

CERTIFICATE OF APPROPRIATENESS APPLICATION

Date: April 30, 2020

To: Nicholas A. Armata, MRP / Senior Preservation Planner
Beacon Hill Architectural Commission

From: Donald W. Mills, RA, LEED AP (BD+C)
Mills Whitaker Architects LLC

Re: Minor Modifications at 3 Park Street
Park Street Church

Park Street Church requests approval for minor modifications related to in-kind glass replacement in wood windows and replacement of the door entry video intercom system.

BUILDING DESCRIPTION

3 Park Street is a 9-story Classical Revival steel-and-concrete framed structure with façade elements of limestone, brick and copper. Designed by architect Thomas M. James and constructed in 1918 as the Warren Institution for Savings, the building is part of the Park Street National Historic District and the Beacon Hill Local Historic District. Houghton Mifflin Publishing Company purchased the building in 1969 as an expansion of its offices at 2 Park Street. Park Street Church purchased 2 and 3 Park Street in 1993. Exterior work on 3 Park Street, which was detailed in application #96.394BH, restored exterior windows at the front (Park Street) and rear (Granary Burying Ground) facades, an effort involving extensive removal of contemporary windows and solid transom panels containing window air conditioning units. The restoration work made use of early photographs and original architectural drawings to repair and replicate original sash.

GLASS REPLACEMENT

The window restoration work noted above was completed in 1997. The project involved retrofitting sash with clear insulated glass, and some of the glass light seals have failed and need replacement due trapped moisture between the panes of glass. This in-kind maintenance project will be initially focused as part of an interior renovation of the Senior Minister's apartment on the upper floors (levels 7, 8 and 9). In addition to this base bid project, other selective glass replacement is under consideration for the 6th floor apartment (front and rear facades) and for meeting rooms adjacent to the rear façade on floor levels 1, 3 and 5. In the event that additional funding is allotted for replacing failed glass units within a two-year period, the church requests that the approach to in-kind replacement of clear insulated glass be authorized for all locations in the event the more than the prioritized areas can be addressed.

The replacement glass will match the existing glass in every respect and the insulated units will not incorporate any coatings that may change its appearance (e.g., no low emissivity coating per the guidelines).

It should be noted that while the guidelines indicate that a dark spacer is required for insulated glass units, the Park Street façade windows were formerly approved with a clear spacer due to the white color of the exterior sash. A dark spacer in a white window gives the unintended illusion of a simulated divided light, whereas a clear spacer avoids creation of a dark shadow line to separate the interior and exterior portions of true-divided muntins in appearance. The rear façade windows at 3 Park Street are painted a darker color, so the dark spacers were used on the rear façade. In-kind replacement of glass proposes to match the existing conditions with clear spacers at the front façade glass and dark spacers at the rear façade glass.

INTERCOM REPLACEMENT

The original entrance to 3 Park Street is slightly recessed from the plane of the front façade and trimmed in limestone jamb panels above a granite plinth. The recess contains a deteriorated surface-mounted intercom system with integrated video camera, speaker, and call buttons to various floor levels at the interior. This system is now only required for calling the two apartments, so a simpler version of the video intercom system is proposed. The replacement system is smaller than the existing system and will again be mounted on the surface of the limestone. When the existing system was installed in 1997, it was intentionally placed at the surface of the limestone to avoid damage to the stone, with the only penetration being a concealed conduit opening of 1.5” behind the unit. Therefore, replacement of the unit will not result in any changes or damage to historic fabric. Photographs of the existing and proposed units are attached for review.

ATTACHMENTS & ENCLOSURES

The application, extension form and \$25 fee are provided for a minor modifications project. The following supporting information is also attached:

- B.00: Locus Plan of 3 Park Street
- B.01: Photographs of Park Street Façade and Windows
- B.02: Photographs of Granary Burying Ground Façade and Windows
- B.03: Photographs of Spacers in Glass (Clear at Front; Dark at Back) and Failed Seals

