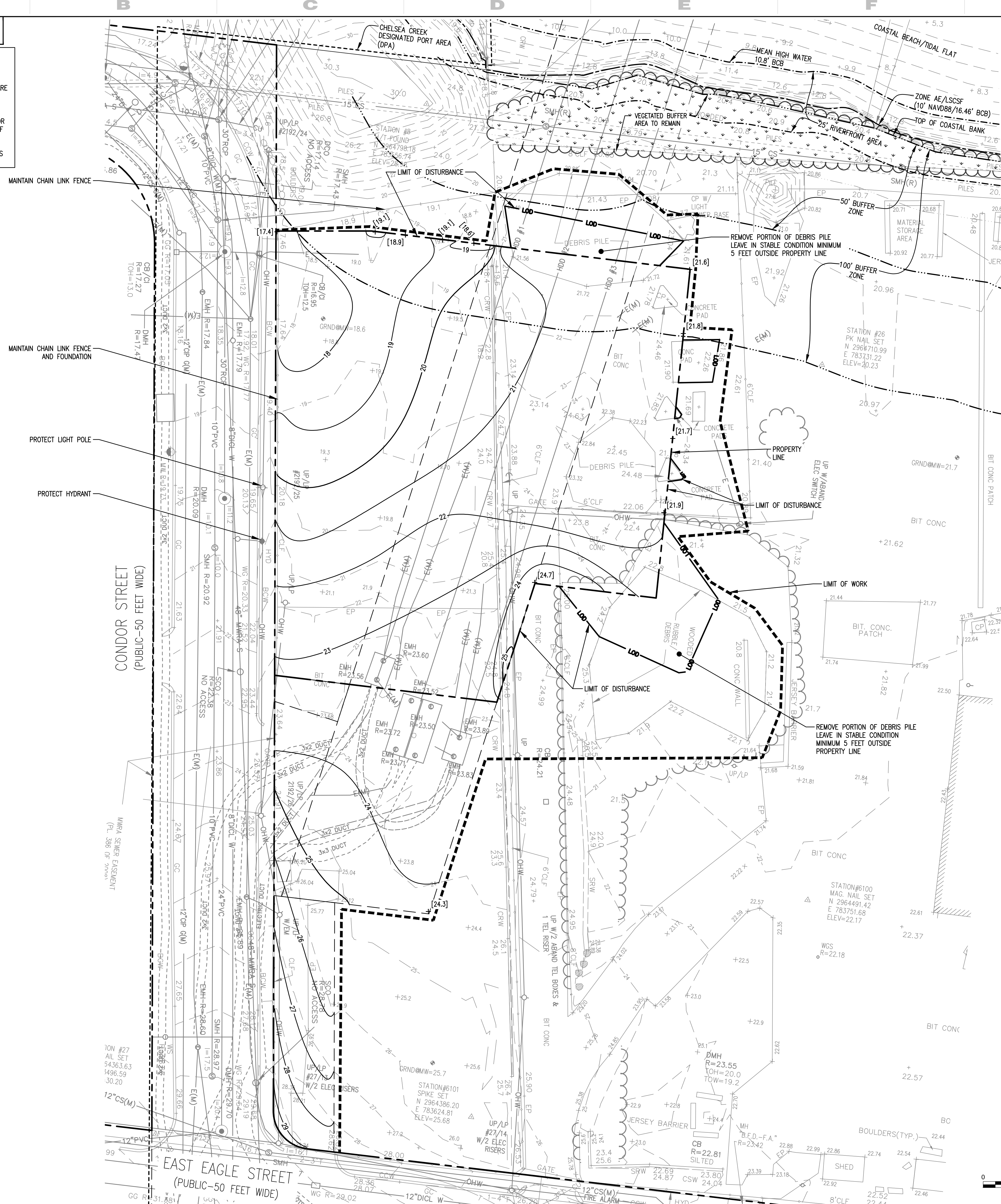
Table with columns: DESIGN REV, DESCRIPTION OF REVISION, DESIGNER, REVIEWED/APPROVED, DATE, ISSUE TO, DATE. Includes a signature for Brendan W. Maurer.

Stamp area containing 'ISSUED FOR PERMIT', 'Burns & McDonnell' logo, 'NSTAR ELECTRIC' logo, and 'EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS'.

