

85 Pinckney St

Boston, MA

ZONING DIMENSIONAL REGULATIONS

ZONING DISTRICT H-2-65	Any Dwelling/Other	(E) Any Dwelling/Other	(N) Any Dwelling/Other
TYPE OF USE	Residential	Residential	No change
LOT SIZE	None/None	1,740 SF	No change
LOT AREA (Min for add dwelling)	None/None	7,501 SF (E) Floor Area	No change
LOT WIDTH (Min)	None/None	24.0'	No change
GROSS FLOOR AREA		7,143 SF	7,388SF
FAR (Max)	2.0/2.0	NC, 4.11	NC, 4.25
HEIGHT OF BUILDING (Stories)	None/None	6	No change
HEIGHT OF BUILDING (Feet)	65.0'/65.0'	NC, 67.8'	No change
USABLE OPEN SPACE (Min per dwelling)	150/None	416 SF	No change
FRONT YARD	20.0'/20.0'	NC, 0.0'	No change
SIDE YARD	0.0'/0.0'	0.0'	No change
REAR YARD	10.0'+L/20	NC (Invaded by ell)	No change

NC*** = Existing Non-Conforming Condition



Project Team

OWNER
 Sir Peter Wood
 Rick Burns, Owners Representative
 85 Pinckney Street
 Boston, MA, 02114
 Phone: 561-820-1400
 Email: rick@davisgeneralcontracting.com

ARCHITECT
 Meyer & Meyer Architects, Inc.
 Attn: Adam Gilmore
 396 Commonwealth Avenue
 Boston, MA 02215
 Phone: 617-266-0555
 Email: agilmore@meyerandmeyerarchitects.com

INTERIOR DESIGNER
 Marc - Michaels
 Attn: Rachel Ortiz
 720 West Morse Boulevard
 Winter Park, FL 32789
 Phone: 407-629-0441 x3137
 Email: rachelo@marc-michaels.com

STRUCTURAL ENGINEER
 Webb Structural Services
 Attn: Dan Webb
 670 Main Street
 Reading, MA 01867
 Phone: 781-779-1330
 Email: dan@webbss.net

MECHANICAL ENGINEER
 Sun Engineering
 Attn: Sean Fennessy
 491 Maple Street
 Suite 209
 Danvers, MA 01923
 Phone: 978-777-7765
 Email: sean@sunengineering.net

Fire Protection Engineer
 Corneliusen Consulting Inc.
 Attn: Joel Corneliusen
 Phone: 781-248-7497
 Email: joel@fpeconsulting.com

780 CMR BUILDING CODE (IBC2015) & MA AMENDMENTS

CODE REFERENCE	CODE DESCRIPTION	EXISTING CONDITION	PROPOSED CONDITION
521 CMR 9.2.1, 9.4. 521 CMR 10.1	Renovation and Reuse exempt from Group I Dwelling Units and Group II Dwelling Units Public and Common Areas for existing buildings with less than 12 units not required to be accessible	Contains less than 20 units Contains less than 12 units	2 units, no change 2 units, no change
780 CMR 34 2.02 780 CMR 34 301.2	Type of Addition, Alteration, or Repair Prescriptive Compliance Method		Interior alteration Prescriptive Compliance Method
780 CMR 310.1 780 CMR Table 503 780 C 3	Use Group Height Limitations Stories * Height Limitations Area Limitations	R-3 6 stories 67.8' 1361 sf (R-2 24,000 sf)	R-3, no change 6 stories, no change 67.8', no change 1361 sf, no change
780 CMR 504.2	Sprinkler Height Increase +20ft Sprinkler Height Increase + 1 Story		
780 CMR Table 601	Building Type Primary structural frame Bearing Walls EXT Bearing Walls INT Non-Bearing walls and partitions INT Floor Construction Roof Construction	III B 0 2 0 0 0 0	III B, No change 1 2 0 0 1 0
780 CMR Table 602	Fire Separation X<5c Fire Separation 5<X<10 Fire Separation 10<X<30 Fire Separation X<=30	1 1 1 0	1 1 1 0
780 CMR 903.3.1.1 780 CMR 903.3.3.2	NFPA 13 Sprinkler System Quick Response or Residential automatic sprinklers required.	NA** NA**	13 Yes

* Group R limited to 75ft and 5 stories

**NA = Non- Applicable

MEYER & MEYER, INC.
 ARCHITECTURE ◦ INTERIORS
 396 COMMONWEALTH AVENUE BOSTON, MASSACHUSETTS 02215



MMXIX

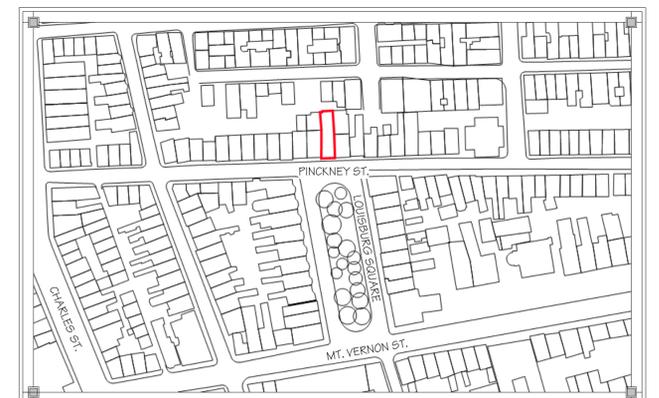
Beacon Hill Architectural Commission Hearing

August 15, 2019



LOCATION MAP

Boston, Massachusetts



Project:
85 Pinckney St

85 Pinckney Street
Boston, MA

Issue Dates and Revisions:

Permit Set	10/23/2018
Bid Set	11/01/2018
50% CD Set	12/12/2018
100% CD Set	01/11/2019
1 ASI-001	02/14/2019

General Notes:

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Registration:



Drawing Title:
Site Survey

Drawn: _____ Author

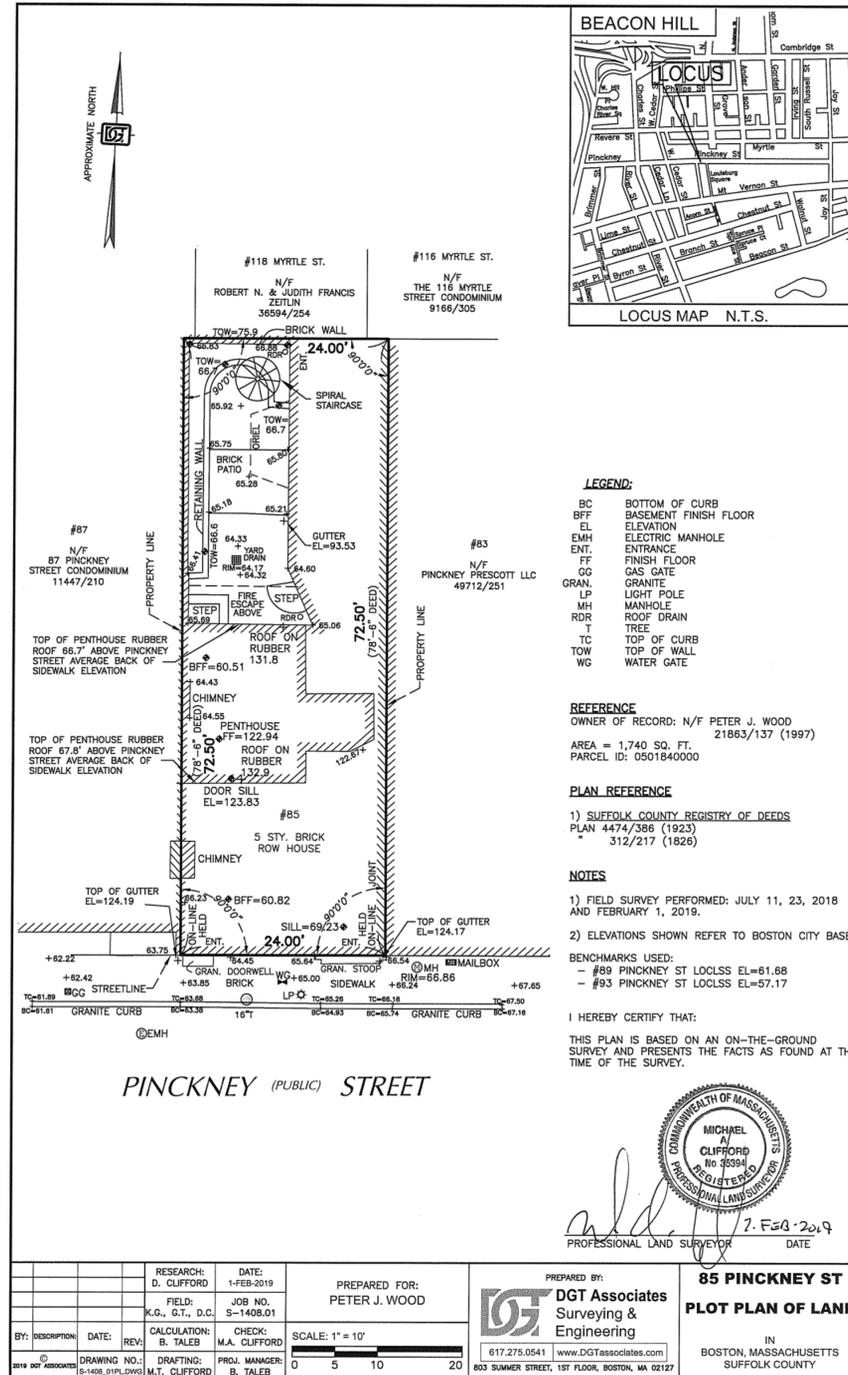
Checked: _____ Checker

Project Number: 85740

Date:

Drawing Number:

A0.00





Proposed



Existing

Existing Front Elevation



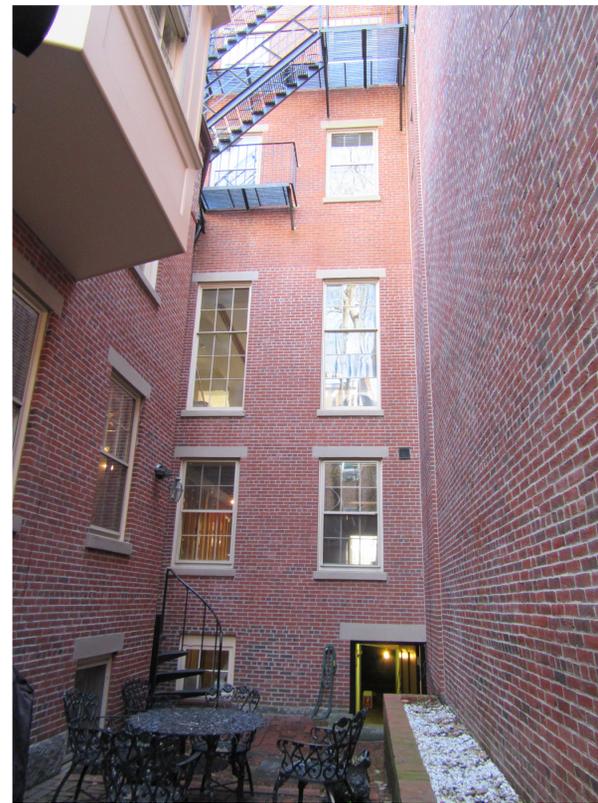
Before

After

04/29/19
85 Pinckney St
85 Pinckney Street Boston, MA

View from Myrtle Street

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INC.
ARCHITECTURE & INTERIORS
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www.meyerandmeyerarchitects.com