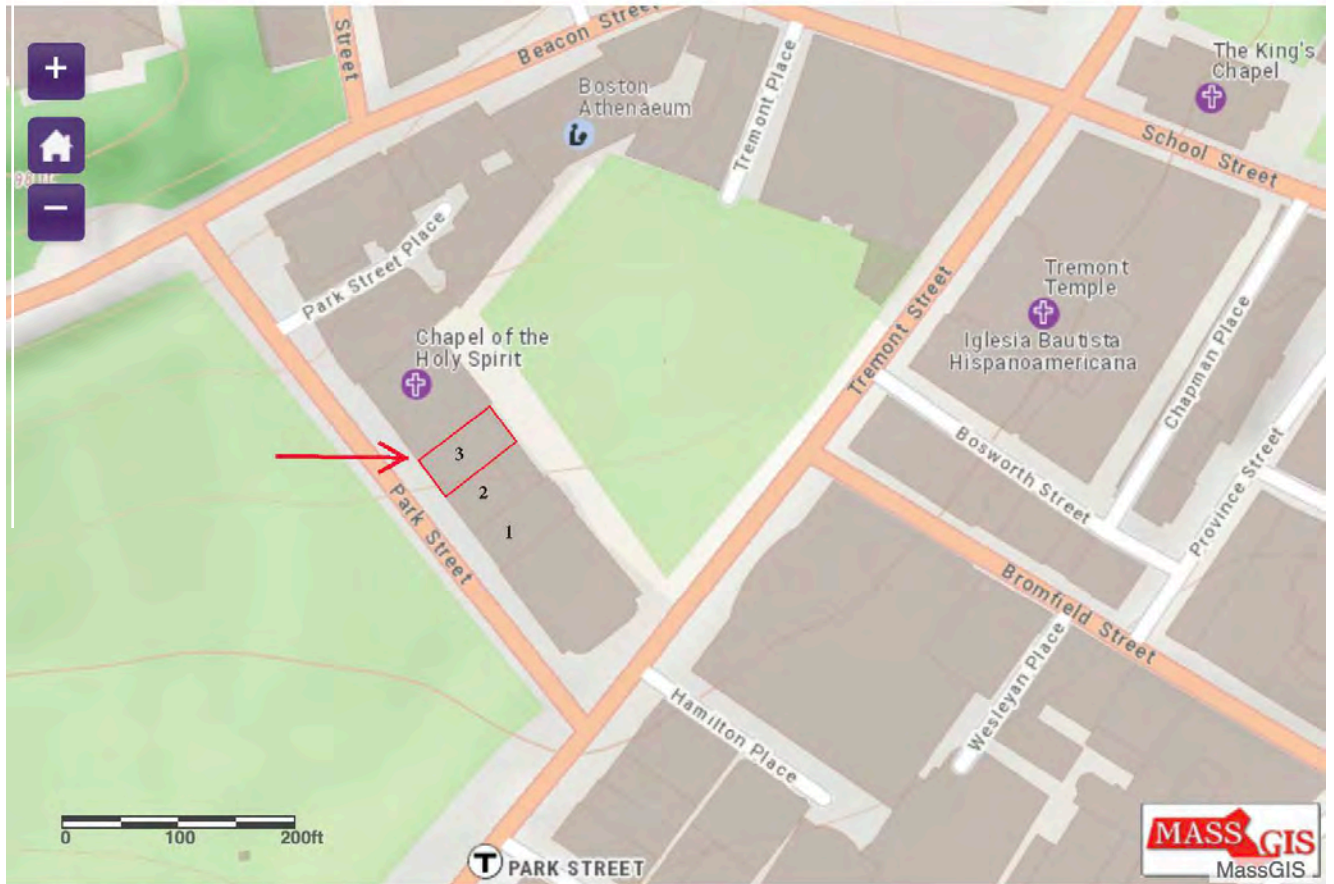
- B.04: As-Built 1997 Drawings – Exterior Elevations
- B.05: As-Built 1997 Drawings – Window Details at Front Façade
- B.06: As-Built 1997 Drawings – Window Details at Rear Façade

- B.07: Proposed Window Schedule; Details of Existing Sash Profiles
- B.08: Seventh Floor Plan for Glass Replacement (Front & Rear Facades)
- B.09: Eighth Floor Plan for Glass Replacement (Front & Rear Facades)
- B.10: Ninth Floor Plan for Glass Replacement (Front & Rear Facades)
- B.11: Sixth Floor Plan for Alternate (Glass at Front & Rear Facades)
- B.12: Fifth Floor Plan for Alternate (Glass at Rear Façade)
- B.13: Third Floor Plan for Alternate (Glass at Rear Façade)
- B.14: First Floor Partial Plan for Alternate (Glass at Rear Façade)
First Floor Partial Plan with Location of Video Intercom at Entrance

- B.15: Photographs of Existing Entrance and Video Intercom
- B.16: Proposed Replacement System for Video Intercom

If you require any additional information in reference to this application, please contact the architect Don Mills at 617-876-7611 ext. 2, or via email at donmills@millswitaker.com

Copy: Rich Elliott, Director of Campus Operations / Park Street Church



*Location Map of 3 Park Street;
Source as Indicated (MassGIS)*

IMG_6661.JPG



Park Street Facade (Front) from Boston Common

IMG_6662.JPG



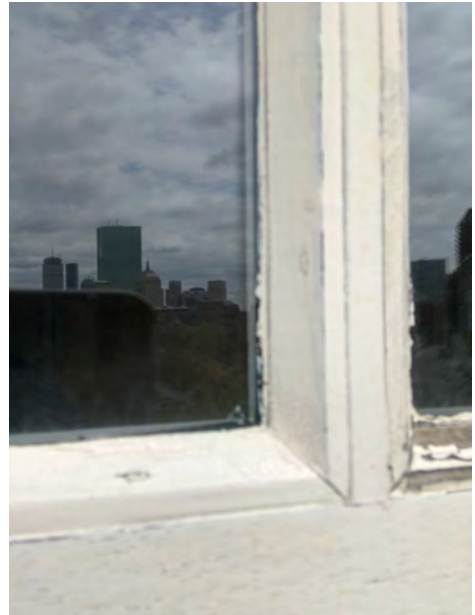
Wood True-Divided Light Windows Floors 3 Thru 9

IMG_6677.JPG



Interior Detail of 8/8 Wood True-Divided Light Double-Hung Window Sash on Park Street Facade