Table with columns: NO, DATE, DESCRIPTION OF ALTERATIONS, BY, CHECKED, APPROVED, TITLE OF REFERENCE DRAWINGS, NUMBER. It lists drawings like INTERIM GRADING PLAN and DEMOLITION PLAN.

119-181

IN THE CITY RIGHT OF WAY, PROVIDE DEMOLITION AND RESTORATION IN KIND OF SURFACE IMPROVEMENTS INCIDENTAL TO CONSTRUCTION OF PROPOSED WORK UNLESS OTHERWISE INDICATED. THE EXTENTS OF DEMOLITION AND RESTORATION ARE DEPENDENT ON CONTRACTOR'S MEANS AND METHODS, AND AS SUCH ARE NOT SPECIFICALLY INDICATED HEREON. ALL DEMOLITION AND RESTORATION, WHETHER SPECIFICALLY INDICATED OR NOT, SHALL BE IN ACCORDANCE WITH THE CITY OF BOSTON PUBLIC WORKS DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS AND THE BOSTON WATER AND SEWER COMMISSION STANDARD DETAILS AND SPECIFICATIONS.



LEGEND (REGULATORY AREAS)

- MEAN HIGH WATER/25' RIVERFRONT AREA
- TOP OF COASTAL BANK, 50'/100' BUFFER ZONES
- LIMIT OF LAND SUBJECT TO COASTAL STORM FLOWAGE ZONE AE 100 YR FLOOD ELEVATION
- CHELSEA CREEK DESIGNATED PORT AREA

LEGEND (FURNISH AND INSTALL)

- LIMIT OF WORK (SEE NOTE 6)
- LIMIT OF DISTURBANCE (SEE NOTE 7)
- CONTOUR MAJOR
- CONTOUR MINOR
- 10.0 + PROPOSED SPOT ELEVATION
- [10.0] + MATCH EXISTING SPOT ELEVATION

REGULATORY ELEVATIONS

1. ELEVATIONS ARE REFERENCED TO BOSTON CITY BASE VERTICAL DATUM.
2. MEAN HIGH WATER = 10.8'
3. LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) = 16.46'
4. ZONE AE 100 YR FLOOD ELEVATION = 16.46' PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 25025C0019J, SUFFOLK COUNTY, MASSACHUSETTS, EFFECTIVE DATE MARCH 16, 2016.

GRADING NOTES

1. THIS PLAN DEPICTS INTERIM GRADINGS ONLY TO FACILITATE SITE DEMOLITION AND REMEDIATION IN PREPARATION FOR FUTURE SUBSTATION CONSTRUCTION. EARTHMOVING OPERATIONS SHALL BE OVERSEEN BY THE OWNER'S GEOTECHNICAL ENGINEER. EARTHWORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. REUSE OF ON-SITE MATERIALS AND STOCKPILES SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT, UNLESS OTHERWISE APPROVED BY OWNER AND GEOTECHNICAL ENGINEER. EXCAVATION AND BACKFILLING OF MATERIALS SHALL BE COORDINATED WITH THE SOIL MANAGEMENT PLAN AND DEMOLITION PLAN.
2. REFER TO SHEET 131-6101 FOR ADDITIONAL NOTES, ABBREVIATIONS AND LEGENDS.
3. REFER TO SHEET 131-6102 FOR SITE DEMOLITION.
4. REFER TO SHEET 131-6110 FOR EROSION AND SEDIMENTATION CONTROL PLAN.
5. REFER TO SHEET 131-6111 FOR EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS.
6. LIMIT OF WORK IS INTENDED TO GRAPHICALLY REPRESENT THE APPROXIMATE PROJECT WORK AREA AND AS SUCH IS DRAWN OUTSIDE PROPERTY LINES, EASEMENT LINES, PERIMETER SEDIMENT CONTROLS, ETC. SO AS TO NOT OVERLAP AND OBSCURE SAID FEATURES.
7. LIMIT OF DISTURBANCE IS AT THE PROPERTY LINE OR EDGE OF UTILITY EASEMENT, EXCEPT WHERE INDICATED.
8. THE CONTRACTOR SHALL INSTALL SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
9. ELEVATIONS, IN U.S. SURVEY FEET, ARE REFERENCED TO THE BOSTON CITY BASE VERTICAL DATUM (BCB). REFER TO NOTE #10 FOR ADDITIONAL INFORMATION. THE CONVERSION FROM BOSTON CITY BASE DATUM (BCB) TO MEAN LOWER LOW WATER (MLLW) IS AS FOLLOWS: MLLW = BCB - 0.89-FT.
10. EXISTING CONDITIONS TAKEN FROM "EXISTING CONDITIONS SURVEY 338 EAST EAGLE STREET AND CONDR STREET" BY SMC SURVEYING AND MAPPING CONSULTANTS, DATED JANUARY 18, 2017.
11. BOUNDARY TAKEN FROM "PLAN OF LAND 338 EAST EAGLE STREET AND CONDR STREET IN BOSTON MASSACHUSETTS (SUFFOLK COUNTY)" PREPARED BY BSC GROUP, DATED MARCH 6, 2018.
12. PARTIAL EXISTING UNDERGROUND ELECTRIC DISTRIBUTION COMPILED FROM "CHELSEA RIVER ELECTRIC AS-BUILT" BY MCCOURT, DATED DECEMBER 30, 2011.
13. GROUND CONTOUR AND SPOT ELEVATIONS INDICATED ARE TO TOP OF FINISH GRADE FOR INTERIM GRADING.
14. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE NECESSARY. THE CONTRACTOR SHALL CONTACT THE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESSEEN CONFLICTS BETWEEN PROPOSED GRADING AND EXISTING UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.