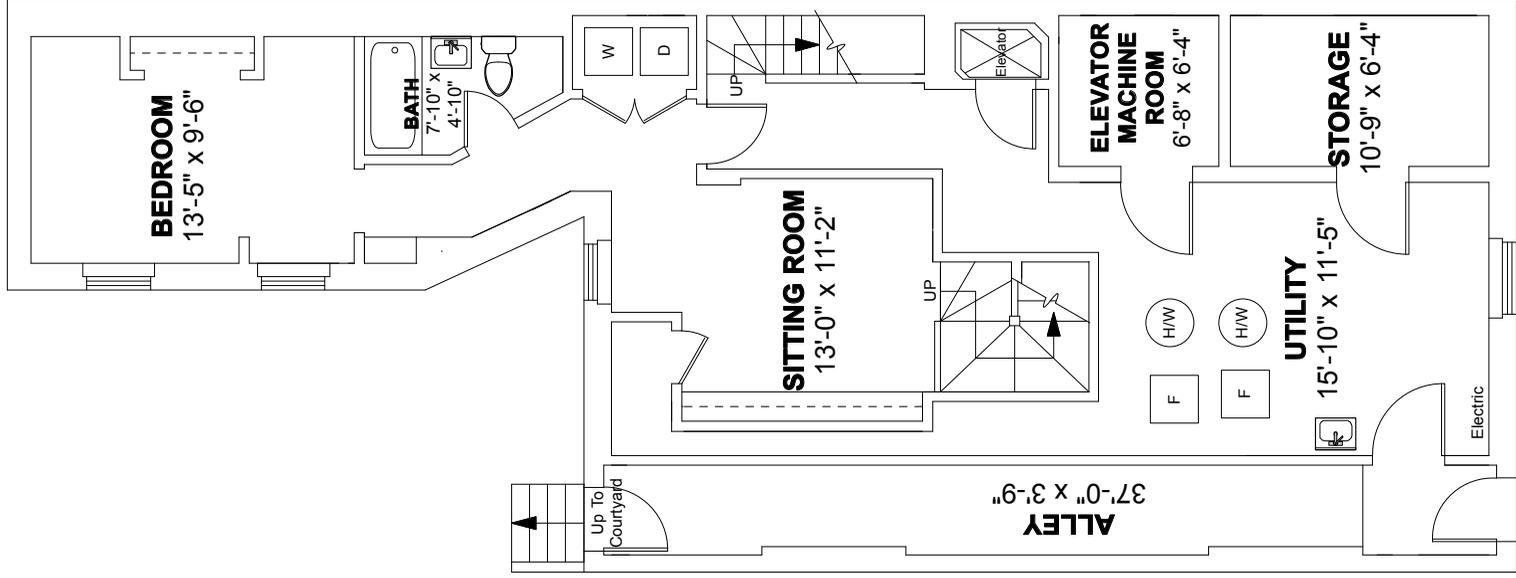
Before

After

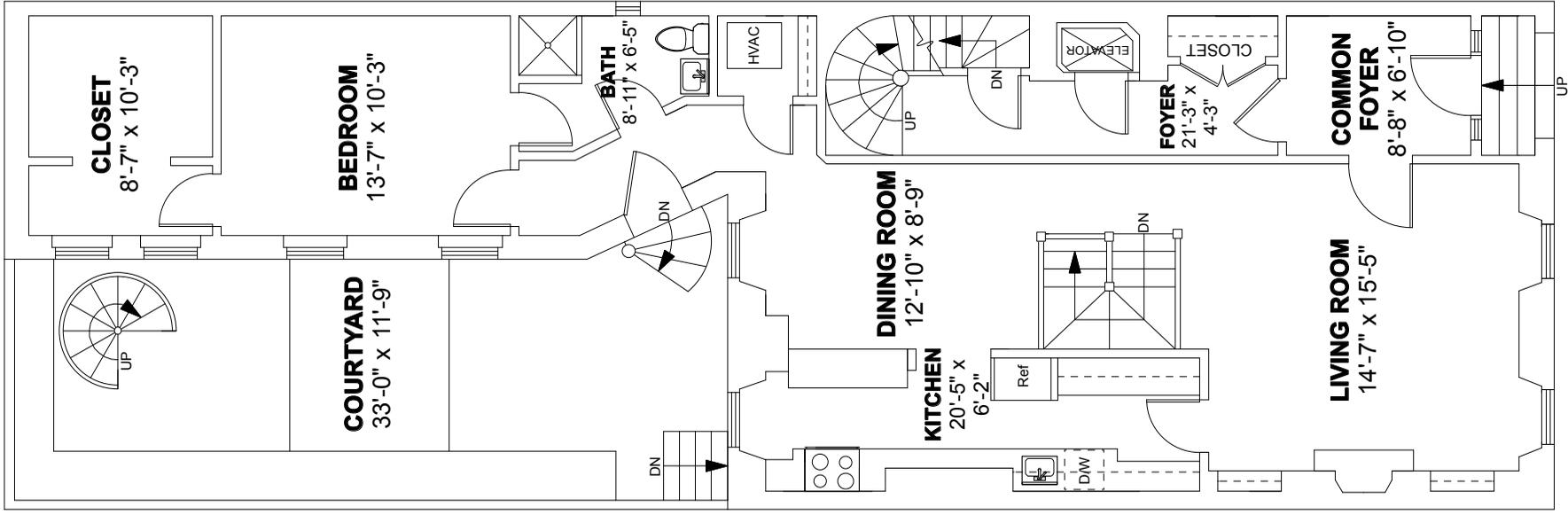
04/16/19
85 Pinckney St
85 Pinckney Street Boston, MA

Rear View

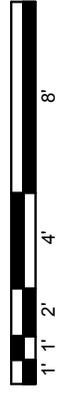
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GARDEN LEVEL PLAN
Ceiling Height = 7'-0"



FIRST FLOOR PLAN
Ceiling Height = 9'-5"



Scale 1/8" = 1'-0"

EXISTING CONDITIONS FLOOR PLANS

JOB NO.

DATE: MARCH 2018

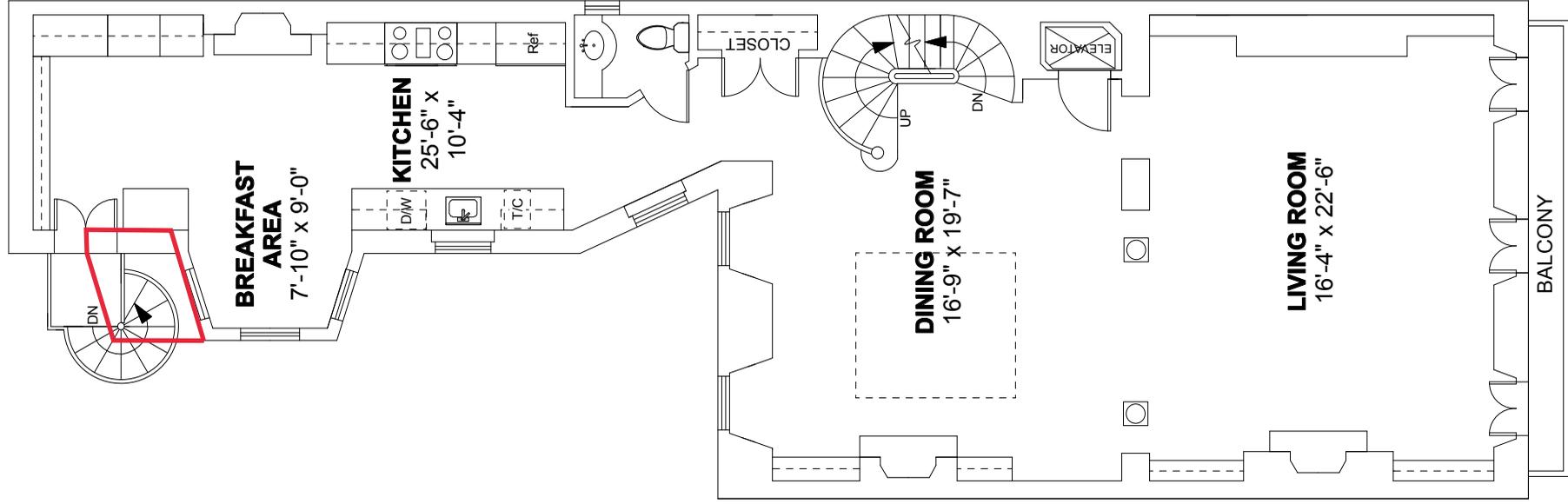
SCALE: 1/8" = 1'-0"

1

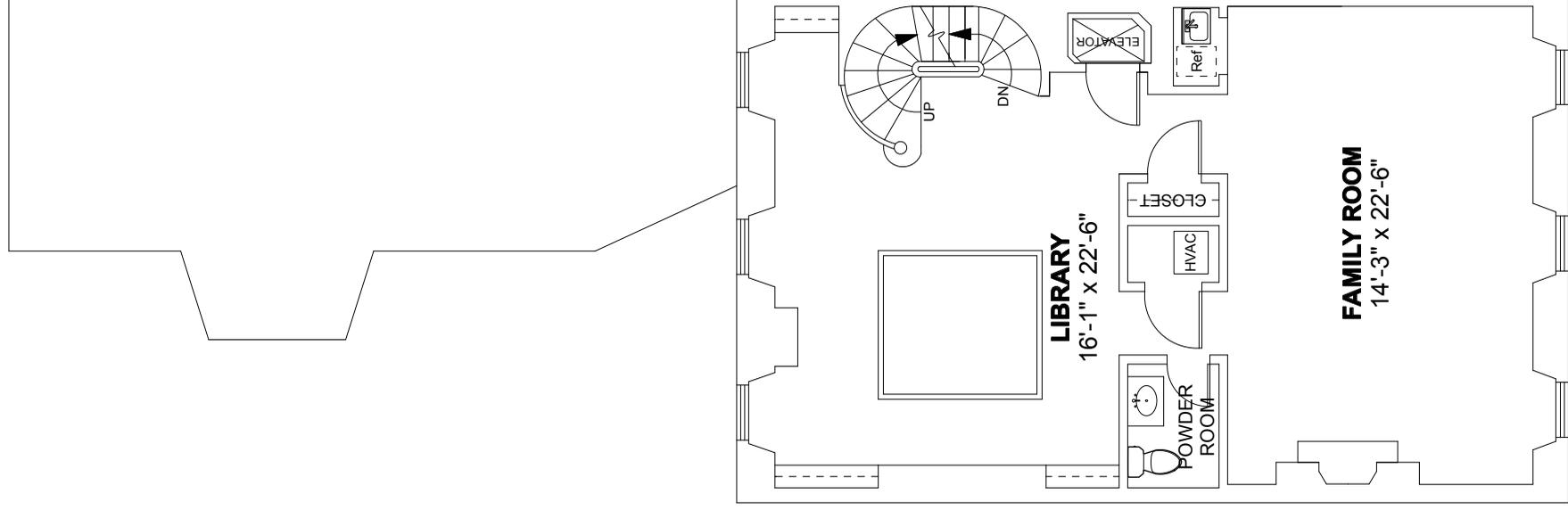
NATIONAL FLOOR PLANS

398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116
800.328.0217 TEL

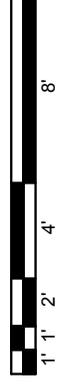
85 PINCKNEY STREET
BOSTON, MA



SECOND FLOOR PLAN
Ceiling Height = 10'-9"



THIRD FLOOR PLAN
Ceiling Height = 9'-3"



Scale 1/8" = 1'-0"

EXISTING CONDITIONS FLOOR PLANS

JOB NO.

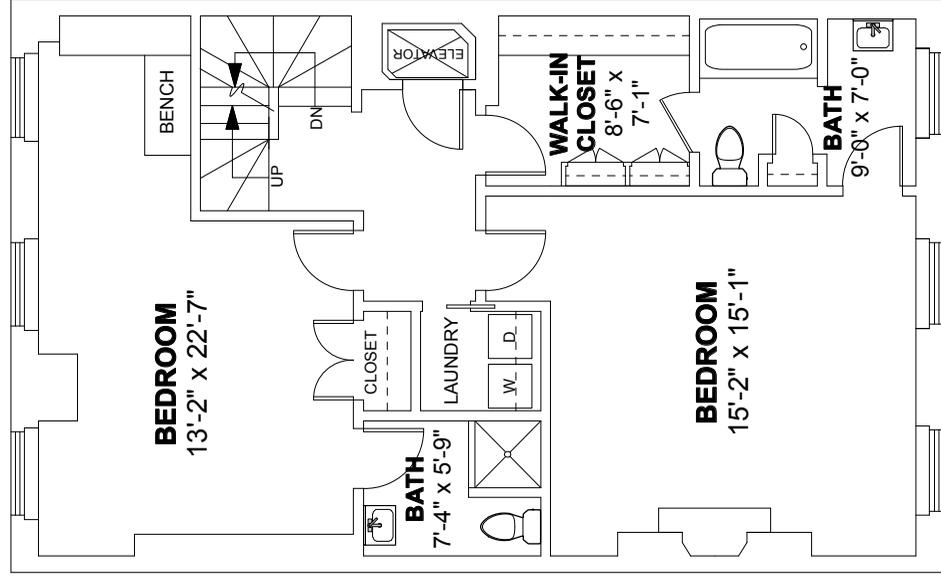
NATIONAL FLOOR PLANS
398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116
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DATE: MARCH 2018