IMG_6679.JPG



Exterior Detail of 8/8 Units on Park Street Facade; Wood Putty Profile as Exterior Glazing

IMG_6664.JPG



Rear Facade from Granary Burying Ground

IMG_6663.JPG



*First Floor Brick with 6/6 True-Divided Light Sash;
Copper Cladding at Floors 2 Thru 9 with 1/1 Windows*

IMG_6669.JPG



Interior Detail of Double-Hung Sash at Rear Facade

IMG_6673.JPG



*Exterior Detail of Wood Putty Glazing Profile at
Double-Hung Window of Rear Facade*

IMG_6683.JPG



*Clear Insulated Glass from 1997 at Front Facade;
Clear Aluminum Spacers Used Due to White Exterior
(Dark Spacers Would Result in SDL Appearance)*

IMG_6689.JPG



*Clear Insulated Glass from 1997 at Rear Facade;
Dark Aluminum Spacers Used Due to Brown Exterior*

IMG_6667.JPG

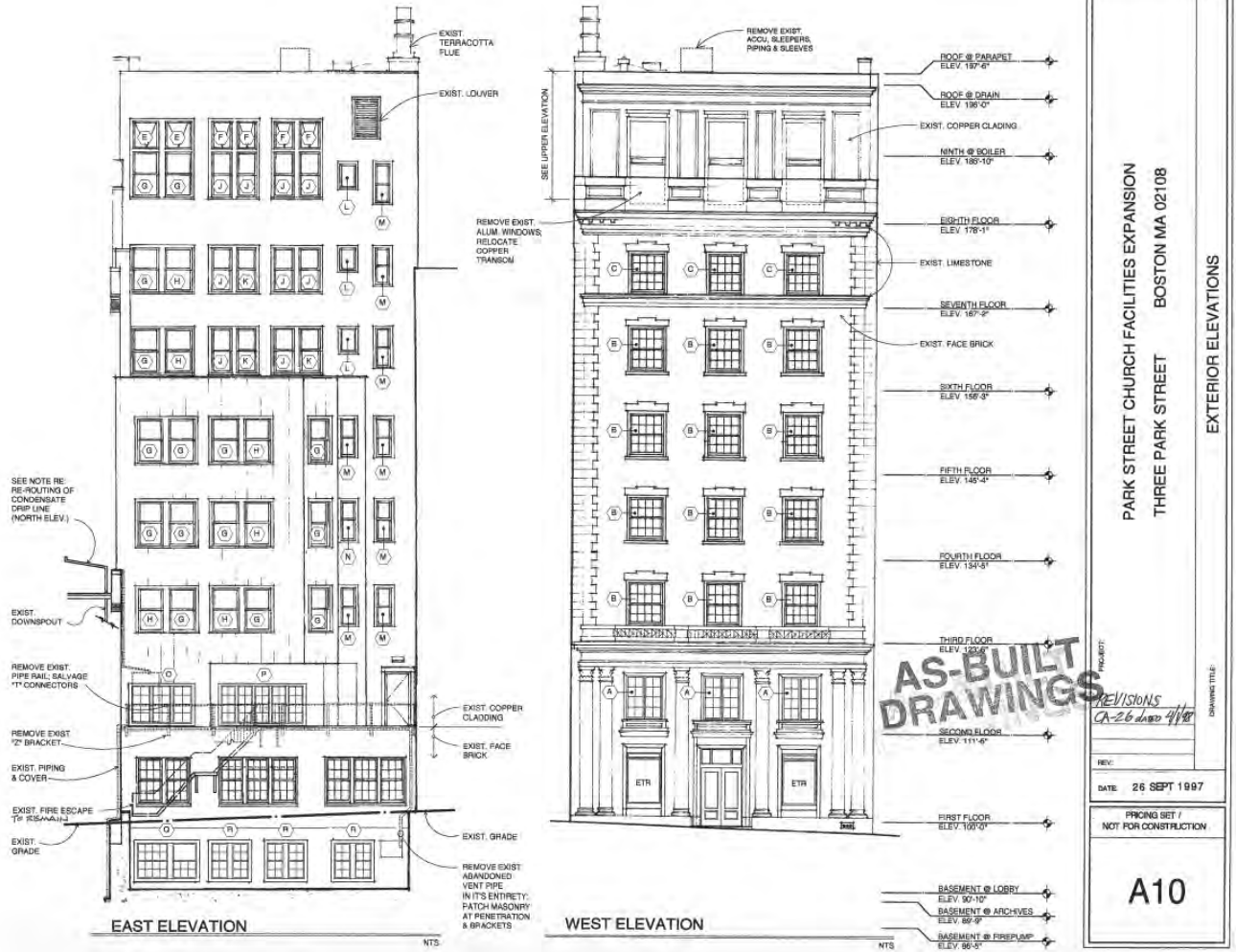


*Fogged Appearance Due to Trapped Moisture;
Failed Seals on Some Individual Lights*