STATION DESIGN CHANGE No: 14-056

TITLE OF CHANGE: NEW STATION
 (BASE) DWG. No. NEW DRAWING (BASE) DWG. Rev.No. A

DESIGN REV	DESCRIPTION OF REVISION	DESIGNER	REVIEWED/APPROVED	DATE	ISSUE TO	DATE
A	ISSUED FOR PERMIT	BWM	DAN FOLEY	11/19/18	NSTAR	
B						
C						
D						
E						

ISSUED FOR PERMIT

Electrical Approved

Burns & McDonnell
SINCE 1858

NSTAR ELECTRIC

INTERIM GRADING PLAN

131-6113

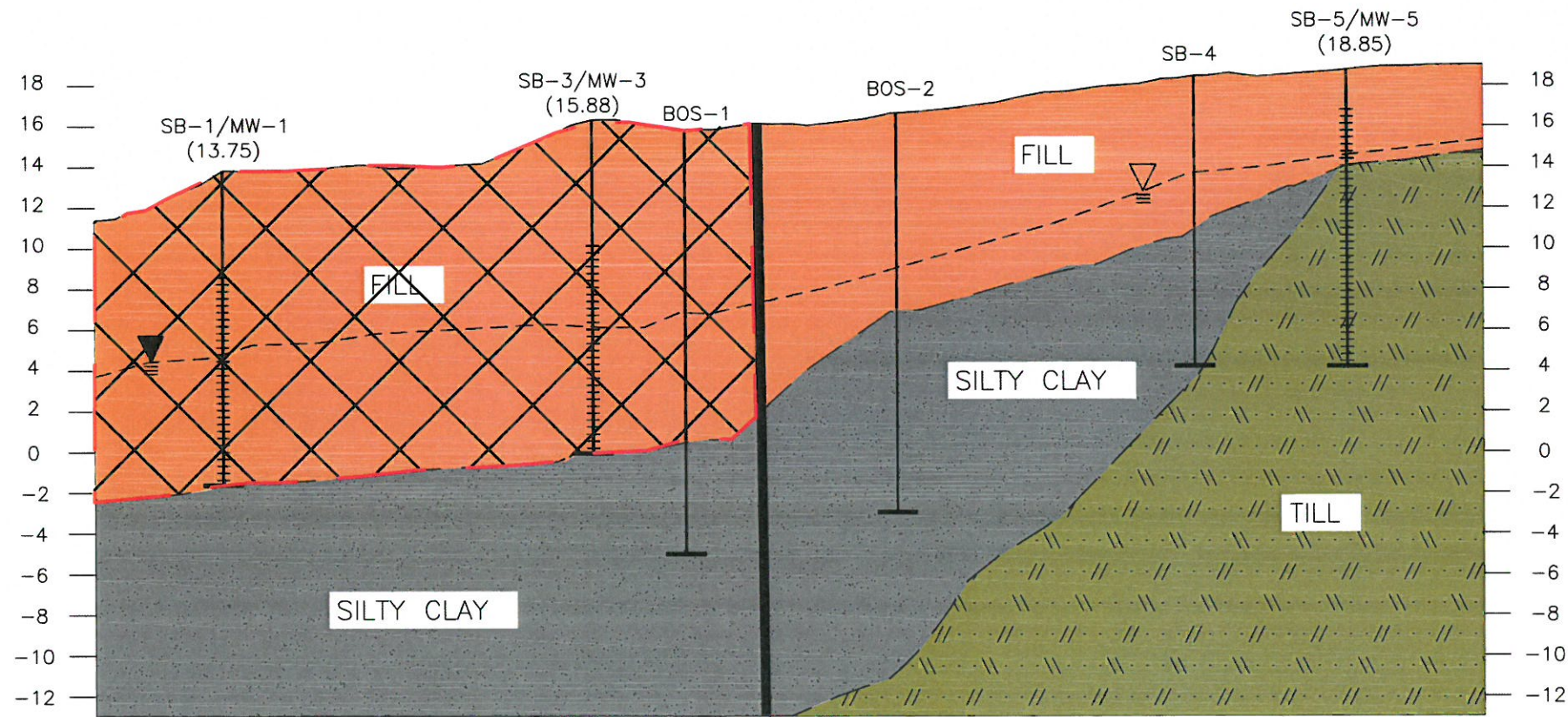
131 STATION CONDR STREET

NO	DATE	DESCRIPTION OF ALTERATIONS	BY	CHECKED	APPROVED	TITLE OF REFERENCE DRAWINGS	NUMBER
		EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS				131-6111	
		EROSION AND SEDIMENTATION CONTROL PLAN				131-6110	
		DEMOLITION PLAN				131-6102	
		GENERAL NOTES AND LEGEND				131-6101	

I.D. ED

Attachment C – Soil Remediation Figures

Nov 16, 2018 2:24pm Plotted By: JLL
Tighe & Bond, Inc. \\highbond.com\data\Projects\EA03-Station 131\BDA\Drawings\E-0754-003C-01-01-XD.dwg



LEGEND:

- FILL
- SILTY CLAY
- TILL
- VERTICAL LIMIT OF PROPOSED EXCAVATION
- (18.85) APPROXIMATE TOP OF PVC RISER ELEVATION
- GW ELEVATION
- GW MONITORING WELL
- SOIL BORING