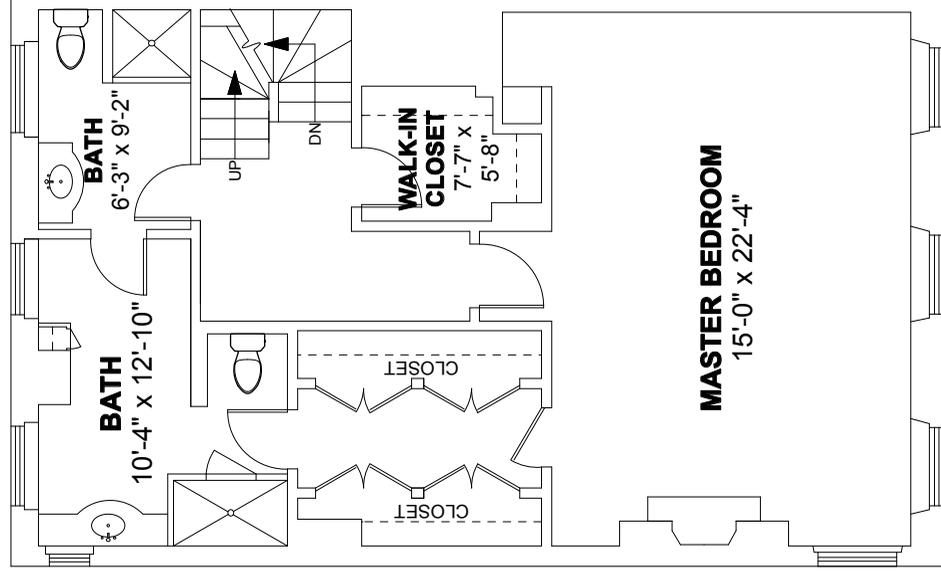
SCALE: 1/8" = 1'-0"

85 PINCKNEY STREET
BOSTON, MA

2



FOURTH FLOOR PLAN
Ceiling Height = 7'-10"

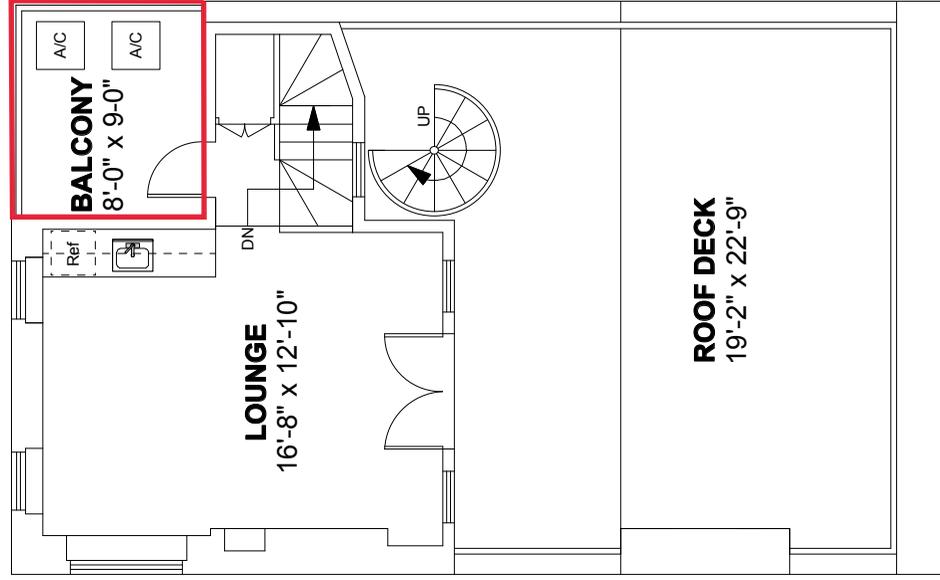


FIFTH FLOOR PLAN
Ceiling Height = 8'-10"



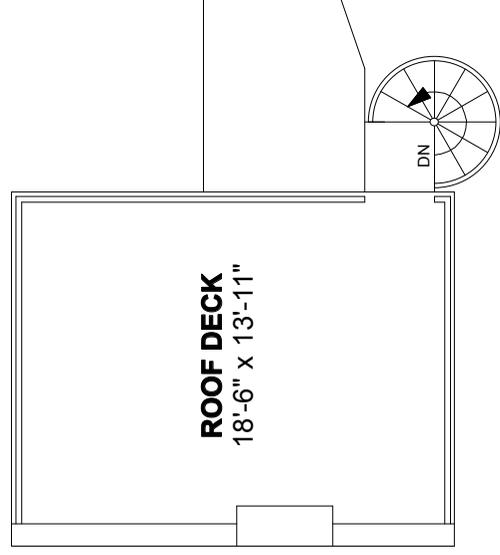
Scale 1/8" = 1'-0"

EXISTING CONDITIONS FLOOR PLANS		3
JOB NO.	DATE: MARCH 2018	SCALE: 1/8" = 1'-0"
NATIONAL FLOOR PLANS 398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL		85 PINCKNEY STREET BOSTON, MA

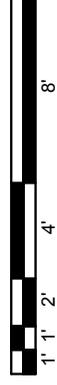


SIXTH FLOOR PLAN

Ceiling Height = 8'-0"



ROOF PLAN



Scale 1/8" = 1'-0"

EXISTING CONDITIONS FLOOR PLANS		4
JOB NO.	DATE: MARCH 2018	SCALE: 1/8" = 1'-0"
NATIONAL FLOOR PLANS 398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL		85 PINCKNEY STREET BOSTON, MA

Project:
85 Pinckney St
85 Pinckney Street
Boston, MA

Issue Dates and Revisions:

Bid Set	11/01/2018
50% CD Set	12/12/2018
100% CD Set	01/11/2019
1 ASI-001	02/14/2019
2 ASI-002	TBD

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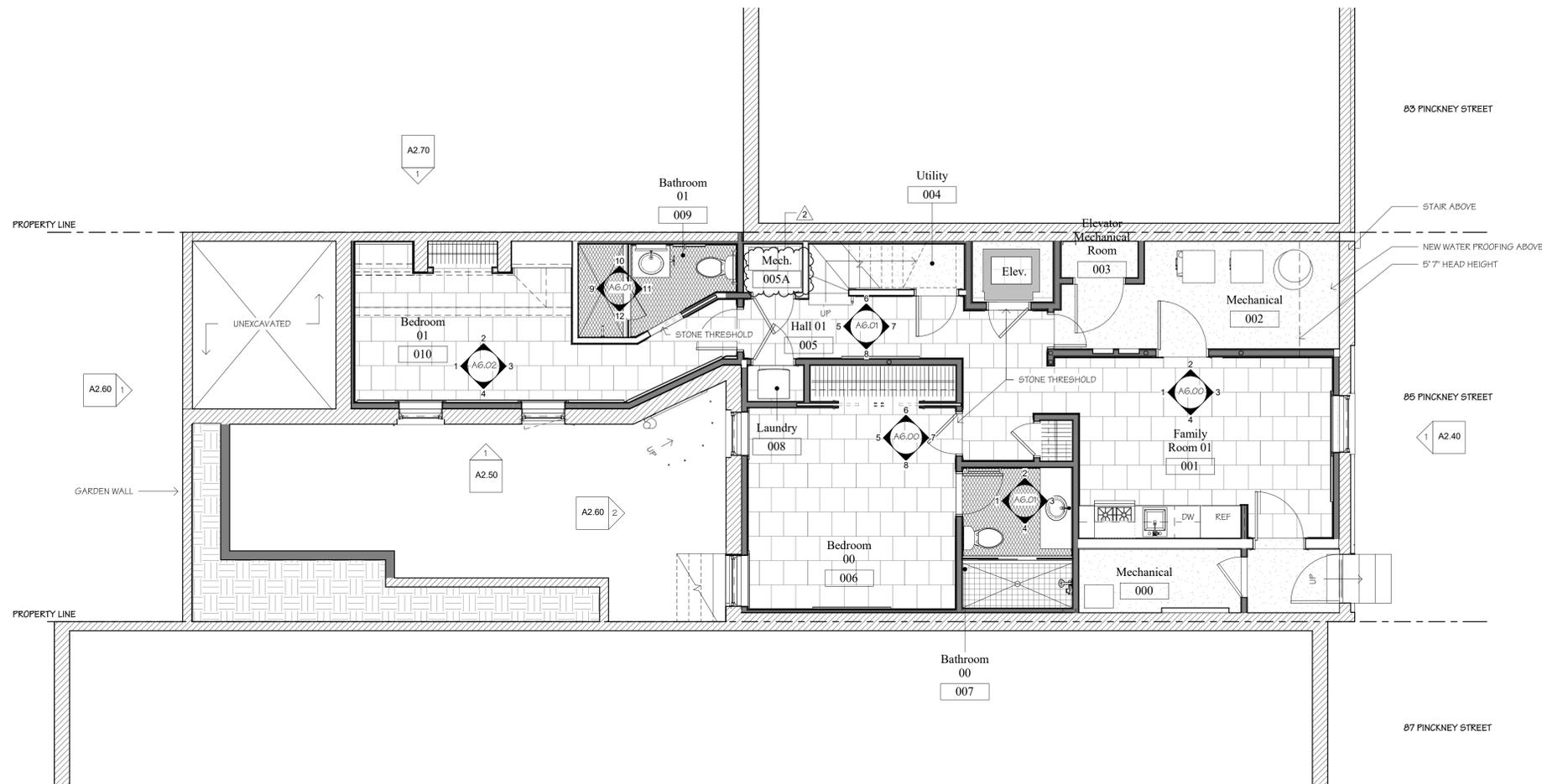
Registration:



Drawing Title:
Basement Finish Plan

Drawn: **Author**
Checked: **Checker**
Project Number: **85740**
Date:
Drawing Number:

A5.00



1 Basement Floor Finish Plan
1/8" = 1'-0"

FINISH NOTES

- TYPICAL WALL AND CEILING ASSEMBLIES:
A. UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
B. NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER. G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O.
- ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN POWDER ROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION.
- INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILINGS SHALL BE LATEX, U.N.O.
- AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
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- AT ALL CLOSETS AND COAT CLOSETS, DASHED LINE INDICATES SHELF WITH ROD UNLESS OTHERWISE DETAILED. G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION.
- LANDSCAPING IS PART OF A SEPARATE CONTRACT. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.

FINISH KEY

TL-19	TL-06	TL-12	WF-01
TL-07	TL-18	TL-01	
TL-11	TL-23	TL-02	
TL-21	TL-03	TL-08	
TL-05	TL-22	TL-09	
TL-14	TL-10	TL-20	
TL-16	TL-13		
TL-04	TL-14		
TL-09	TL-16		
	TL-17		

Project:
85 Pinckney St
85 Pinckney Street
Boston, MA

Issue Dates and Revisions:
 Bid Set 11/01/2018
 50% CD Set 12/12/2018
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 1 ASI-001 02/14/2019
 2 ASI-002 TBD

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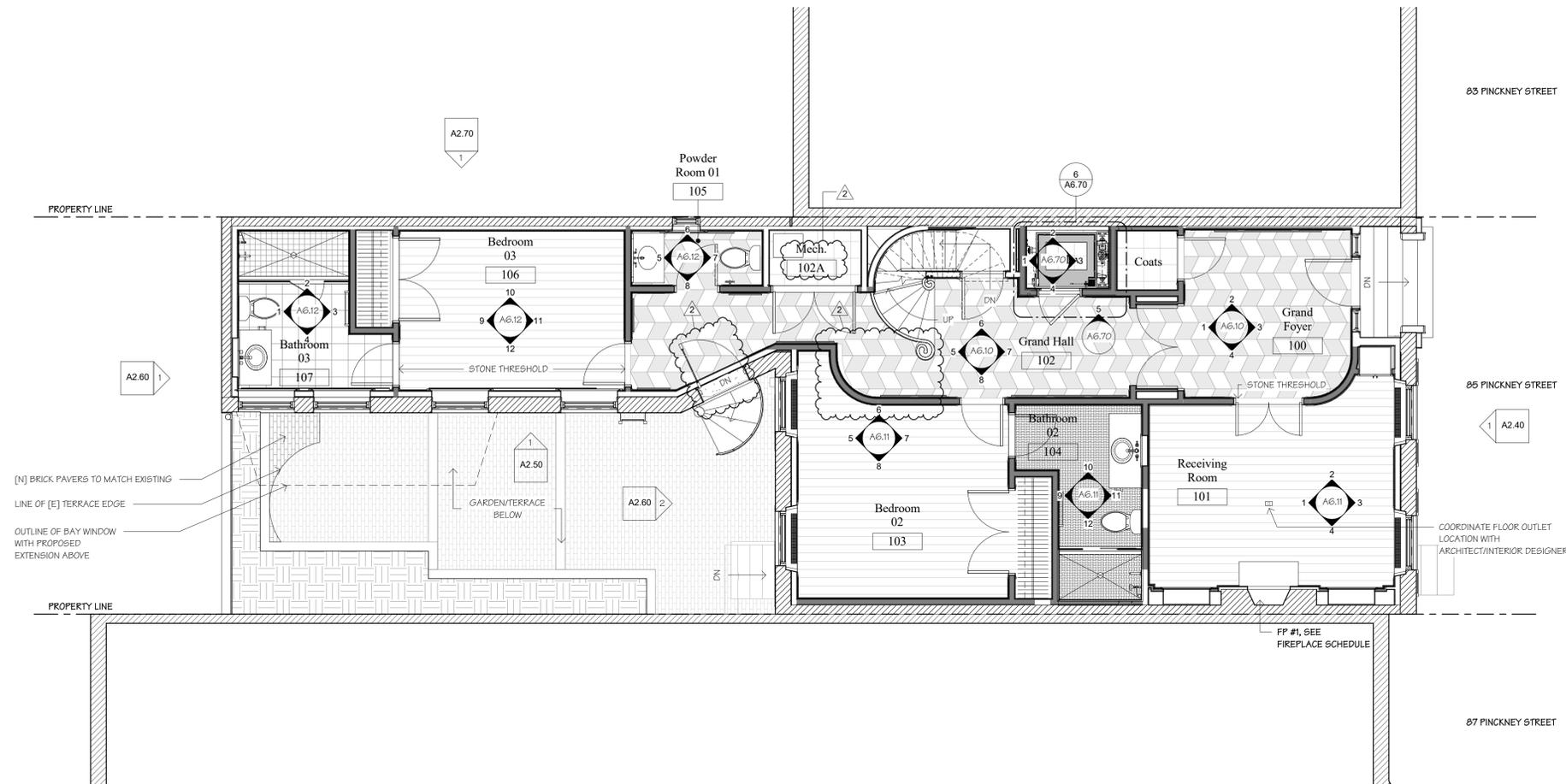
Registration:



Drawing Title:
First Floor Finish Plan

Drawn: _____ Author
 Checked: _____ Checker
 Project Number: 85740
 Date:
 Drawing Number:

A5.10



1 First Floor Finish Plan
1/4" = 1'-0"

FINISH NOTES

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TL-16	TL-10	TL-20	
TL-04	TL-13	TL-17	
TL-09	TL-14		
TL-08	TL-16		

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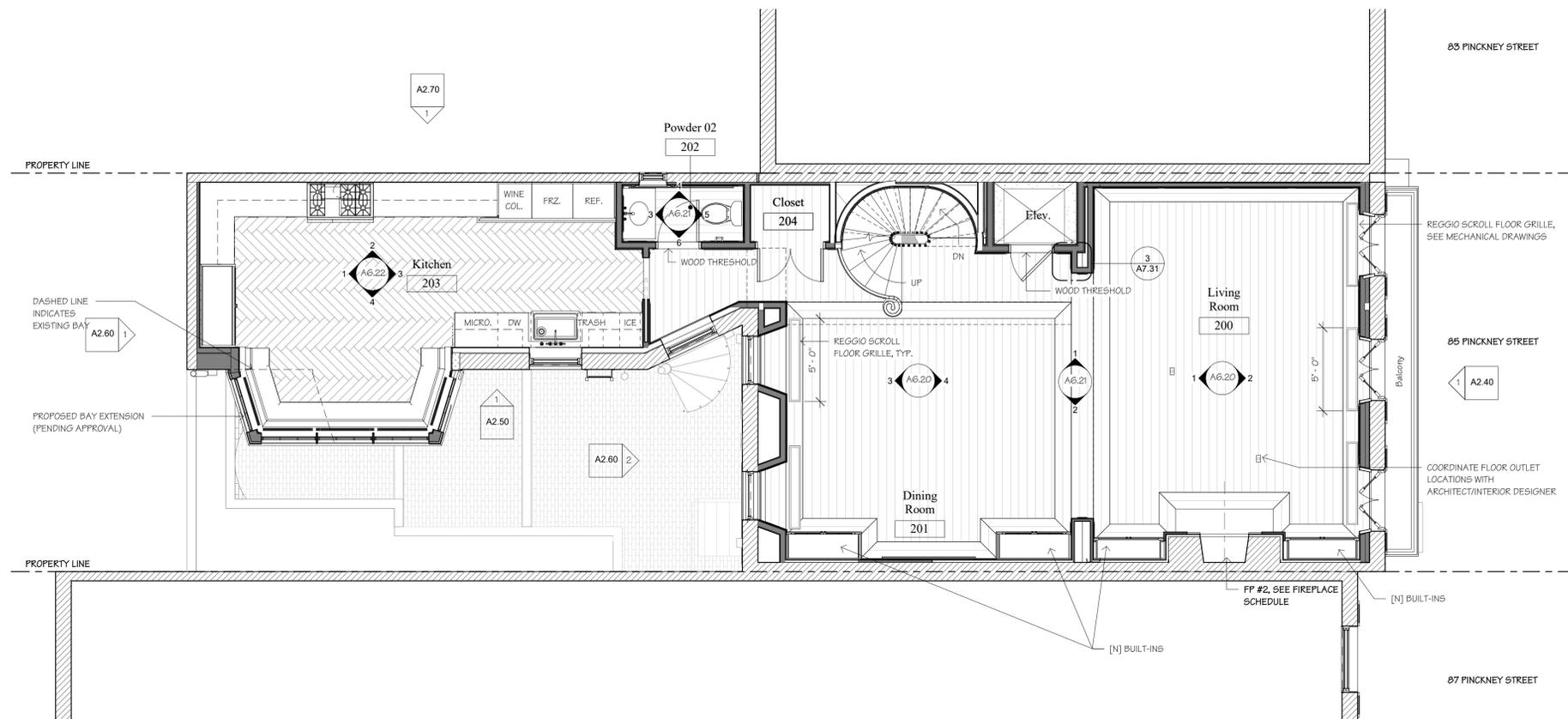
Registration:



Drawing Title:
**Second Floor
Finish Plan**

Drawn: _____ Author
Checked: _____ Checker
Project Number: 85740
Date:
Drawing Number:

A5.20



1 Second Floor Finish Plan
1/4" = 1'-0"

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- G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION.
- LANDSCAPING IS PART OF A SEPARATE CONTRACT. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.

FINISH KEY

TL-19	TL-06	TL-12	WF-01
TL-11	TL-01	TL-08	
TL-07	TL-23	TL-02	
TL-14	TL-21	TL-03	
TL-05	TL-14	TL-03	
TL-14	TL-16	TL-20	
TL-04	TL-13	TL-10	
TL-05	TL-14		
TL-09	TL-16		
	TL-17		

Project:
85 Pinckney St
85 Pinckney Street
Boston, MA

Issue Dates and Revisions:
 Bid Set 11/01/2018
 50% CD Set 12/12/2018
 100% CD Set 01/11/2019
 1 ASI-001 02/14/2019
 2 ASI-002 TBD

General Notes:
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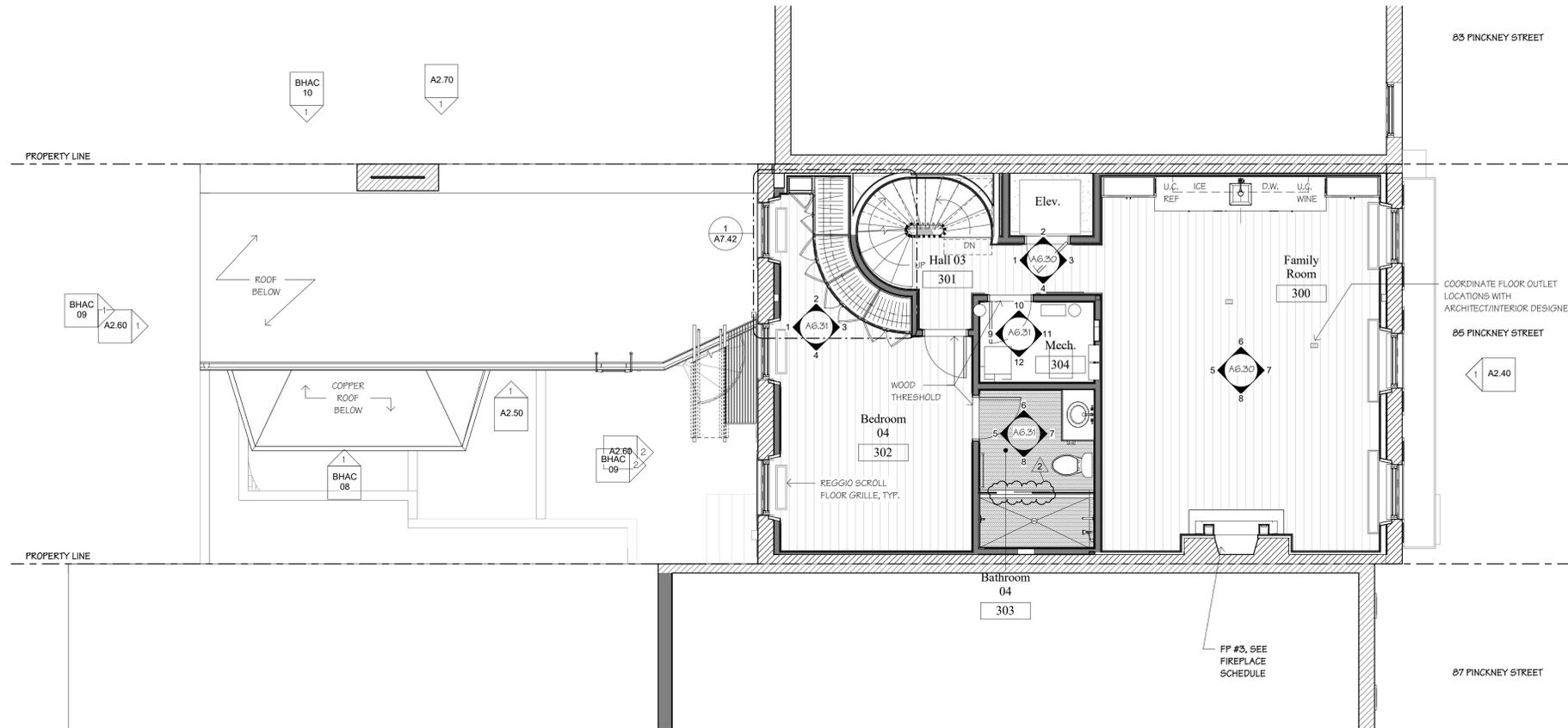
Registration:



Drawing Title:
**Third Floor
Finish Plan**

Drawn: _____ Author
 Checked: _____ Checker
 Project Number: 85740
 Date:
 Drawing Number:

A5.30



① Third Floor Finish Plan
1/4" = 1'-0"

FINISH NOTES

- TYPICAL WALL AND CEILING ASSEMBLIES:
 A. UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
 B. NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER. G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O.
- ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN POWDER ROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION.
- INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILINGS SHALL BE LATEX, U.N.O.
- AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
- ALL POWDER ROOM ACCESSORIES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C. ALL MIRRORS AND MEDICINE CABINETS SHOWN SHALL BE CARRIED IN BASE BID (U.N.O.), G.C. TO PROVIDE BLOCKING BEHIND FIXTURES (TYP.)
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FINISH KEY

TL-19	TL-06	TL-12	WF-01
TL-18	TL-01	TL-08	
TL-07	TL-23	TL-02	
TL-11	TL-21	TL-03	
TL-05	TL-14	TL-10	
TL-16	TL-09	TL-17	

Project:
85 Pinckney St
85 Pinckney Street
Boston, MA

Issue Dates and Revisions:
 Bid Set 11/01/2018
 50% CD Set 12/12/2018
 100% CD Set 01/11/2019
 1 ASI-001 02/14/2019
 2 ASI-002 TBD