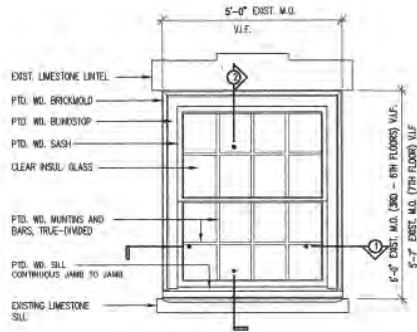
IMG_6684.JPG



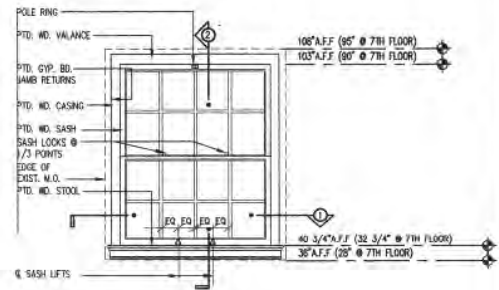
*Detail of Water Droplets and Trapped Moisture on
Inside of Insulated Glass Where Seals Have Failed*



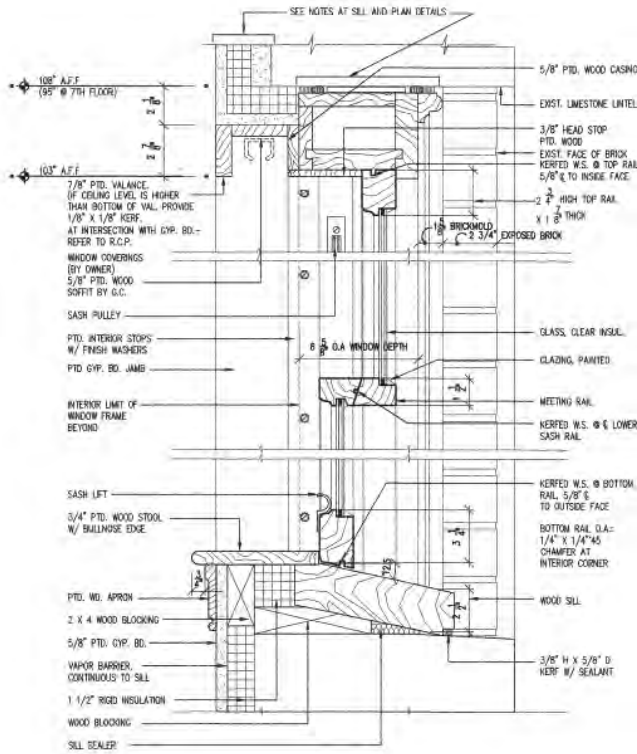
Exterior Elevations from 1997 Work Cladding Performed Under Certificate of Appropriateness #96.394BH



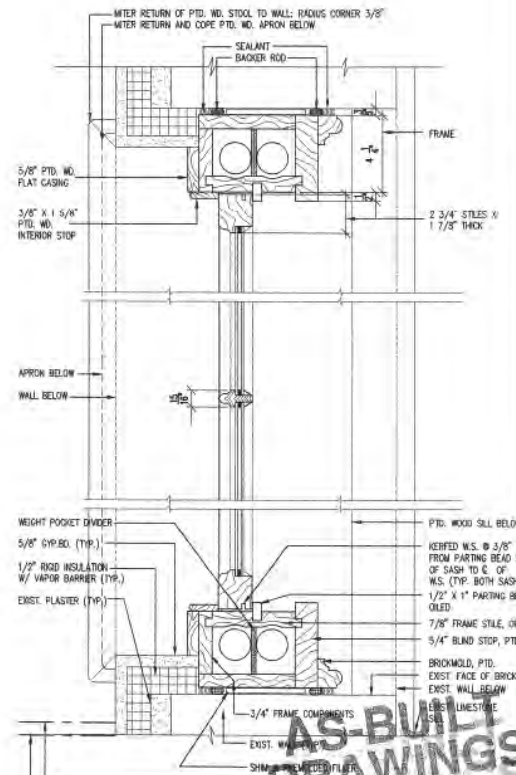
EXTERIOR ELEVATION - UNITS B & C
SCALE: 1/2"=1'-0"



INTERIOR ELEVATION - UNITS B & C
SCALE: 1/2"=1'-0"

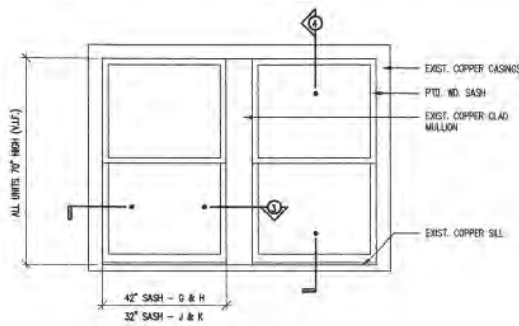


SECTION DETAILS
SCALE: 3/4"=1'-0"



PLAN DETAILS
SCALE: 3/4"=1'-0"

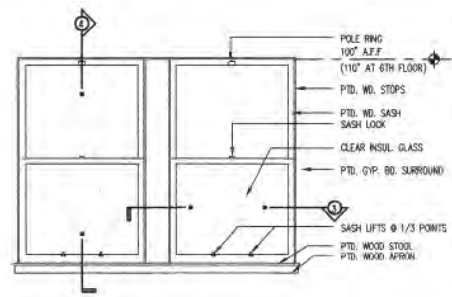
Park Street Facade Window Details from 1997 Work Performed Under Certificate of Appropriateness #96.394BH



NOTE: AT UNITS G & J - MODIFY EXIST. SASH & RESTORE FRAMES
 AT UNITS H & K - REMOVE EXIST. REPLACEMENT UNITS;
 REPLICATE ORIGINAL SASH & RESTORE FRAMES.