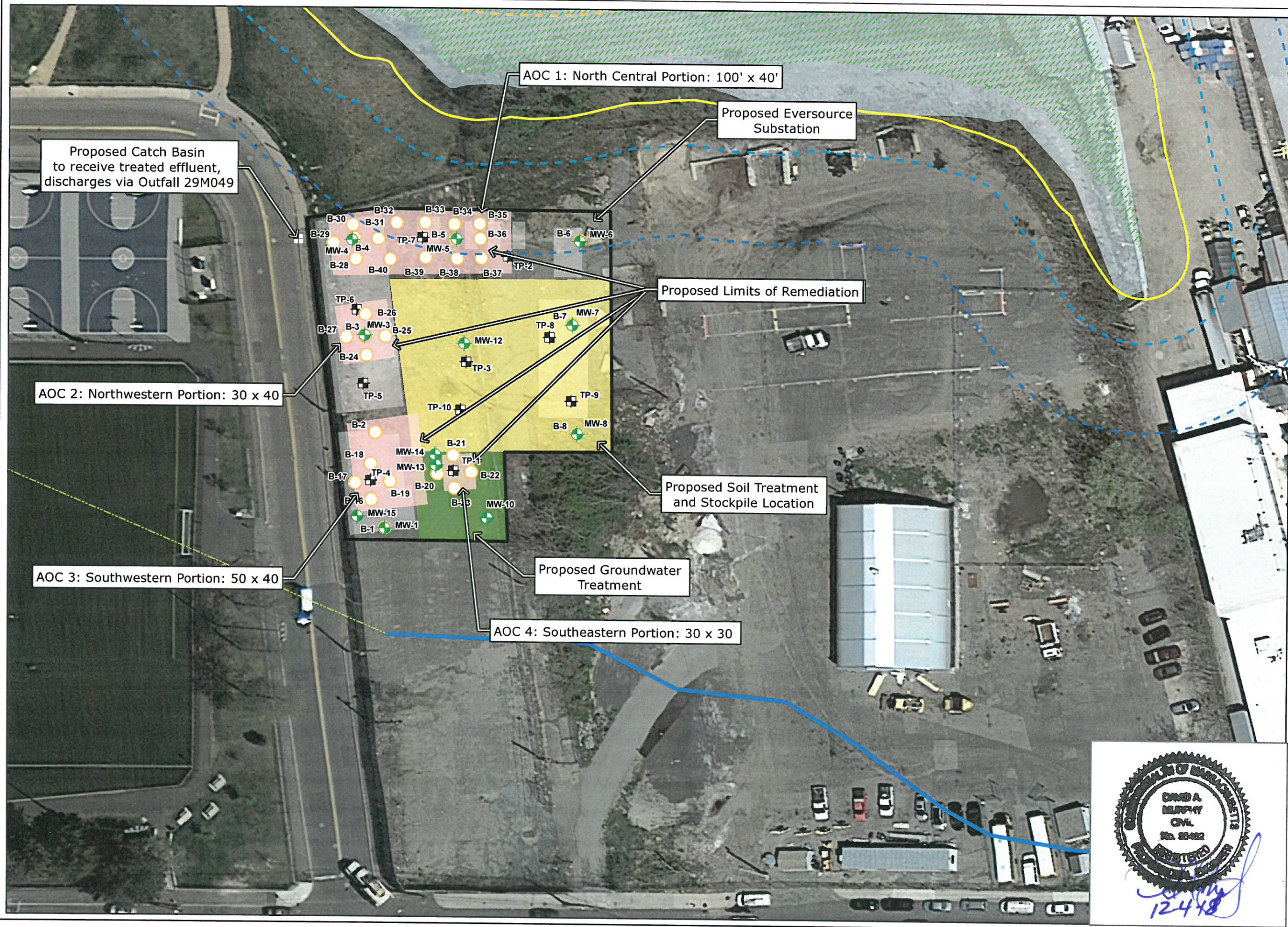
REFERENCE
1. CROSS SECTION FROM FIGURE TITLED 'GEOLOGIC CROSS SECTION A-A"' BY WESTON & SAMPSON DATED JULY 2016.

EVERSOURCE
PROPERTY LINE



0 40' 80'
HORIZONTAL SCALE: 1" = 40'
APPROXIMATE VERTICAL SCALE: 1" = 8'
(VERTICAL EXAGGERATION 5:1)

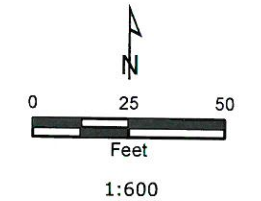
0 CONDOR STREET BOSTON, MASSACHUSETTS	
GEOLOGIC CROSS SECTION NORTH TO SOUTH	
DATE: 11/16/2018	Tighe & Bond Engineers Environmental Specialists
SCALE: 1" = 40'	
FIGURE #	



CONCEPTUAL SITE PLAN

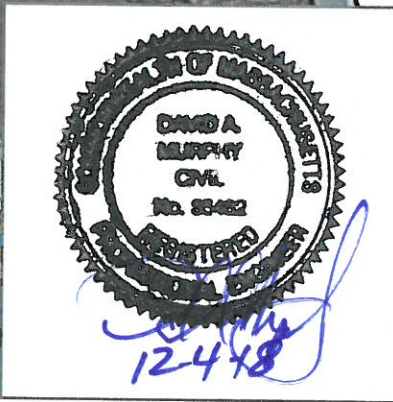
LEGEND

- Monitoring Well
- Test Pit
- Soil Boring
- Proposed Catch Basin
- Substation Features
- Substation
- Inferred Historic High Water
- Historic High Water
- 25' Buffer Zone
- 50' Buffer Zone
- 100' Buffer Zone
- Riverfront Area
- MassDEP Coastal Wetlands
- 100 Year Flood Plain
- Proposed Excavation Limits
- Proposed Soil Stockpiles
- Proposed Groundwater Treatment System