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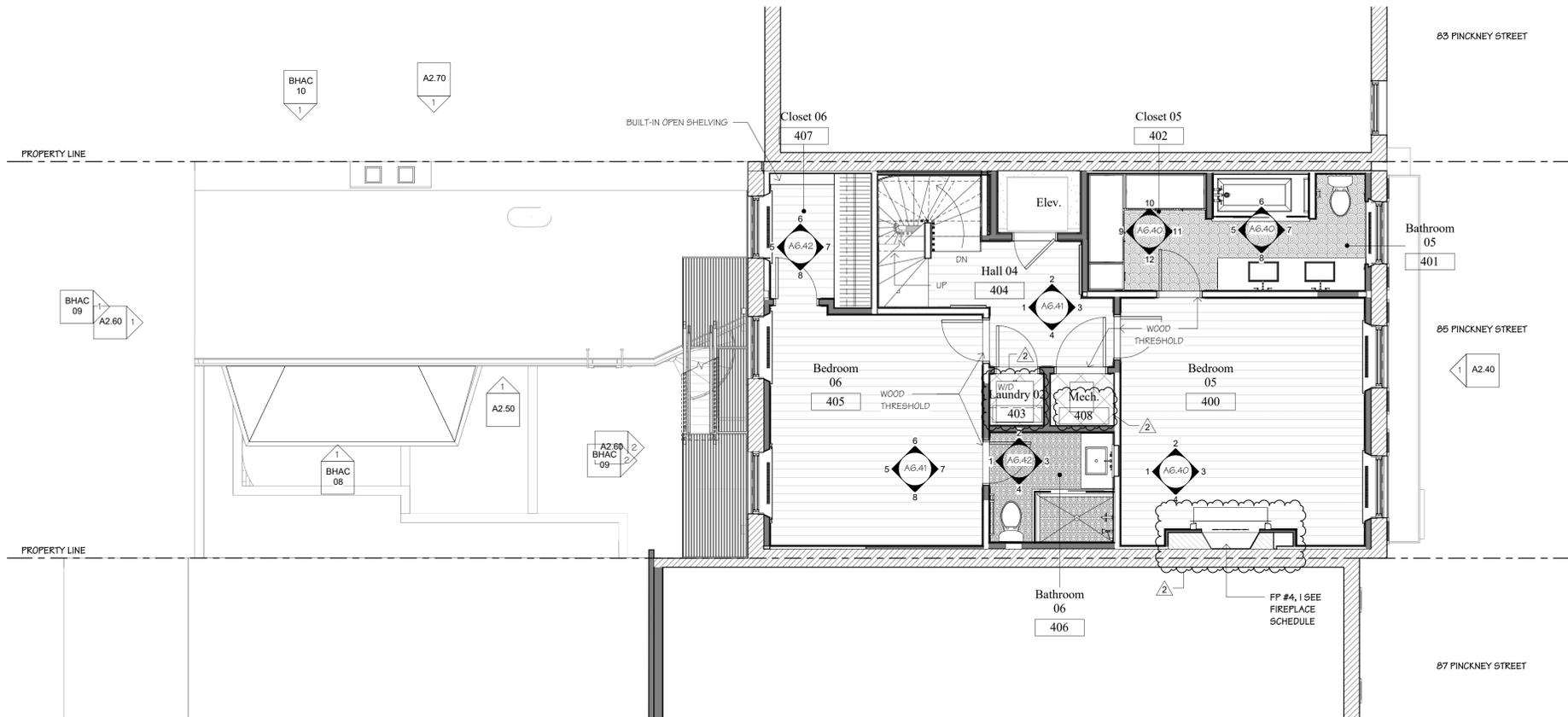
Registration:



Drawing Title:
**Fourth Floor
Finish Plan**

Drawn: _____ Author
 Checked: _____ Checker
 Project Number: 85740
 Date:
 Drawing Number:

A5.40

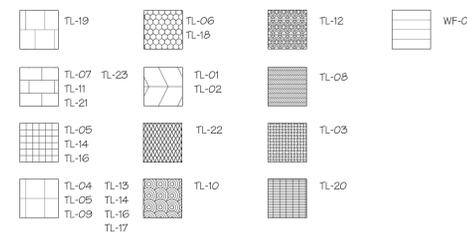


① Fourth Floor Finish Plan
1/4" = 1'-0"

FINISH NOTES

1. TYPICAL WALL AND CEILING ASSEMBLIES:
 A. UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
 B. NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER. G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS, SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
2. ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
3. PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O.
4. ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
5. G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN POWDER ROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION.
6. INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILINGS SHALL BE LATEX, U.N.O.
7. AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
8. ALL POWDER ROOM ACCESSORIES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C. ALL MIRRORS AND MEDICINE CABINETS SHOWN SHALL BE CARRIED IN BASE BID (U.N.O.). G.C. TO PROVIDE BLOCKING BEHIND FIXTURES (TYP.)
9. AT ALL CLOSETS AND COAT CLOSETS, DASHED LINE INDICATES SHELF WITH ROD UNLESS OTHERWISE DETAILED.
10. G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION.
11. LANDSCAPING IS PART OF A SEPARATE CONTRACT. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.
- 12.

FINISH KEY



Project:
85 Pinckney St
85 Pinckney Street
Boston, MA

Issue Dates and Revisions:
Bid Set 11/01/2018
50% CD Set 12/12/2018
100% CD Set 01/11/2019
1 ASI-001 02/14/2019

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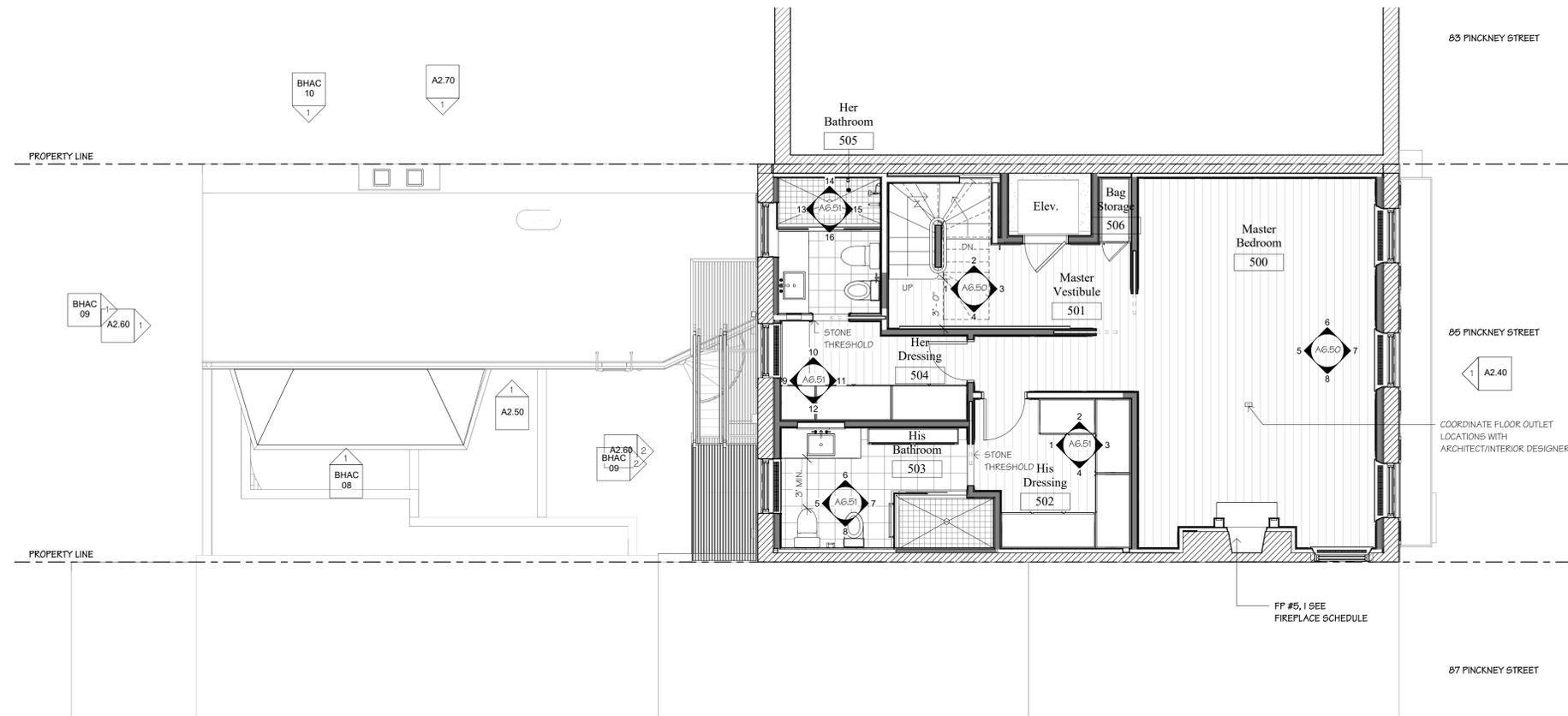
Registration:



Drawing Title:
**Fifth Floor
Finish Plan**

Drawn: _____ Author
Checked: _____ Checker
Project Number: 85740
Date:
Drawing Number:

A5.50



1 Fifth Floor Finish Plan
1/4" = 1'-0"

FINISH NOTES

- TYPICAL WALL AND CEILING ASSEMBLIES:
A. UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
B. NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER. G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O.

- ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN POWDER ROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION.
- INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILINGS SHALL BE LATEX, U.N.O.
- AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
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TL-04 TL-13 TL-09 TL-14 TL-16 TL-17	TL-10	TL-20	

Project:
85 Pinckney St
85 Pinckney Street
Boston, MA

Issue Dates and Revisions:
 Bid Set 11/01/2018
 50% CD Set 12/12/2018
 100% CD Set 01/11/2019
 1 ASI-001 02/14/2019

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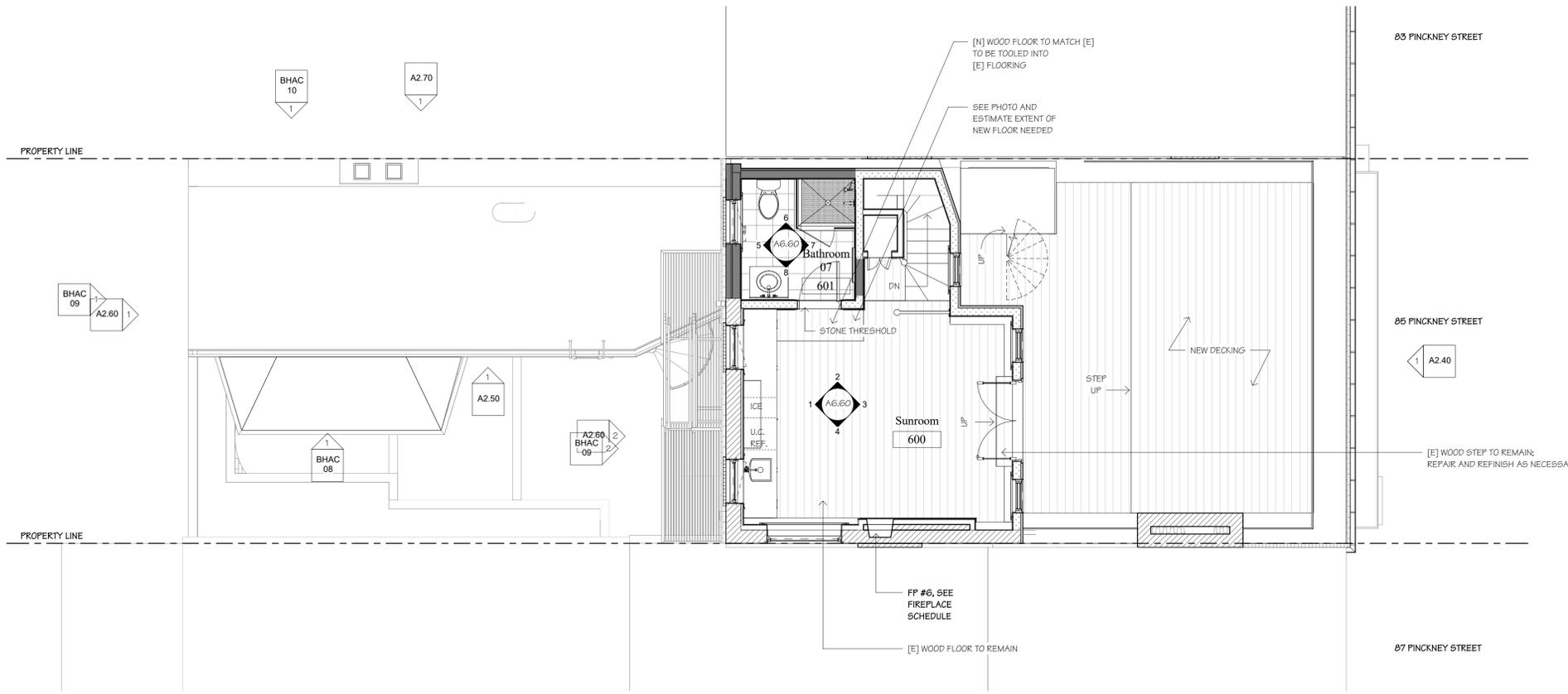
Registration:



Drawing Title:
**Sixth Floor
Finish Plan**

Drawn: _____ Author
 Checked: _____ Checker
 Project Number: 85740
 Date:
 Drawing Number:

A5.60



① Sixth Floor Finish Plan
1/4" = 1'-0"

FINISH NOTES

1. TYPICAL WALL AND CEILING ASSEMBLIES:
 A. UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
 B. NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER. G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS SHELIVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
2. ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
3. PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O.
4. ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
5. G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN POWDER ROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION.
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	TL-21		TL-10		TL-14		
	TL-05		TL-16		TL-16		
	TL-14		TL-17		TL-18		
	TL-16				TL-20		