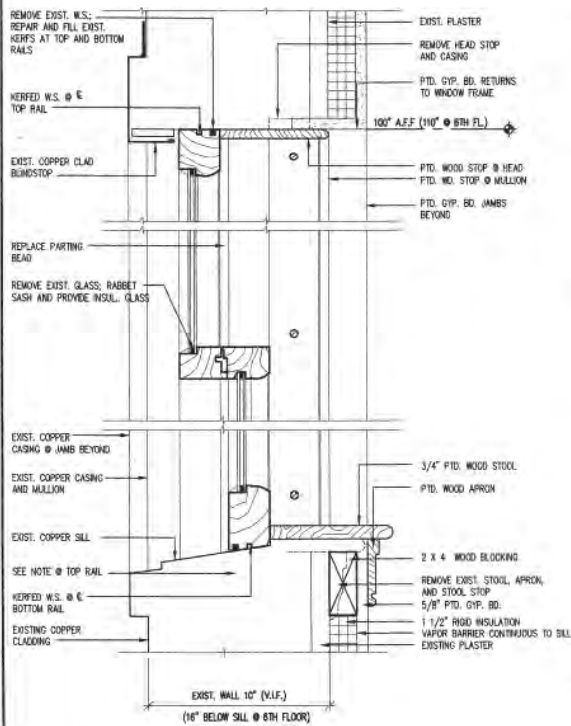
EXTERIOR ELEVATION UNITS G,H,J, & K

SCALE 1/8"=1'-0"



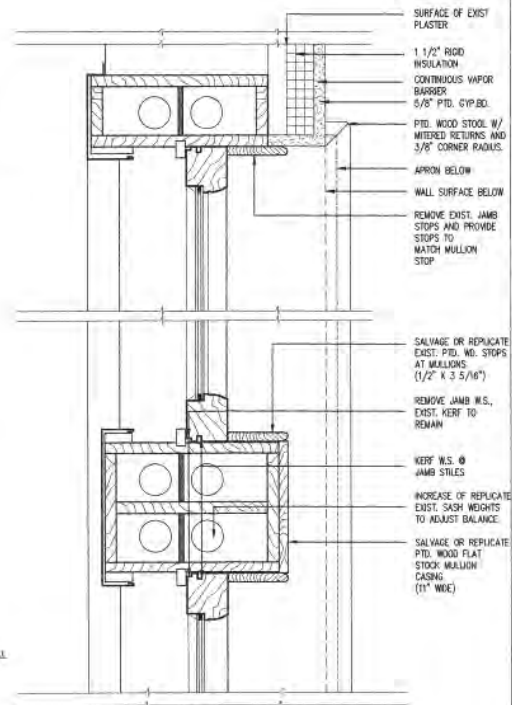
INTERIOR ELEVATION - UNITS G,H,J & K

SCALE 1/8"=1'-0"



SECTION DETAILS

SCALE 3/8"=1'-0"



PLAN DETAILS

SCALE 3/8"=1'-0"

Granary Burying Ground Facade Details from 1997 Work Performed Under Certificate of Appropriateness #96.394BH