NOTES
Based on MassGIS Color Orthophotography (2016)

Substation 131
Soil Sampling Map
Lot 2 Condor Street East Boston
East Boston, Massachusetts
December 2018



Attachment D – Site Photographs

Client Name: Eversource

Site Location: Substation 131 Site – East Boston, MA

Project No: 12754.03

Photo No. : 1

Date: November 2018

Description: Location of proposed site preparation and remediation looking north.



Client Name: Eversource

Site Location: Substation 131 Site – East Boston, MA

Project No: 12754.03

Photo No. : 2

Date: November 2018

Description: Location of areas requiring soil remediation looking north.



Client Name: Eversource

Site Location: Substation 131 Site – East Boston, MA

Project No: 12754.03

Photo No. : 3

Date: November 2018

Description: Debris piles and existing pavement within 100-foot buffer zone to be removed.



Client Name: Eversource

Site Location: Substation 131 Site – East Boston, MA

Project No: 12754.03

Photo No. : 4

Date: November 2018

Description: Existing concrete foundation, pavement, debris and fencing within 100-foot buffer zone.



Attachment E

Abutter Notification Materials

- Affidavit of Service
- Abutter Notification Form
- List of Abutters
- Abutter Notification Figure

Affidavit of Service
Massachusetts Wetlands Protection Act

I, Sean D. Hale, hereby certify under the pains and penalties of perjury that VHB, Inc. gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, the DEP Guide to Abutter Notification dated April 8, 1994 with regard to the following matter:

A Notice of Intent filed with the Boston Conservation Commission under the Massachusetts Wetlands Protection Act by Eversource Energy on December 5, 2018, for site preparation and soil remediation activities at Lot 2, Condor Street in Boston, Massachusetts.

The form of notification and a list of abutters to whom it was provided and their addresses are attached to this Affidavit of Service.



Sean D. Hale

December 5, 2018

Date

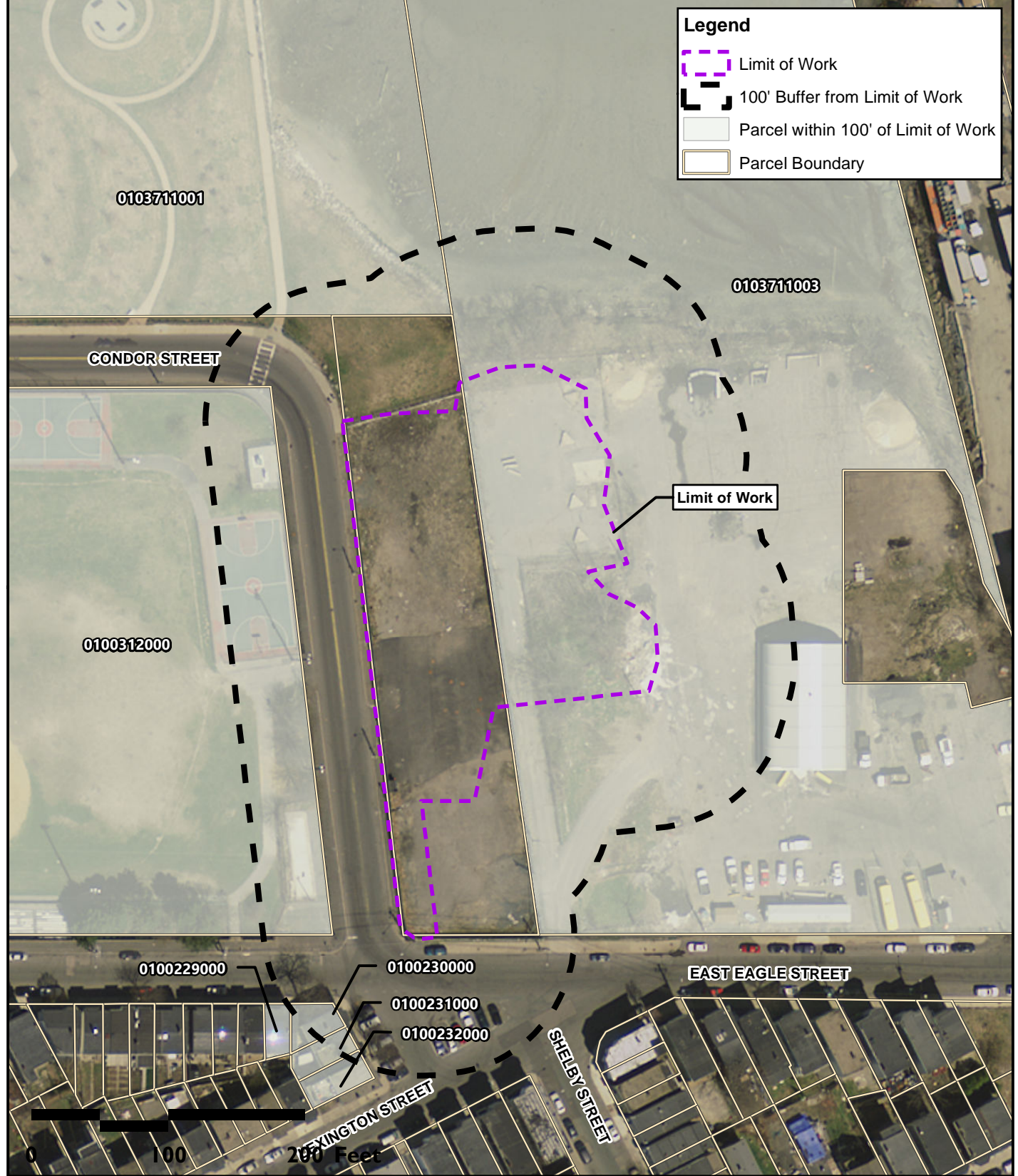
**Notification To Abutters
Under The Massachusetts Wetlands Protection Act**