Project:
85 Pinckney St
85 Pinckney Street
Boston, MA

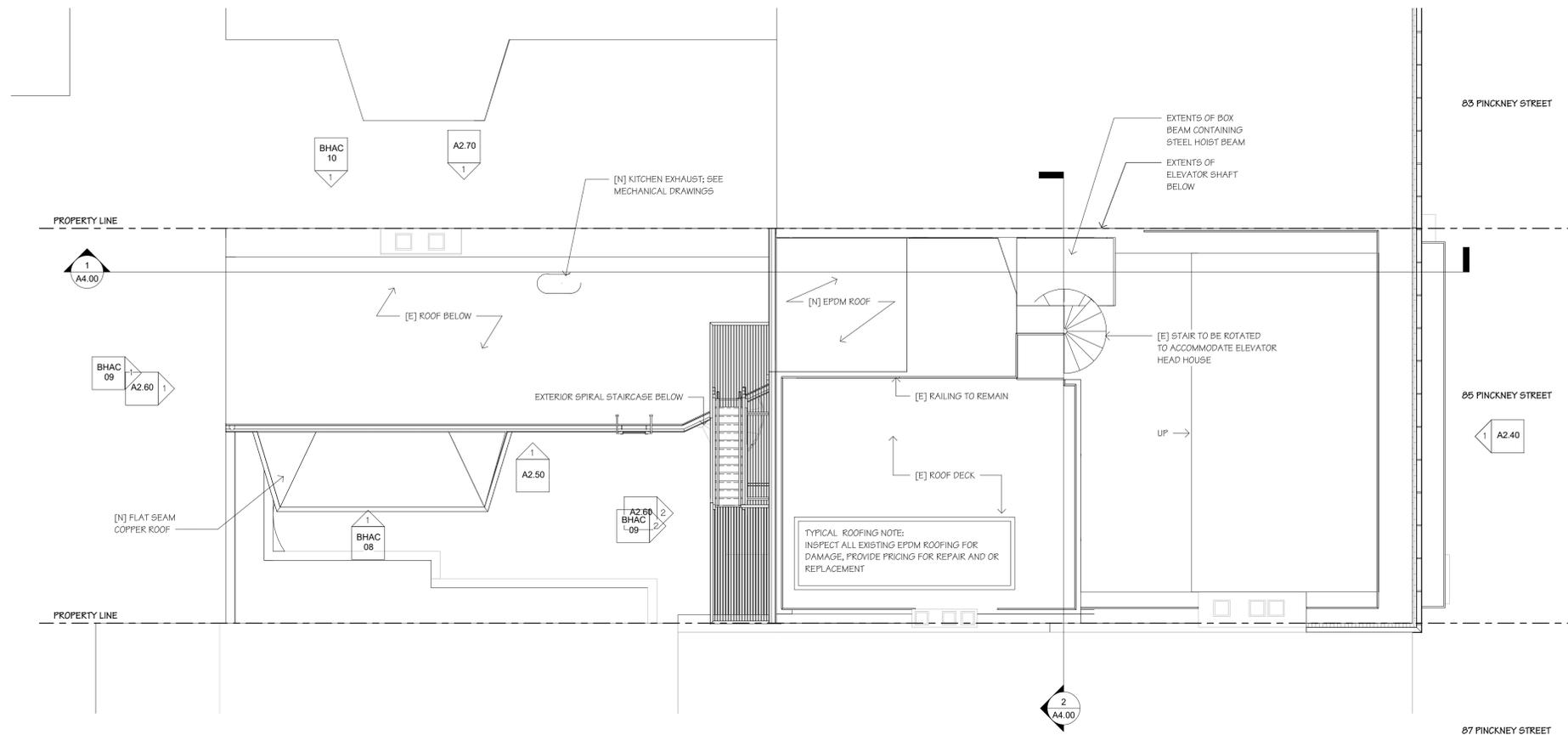
Issue Dates and Revisions:
Permit Set 10/23/2018
Bid Set 11/01/2018
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100% CD Set 01/11/2019

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Registration:

Drawing Title:
Roof Plan
Drawn: _____ Author
Checked: _____ Checker
Project Number: 85740
Date:
Drawing Number:

A1.70



1 Roof Plan
1/4" = 1/4"

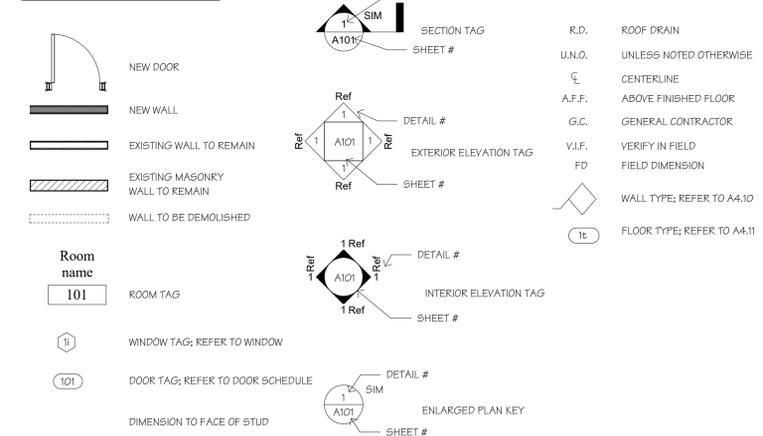
GENERAL CONSTRUCTION NOTES

- TYPICAL WALL ASSEMBLIES:
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- G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O
- ALL GWS AT NON SHOWER WET WALLS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH, ALL SHOWER WALLS TO HAVE CEMENTITIOUS BACKER BOARD
- SEE TYPICAL WALL TYPE SHEET AND PLANS FOR WALL INSULATION INFORMATION.
- ALL FLOORS TO HAVE 6" MINIMUM MINERAL WOOL BATT ACOUSTIC INSULATION
- INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILINGS SHALL BE LATEX, U.N.O.
- AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
- AT ALL CLOSETS AND COAT CLOSETS, DASHED LINE INDICATES SHELF WITH ROD UNLESS OTHERWISE DETAILED.
- G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION WORK, TYPICAL. FULLY PROTECT EXISTING WOOD FLOOR FINISH TO REMAIN DURING CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRING ANY DAMAGES, NICKS, SCRATCHES.
- REFER TO ALL DRAWINGS, SCHEDULES, ALLOWANCES, DETAILS, AND ALL NOTES FOR SCOPE OF WORK. ANY ALLOWANCES PROVIDED ARE FOR MATERIALS ONLY, UNLESS OTHERWISE NOTED. ALL LABOR SHALL BE CARRIED IN BASE BID, TYPICAL.
- ALL CLOSETS SHALL BE 2'-0" DEEP UNLESS OTHERWISE NOTED, PROVIDE ROD AND SHELF AT ALL NEW CLOSETS.
- UNLESS OTHERWISE NOTED, DOOR JAMBS SHALL BE LOCATED 5" FROM ADJACENT WALL AND DOOR JAMB (FRAME TO FRAME)
- LEVEL ALL SUBFLOORS
- REPAIR AND REPAINT EXISTING INTERIOR SHUTTERS
- ALL FURRED EXTERIOR (AND PARTY) WALL CAVITIES TO BE FILLED WITH OPEN CELL INSULATION; SEE WALL TYPES.
- PROVIDE ALL NEW WINDOW HARDWARE; SEE HARDWARE SCHEDULE

TYPICAL PLAN NOTES

- ELECTRICAL**
- RELOCATE THREE METERS TO NEW MECH ROOM, MAINTAIN ONE METER FOR MAIN HOUSE, ONE METER FOR BASEMENT UNIT AND ONE METER FOR BUILDING COMMON AREAS
 - ALL NEW ELECTRICAL SERVICE AT BUILDING INTERIOR
 - ALL NEW ELECTRICAL SUB PANELS
 - ALL NEW ELECTRICAL WIRING
 - ALL NEW ELECTRICAL DEVICES
 - ALL NEW ADDITIONAL ELECTRICAL DEVICES REQUIRED BY CODE
 - SMOKE/CO DETECTORS HARD WIRED WITH BATTERY BACKUP
 - PROVIDE JAMB SWITCHES AT ALL CLOSET DOORS, UNLESS OTHERWISE NOTED
 - ELECTRIC RADIANT HEAT IN HIS AND HERS BATHROOMS
- PLUMBING**
- RELOCATE WATER METER (AND BOOSTER UNIT) TO NEW MECH ROOM, PROVIDE FOR FUTURE SP SIDE SUB METER TO BASEMENT UNIT
 - ALL NEW HOT AND COLD WATER SUPPLIES
 - ALL NEW DRAIN LINES AND DRAIN STACKS AT BUILDING INTERIOR
 - ALL NEW DOMESTIC WATER HEATING EQUIPMENT
 - ALL NEW AREA HEATING WATER HEATING EQUIPMENT
 - ALL NEW PLUMBING FIXTURES
 - ALL NEW ADDITIONAL PLUMBING DEVICES REQUIRED BY CODE
 - ALL NEW GAS LINES AT BUILDING INTERIOR
 - NEW WATER SOFTENER, SUMP PUMP AND PRESSURE BOOSTER PUMP
- MECHANICAL**
- ALL NEW HEATING AND COOLING EQUIPMENT AT INTERIOR OF BUILDING
 - ALL NEW DUCT, INSULATE PER CODE
 - ALL NEW CONDENSER/HEAT PUMP AT EXTERIOR OF BUILDING
 - ALL NEW HEATING AND COOLING EQUIPMENT PLUMBING CONNECTIONS
 - ALL NEW HEATING AND COOLING ELECTRICAL CONNECTIONS
 - NEW ELEVATOR VENTILATION
 - NEW GAS LOG INSERTS WHERE NOTED, INSTALL NEW CONCENTRIC CHIMNEY LINERS THESE LOCATIONS
 - SUPPLY GRILLES TO BE TITUS 301FL, RETURN GRILLES TO BE TITUS 350FL
- FIRE PROTECTION**
- ALL NEW SPRINKLER NFPA 13 SYSTEM
 - ALL NEW FIRE ALARM SYSTEM
 - NEW DEDICATED 1 1/2" (OR 2") WATER SUPPLY LINE FROM STREET MAIN TO BUILDING
- ELEVATOR**
- NEW ROPED HYDRAULIC ELEVATOR AND ASSOCIATED EQUIPMENT IN ENLARGED EXISTING SHAFT
- PER AV CONSULTANT**
- LIGHTING CONTROL SYSTEM
 - FULL BUILDING WIFI COVERAGE
 - BASIC TELEPHONE SYSTEM WITH ENTRY DOOR INTERCOM CONNECTIVITY
 - TELEVISION DISTRIBUTION SYSTEM
 - MOTORIZED SHADES

PLAN LEGEND



Project:
85 Pinckney St

85 Pinckney Street
Boston, MA

Issue Dates and Revisions:

Permit Set	10/23/2018
Bid Set	11/01/2018
50% CD Set	12/12/2018
100% CD Set	01/11/2019

General Notes:

General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.
All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical Codes.
General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.
General Contractor shall lay out in the field the entire work to verify dimensional relationships before constructing any part, and shall verify all existing conditions and locations before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor cost, if a discrepancy which could have been discovered causes modifications to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.
Drawings shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.
All dimensions to interior/exterior walls indicated are to face of stud wall or concrete/c.m.u. unless noted otherwise.

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Registration:



Drawing Title:
Existing Building Elevations

Drawn: _____ Author

Checked: _____ Checker

Project Number: 85740

Date:

Drawing Number:

A2.00

Roof @ Front
132' - 10 13/16"

Sixth Floor SF
122' - 10 5/16"

Fifth Floor SF
111' - 6 5/16"

Fourth Floor SF
102' - 5 5/16"

Third Floor SF
92' - 0 5/16"

Second Floor SF
79' - 11 13/16"

First Floor SF
69' - 2 3/4"

Basement Slab
60' - 9 13/16"



Project:
85 Pinckney St

85 Pinckney Street
Boston, MA

Issue Dates and Revisions:

Permit Set	10/23/2018
Bid Set	11/01/2018
50% CD Set	12/12/2018
100% CD Set	01/11/2019
1 ASI-001	02/14/2019

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Registration:



Drawing Title:
Existing Building Elevations

Drawn: _____ Author

Checked: _____ Checker

Project Number: 85740

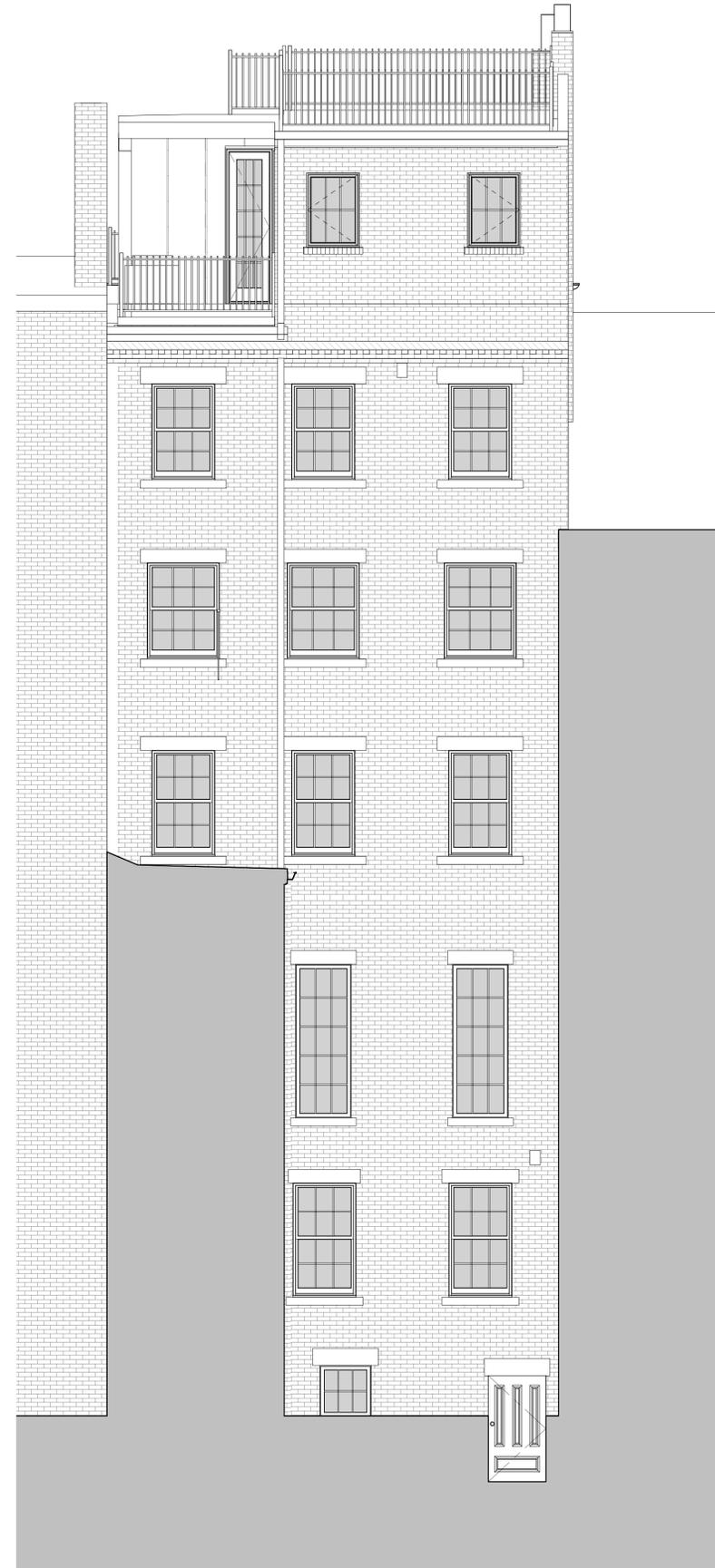
Date: _____

Drawing Number:

A2.10



① Existing North Elevation at Property Line
1/4" = 1'-0"



② Existing North Elevation at Main Building
1/4" = 1'-0"

Project:
85 Pinckney St

85 Pinckney Street
Boston, MA

Issue Dates and Revisions:

Permit Set	10/23/2018
Bid Set	11/01/2018
50% CD Set	12/12/2018
100% CD Set	01/11/2019

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Registration:



Drawing Title:
Existing Building Elevations

Drawn: _____ Author

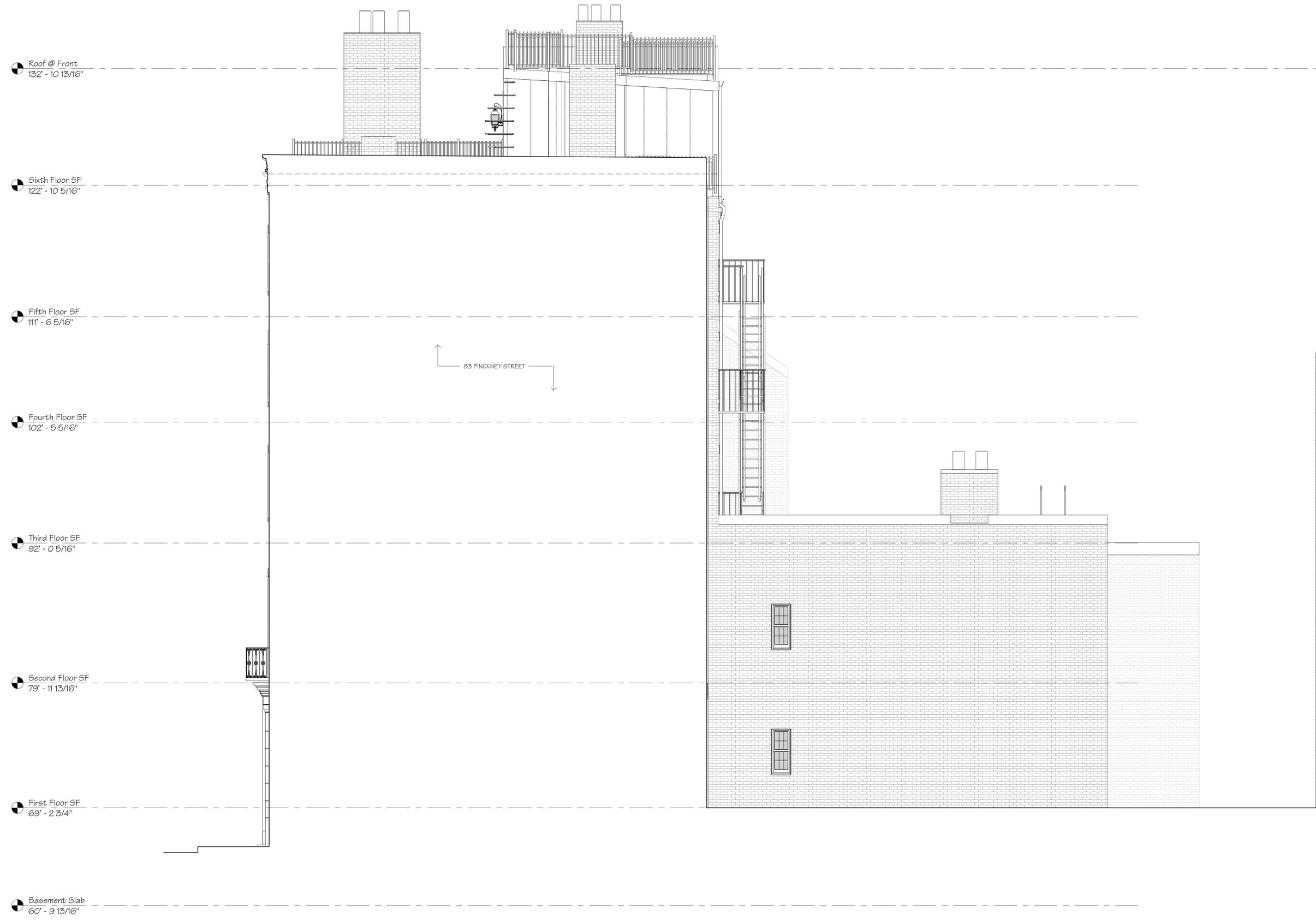
Checked: _____ Checker

Project Number: 85740

Date: _____

Drawing Number: _____

A2.20



① Existing East Elevation at Property Line
1/4" = 1'-0"

Project:
85 Pinckney St

85 Pinckney Street
Boston, MA

Issue Dates and Revisions:

Permit Set	10/23/2018
Bid Set	11/01/2018
50% CD Set	12/12/2018
100% CD Set	01/11/2019

General Notes:
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Registration:



Drawing Title:
Existing Building Elevations

Drawn: _____ Author

Checked: _____ Checker

Project Number: 85740

Date: _____

Drawing Number: _____

A2.30

Roof @ Front
132' - 10 13/16"

Sixth Floor SF
122' - 10 5/16"

Fifth Floor SF
111' - 6 5/16"

Fourth Floor SF
102' - 5 5/16"

Third Floor SF
92' - 0 5/16"

Second Floor SF
79' - 11 13/16"

First Floor SF
69' - 2 3/4"

Basement Slab
60' - 9 13/16"



Roof @ Front
132' - 10 13/16"

Sixth Floor SF
122' - 10 5/16"

Fifth Floor SF
111' - 6 5/16"

Fourth Floor SF
102' - 5 5/16"

Third Floor SF
92' - 0 5/16"

Second Floor SF
79' - 11 13/16"

First Floor SF
69' - 2 3/4"

Basement Slab
60' - 9 13/16"

EXISTING PENTHOUSE
WINDOWS TO REMAIN

NEW WOOD WINDOW AND STEEL GRILL
PAINTED BLACK



NEW COPPER COPING TO MATCH EXISTING AND TO ALIGN WITH ADJACENT EXISTING PENTHOUSE ROOF

NEW BRICK WALL TO MATCH ADJACENT EXISTING AT PROPOSED PENTHOUSE INFILL

Sixth Floor SF
122' - 10 5/16"

Fifth Floor SF
111' - 6 5/16"

Fourth Floor SF
102' - 5 5/16"

REMOVE EXISTING CONDENSER FROM ELL ROOF

Third Floor SF
92' - 0 5/16"

Second Floor SF
79' - 11 13/16"

First Floor SF
69' - 2 3/4"

Basement Slab
60' - 9 13/16"

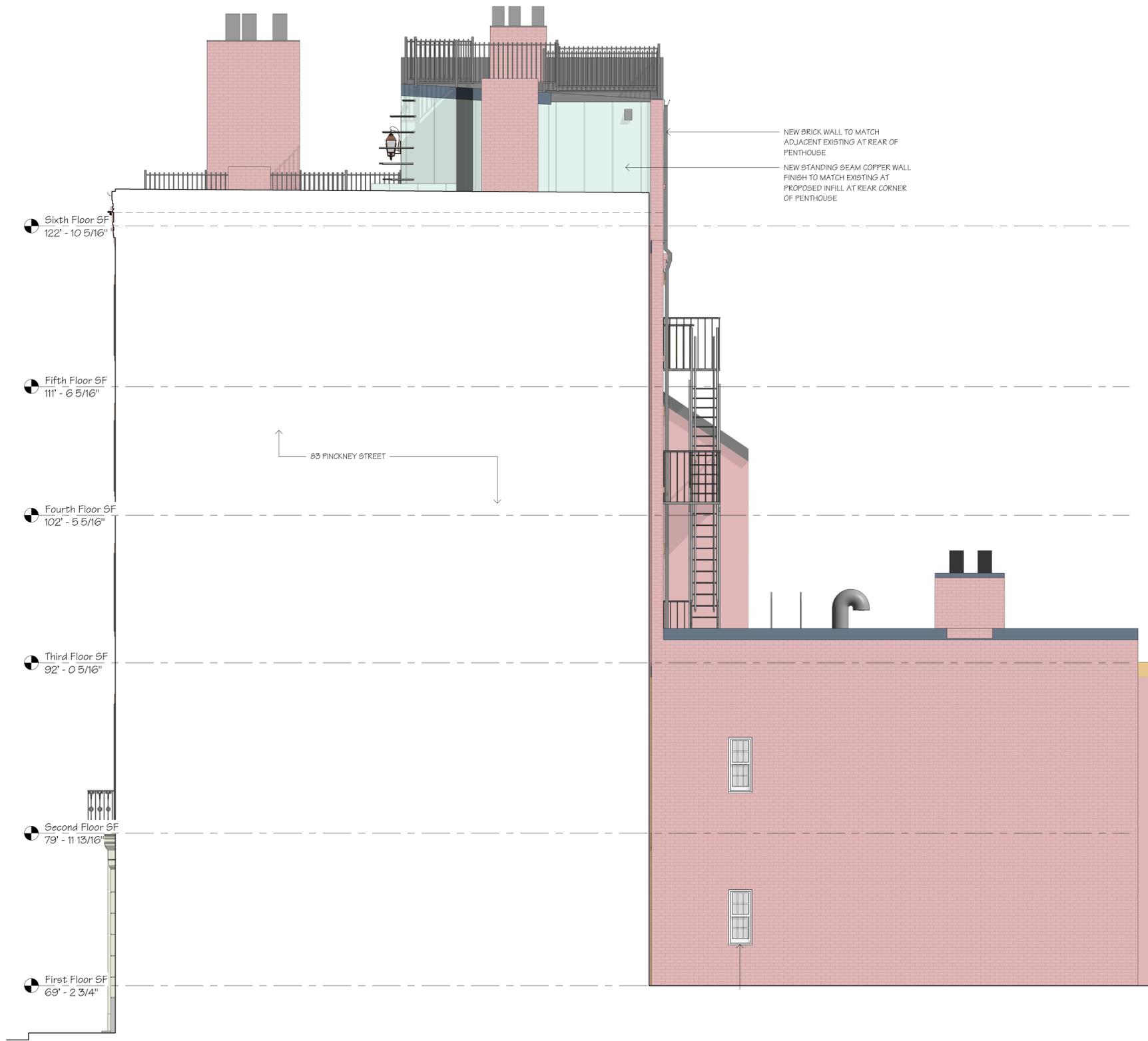
NEW COPPER COPING TO MATCH EXISTING AND TO ALIGN WITH ADJACENT EXISTING PENTHOUSE ROOF