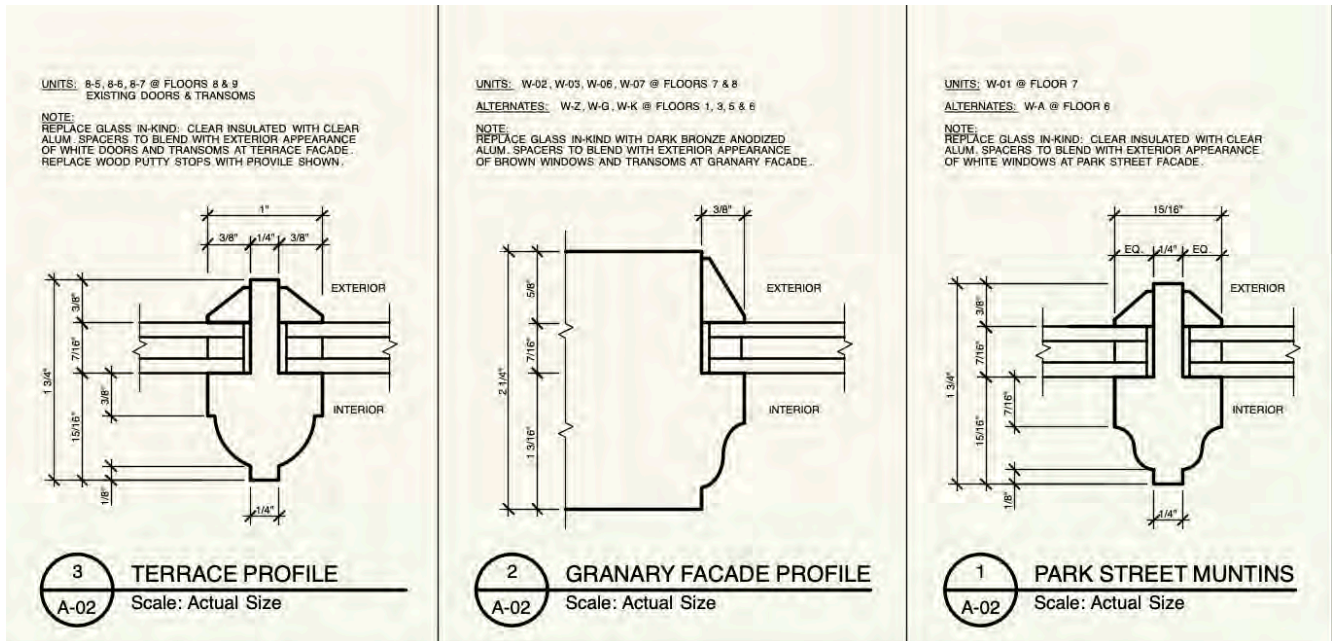
WINDOW SCHEDULE

NO.	TYPE	SASH (VIF)	STORM	GLASS	REMARKS
W01	8/8 WD DH	48 x 56.75 x 1.75	---	REPLACE	CLEAR INSUL
W02	1/1 WD DH	42 x 68 x 2.25	---	REPLACE	CLEAR INSUL
W03	1/1 WD DH	32 x 68 x 2.25	---	REPLACE	CLEAR INSUL
W04	1-LT MTL	25.25 x 37 FIXED	---	EXISTING	TEXTURED
W05	1/1 MTL	22.75 x 60 FIXED	---	EXISTING	TEXTURED
W06	1/1 WD DH	42 x 67.5 x 2.25	---	REPLACE	CLEAR INSUL
	1-LT TRANSOM	40.75 x 43 x 2.25	---	REPLACE	CLEAR INSUL
W07	1/1 WD DH	31.75 x 67.5 x 2.25	---	REPLACE	CLEAR INSUL
	1-LT TRANSOM	30.5 x 43 x 2.25	---	REPLACE	CLEAR INSUL
W08	1-LT MTL	25.25 x 37 FIXED	---	REPLACE	MATCH TEXTURED
W09	1/1 MTL	22.75 x 60 FIXED	---	EXISTING	TEXTURED
W10	3/3 MTL	44 x 90 FIXED	EX INT	EXISTING	CLEAR

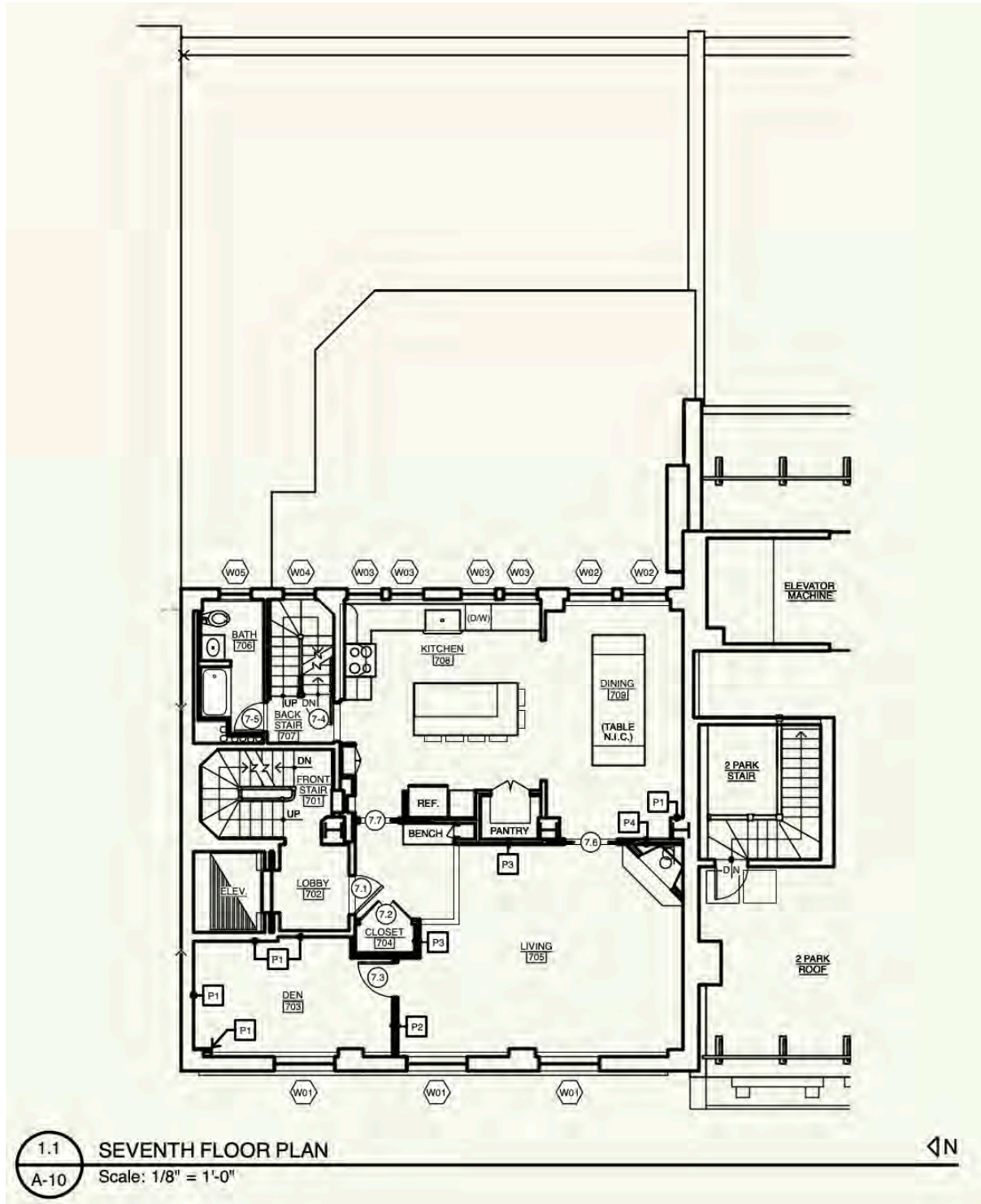
ABBREVIATIONS:
 DH = DOUBLE HUNG
 EX = EXISTING
 LT = LIGHT
 INSUL = INSULATED
 INT = INTERIOR
 MTL = METAL
 WD = WOOD