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are notified of the following:

1. The name of the applicant is: **Eversource Energy**
2. The applicant has filed: **a Notice of Intent with the Boston Conservation Commission for authorization to conduct site preparation and soil remediation activities within the Chelsea Creek DPA and 100-ft buffer zone in Boston, MA.**
3. The address of the lot where the project is proposed is: **Lot 2, Condor Street, East Boston, MA, Parcel ID – 0103711002**
4. Copies of the NOI and site plans may be examined or obtained for a fee from either the:
 - a. Copies of the NOI and site plans may be examined at the **Boston Conservation Commission office located at 1 CITY HALL SQUARE, ROOM 709 BOSTON, MA 02201, Monday through Friday 9:00 am to 5:00 pm. Please call ahead of time for an appointment at 617-635-3850.** Copy fees may be applicable.
 - b. Copies of the NOI and site plans may be obtained from the applicant's representative, **VHB, Inc., by calling 207-536-2588 during regular business hours.**
5. Information regarding the date, time and place of the public hearing may be obtained from the **Boston Conservation Commission by calling 617-635-3850.** A public hearing is tentatively scheduled for **December 19, 2018 at 6 pm.** Please call the referenced number to confirm the hearing date, time, and location.

NOTE: Notice of the public hearing, including its date, time and place, will be published at least five (5) days in advance in the **Boston Herald.**

NOTE: Notice of the public hearing, including its date, time and place, will be posted in City Hall at least forty-eight (48) hours in advance.