NEW BRICK WALL TO MATCH ADJACENT EXISTING AT PROPOSED PENTHOUSE REAR CORNER

NEW WOOD WINDOWS, TYPICAL

EXISTING FIRE ESCAPE TO REMAIN, NOT SHOWN THIS VIEW FOR CLARITY

PROPOSED EXPANDED BAY, MATERIALS AND PAINT COLORS TO MATCH EXISTING



● Sixth Floor SF
122' - 10 5/16"

● Fifth Floor SF
111' - 6 5/16"

● Fourth Floor SF
102' - 5 5/16"

● Third Floor SF
92' - 0 5/16"

● Second Floor SF
79' - 11 13/16"

● First Floor SF
69' - 2 3/4"

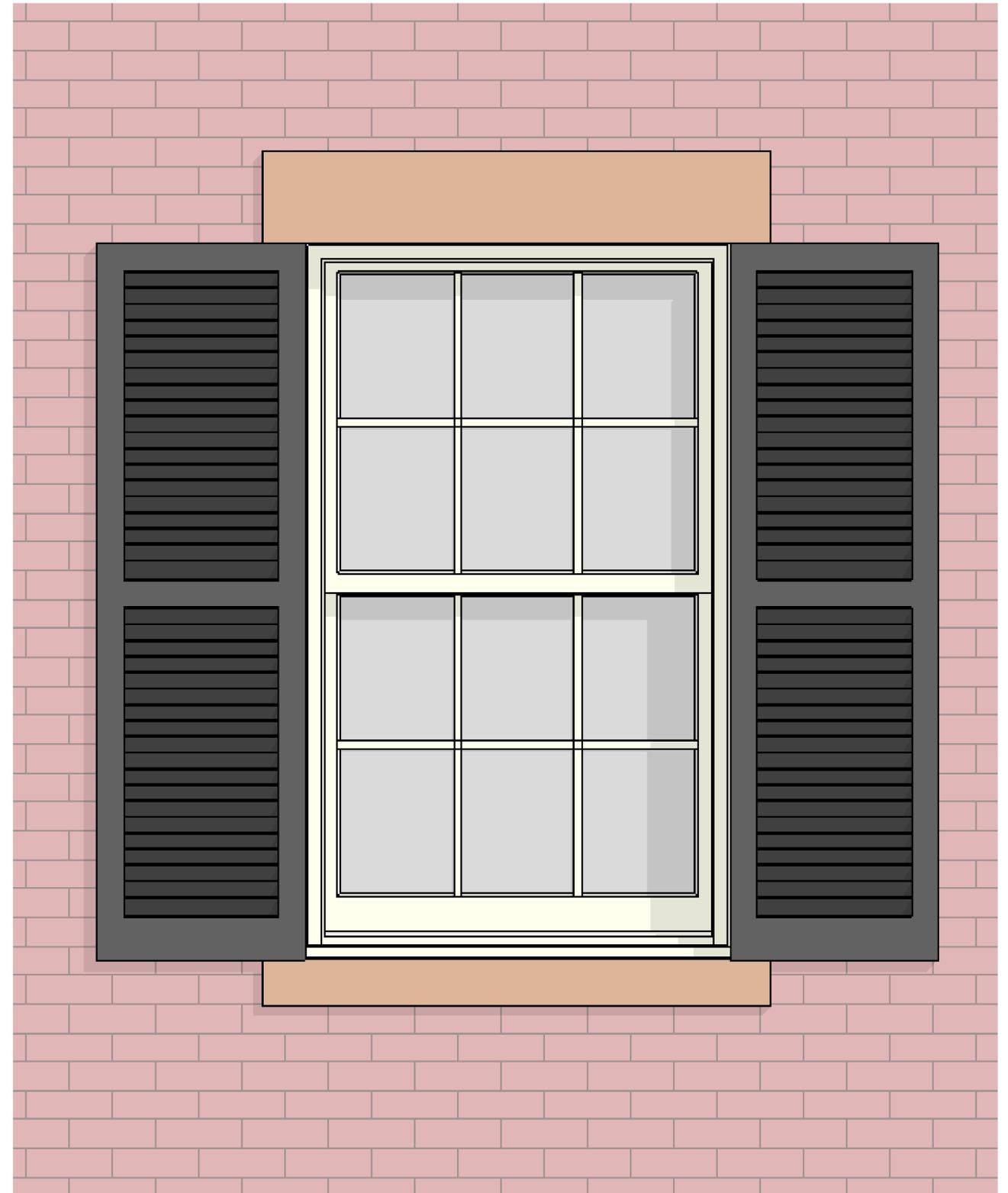
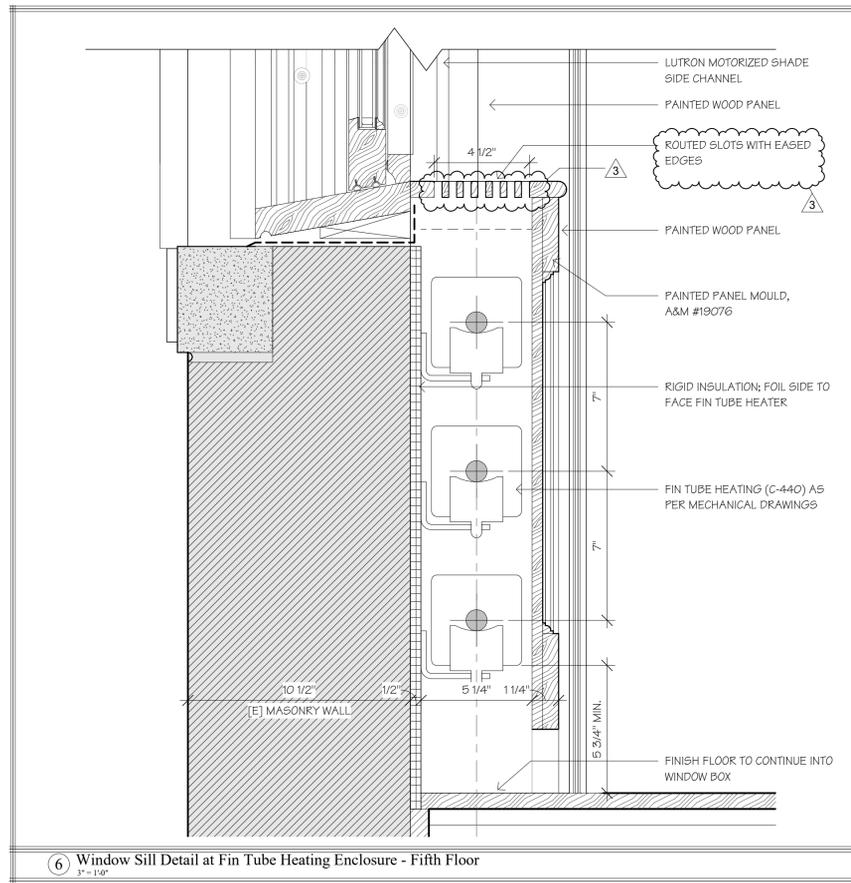
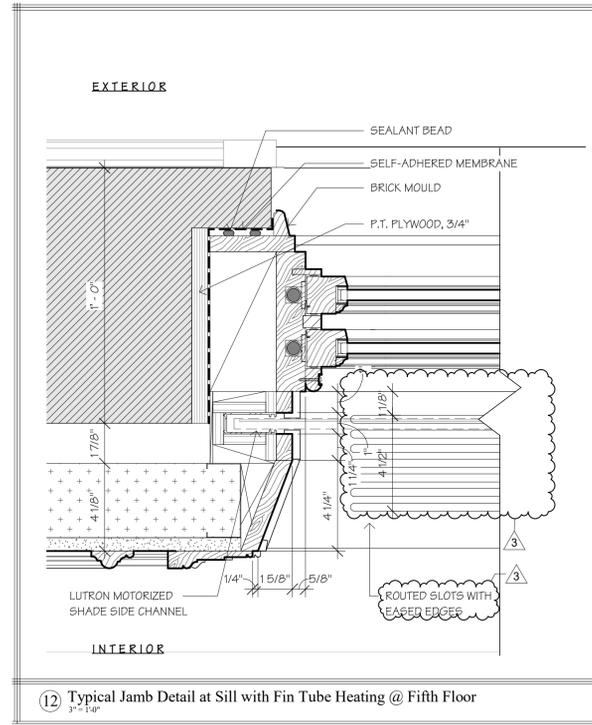
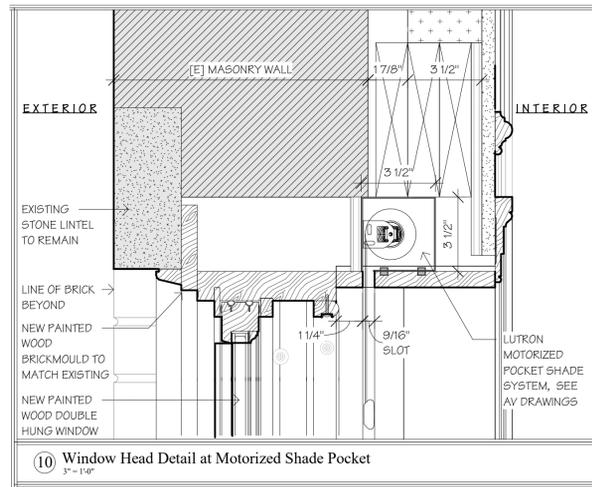
● Basement Slab
60' - 9 13/16"

EXISTING CONDENSER TO BE
REMOVED FROM ELL ROOF

EXISTING BAY TO BE
EXPANDED TO THE REAR,
DETAILS TO MATCH
EXISTING

EXISTING SPIRAL STAIR TO
BE REMOVED

87 PINCKNEY STREET



Proposed New Window Elevation

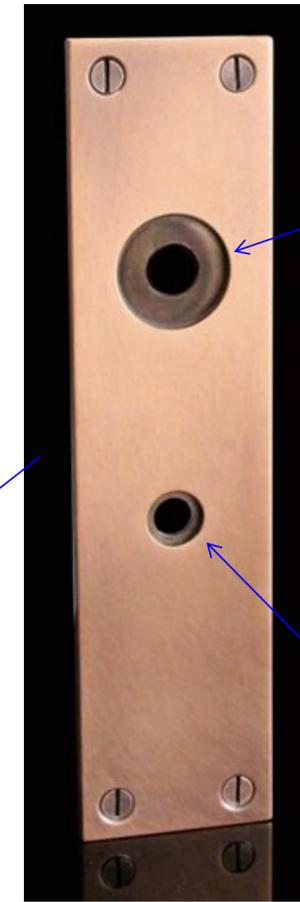
85 Pinckney Street Entry Door Selections



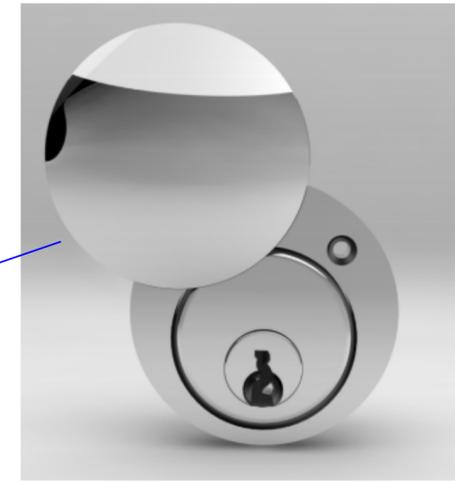
Bevolo French Quarter Yoke Bracket Light Fixture
Copper fixture with Naval Brass Yoke



Brass door knocker to remain



S.A. Baxter EP-1000 Escutcheon Plate
2" x 8" or 3" x 10"
Polished Brass



S.A. Baxter CC-1010 Modern Barrel Suite
Polished Brass



S.A. Baxter DK-1000 Knob (shown with Rosette RS-1001)
Polished Brass



Siedle Steel Class Intercom
PVD Brass



Finish Palette							



Deltana Mail Slot 13 1/8" "Magazine Size"
Polished Brass (US3)



Proposed



Existing

Existing Front Elevation



-Existing
 -Proposed

① Shadow Studies-December
1/8" = 1'-0"

04/15/19
85 Pinckney St
 85 Pinckney Street Boston, MA



-Existing
 -Proposed

② Shadow Studies-July
1/8" = 1'-0"

Shadow Studies-9 AM



-Existing
 -Proposed

① Shadow Studies-December
1/8" = 1'-0"

04/15/19
85 Pinckney St
 85 Pinckney Street Boston, MA



-Existing
 -Proposed

② Shadow Studies-July
1/8" = 1'-0"

Shadow Studies -3 PM