NOTES:
 1) FIELD MEASURE GLASS FOR REPLACEMENT WITH CLEAR INSULATED GLASS TO MATCH IN WOOD WINDOWS.
 2) CLEAR SPACERS @ PARK ST; DK. BRONZE @ GRANARY.
 3) MATCH TEXTURED GLASS PATTERN IN UNIT NOTED.
 4) SEE DOOR INFO FOR TERRACE DOORS & TRANSOMS.
 5) SEE ALTERNATE WINDOWS ON FLOORS 1, 3, 5: DWG A-13.
 6) SEE ALTERNATE WINDOWS ON FLOOR 6: DWG 3/A-10.

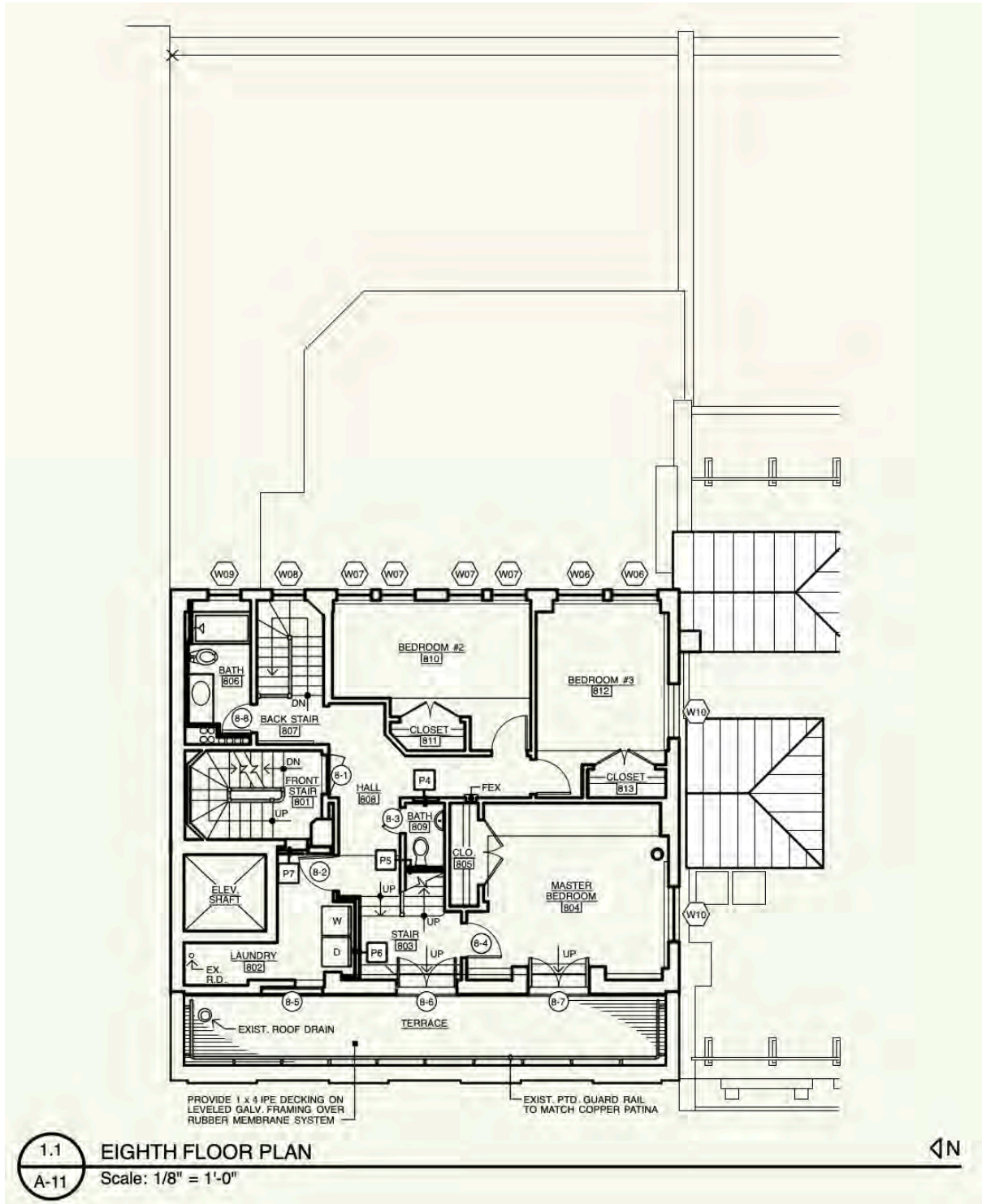
Proposed Window Schedule for Selective Replacement of Existing Insulated Glass with Matching Units