↑
Scale
1 inch = 100 feet

Proposed East Eagle Street Substation
Abutters Map
Boston, Massachusetts

Source:
MassGIS, BMcD



PID	OWNER	ADDRESSEE	MLG_ADDRESS	MLG_CITYSTATE	MLG_ZIPCODE	LOC_ADDRESS	LOC_CITY	LOC_ZIPCODE
100231000	LANDAVERDE JOSE A	C/O JOSE A LANDAVERDE	2 LEXINGTON SQ	EAST BOSTON MA	2128	2 LEXINGTON SQ	EAST BOSTON	2128
100230000	ZHENG JINGWEN	C/O JINGWEN ZHENG	1 LEXINGTON SQ	EAST BOSTON MA	2128	1 LEXINGTON SQ	EAST BOSTON	2128
100229000	BONILLA FRANCISCO		317 E EAGLE ST	E BOSTON MA	2128	317 E EAGLE ST	EAST BOSTON	2128
100232000	DLG HOLDINGS LLC	C/O DLG HOLDINGS LLC	156 CHELSEA ST #104	EAST BOSTON MA	2128	306 LEXINGTON ST	EAST BOSTON	2128
100312000	CITY OF BOSTON		CONDOR ST	EAST BOSTON MA	2128	CONDOR ST	EAST BOSTON	2128
103711001	CITY OF BOSTON		300 CONDOR	EAST BOSTON MA	2128	300 CONDOR ST	EAST BOSTON	2128
103711003	CITY OF BOSTON		26 COURT ST 10TH FLR	BOSTON MA	2108	338 E EAGLE ST	EAST BOSTON	2128

Attachment F – Filing Fee Information



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

33 East Eagle Street & Condor Street
 a. Street Address
 Boston
 b. City/Town
 341715
 c. Check number
 \$512.50
 d. Fee amount

2. Applicant Mailing Address:

Michael
 a. First Name
 Zylich
 b. Last Name
 NSTAR Electric Company
 c. Organization
 247 Station Drive
 d. Mailing Address
 Westwood MA 02090
 e. City/Town f. State g. Zip Code
 781-441-3804 - michael.zylich@eversource.com
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

a. First Name
 b. Last Name
 c. Organization
 d. Mailing Address
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Cat 3	1	\$1,050	\$1,050
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	<u>\$1,050</u>
State share of filing Fee:	a. Total Fee from Step 5 <u>\$512.50</u>
City/Town share of filing Fee:	b. 1/2 Total Fee less \$12.50 <u>\$1,500* per BCC policy</u> c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

VANASSE HANGEN BRUSTLIN, INC.
101 WALNUT STREET • PO BOX 9151
WATERTOWN, MASSACHUSETTS 02471

CITIZENS BANK
MASSACHUSETTS
5-7017/2110

341714
CHECK DATE

November 29, 2018

One Thousand Five Hundred and 00/100

AMOUNT

\$1,500.00

City of Boston
Nicholas Moreno
1 City Hall Plaza
Room 709
Boston, MA 02201



MP
AUTHORIZED SIGNATURE



⑈ 341714 ⑈ ⑆ 211070175 ⑆ 1130161371 ⑈

VANASSE HANGEN BRUSTLIN, INC.
101 WALNUT STREET • PO BOX 9151
WATERTOWN, MASSACHUSETTS 02471

EMILY BUSINESS FORMS 800.392.6018 VISION

341714

Check Date: 11/29/2018

Invoice Number	Date	Voucher	Amount	Discounts	Previous Pay	Net Amount
Tracy Sullivan 11/28	11/28/2018	0060749	\$1,500.00			\$1,500.00
City of Boston		TOTAL	\$1,500.00			\$1,500.00
Citizens	2	0003222				

VANASSE HANGEN BRUSTLIN, INC.
 101 WALNUT STREET • PO BOX 9151
 WATERTOWN, MASSACHUSETTS 02471

CITIZENS BANK
 MASSACHUSETTS
 5-7017/2110

341715
 CHECK DATE

November 29, 2018

Five Hundred Twelve and 50/100

AMOUNT

\$512.50

Commonwealth of Massachusetts
 DEP-Department of Environmental Protection
 P.O. Box 4062
 Boston, MA 02211

Michael J. ...
 AUTHORIZED SIGNATURE



⑈ 341715⑈ ⑆ 211070175⑆ 1130161371⑈

VANASSE HANGEN BRUSTLIN, INC.
 101 WALNUT STREET • PO BOX 9151
 WATERTOWN, MASSACHUSETTS 02471

EMILY BUSINESS FORMS 800.392.6018 VISION

341715

Check Date: 11/29/2018

Invoice Number	Date	Voucher	Amount	Discounts	Previous Pay	Net Amount
Tracy Sullivan 11/28	11/28/2018	0060751	\$512.50			\$512.50
Commonwealth of Massachusetts			TOTAL	\$512.50		\$512.50
Citizens	3	0004919				