Existing Sash Profiles at Front and Rear Facades; In-Kind Replacement of Insulated Glass with Matching Glass



7th Floor Glass Replacement at Senior Minister's Apartment: Front Facade (8/8) and Rear Facade (1/1)

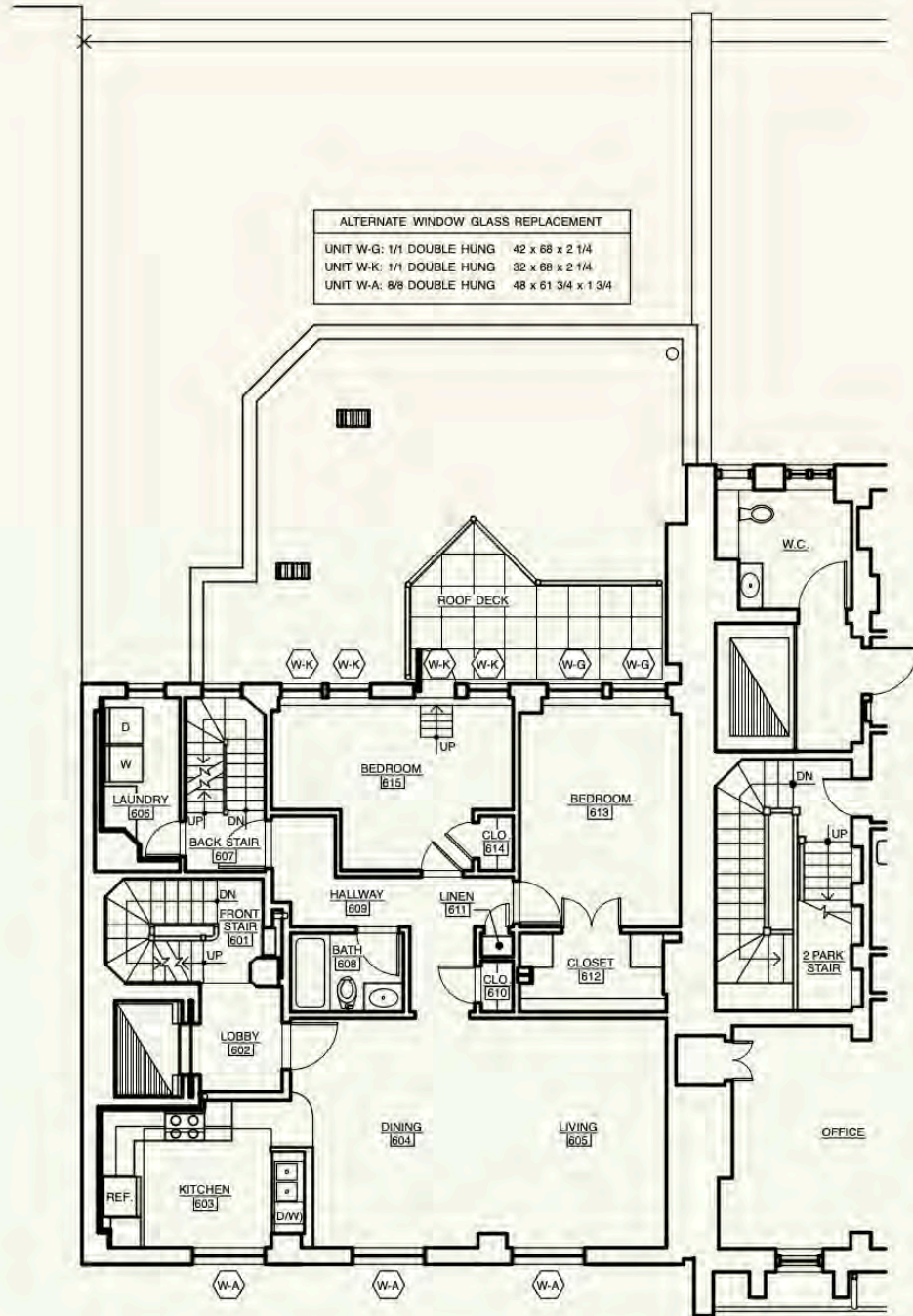


8th Floor Glass Replacement at Senior Minister's Apartment: Front Facade (Multi-Light Doors with Transoms) and Rear Facade (1/1 Double-Hung Units with Transoms)



1.1 NINTH FLOOR PLAN
A-12 Scale: 1/8" = 1'-0"

9th Floor Glass Replacement at Senior Minister's Apartment: Upper Continuation of 8th Floor Units



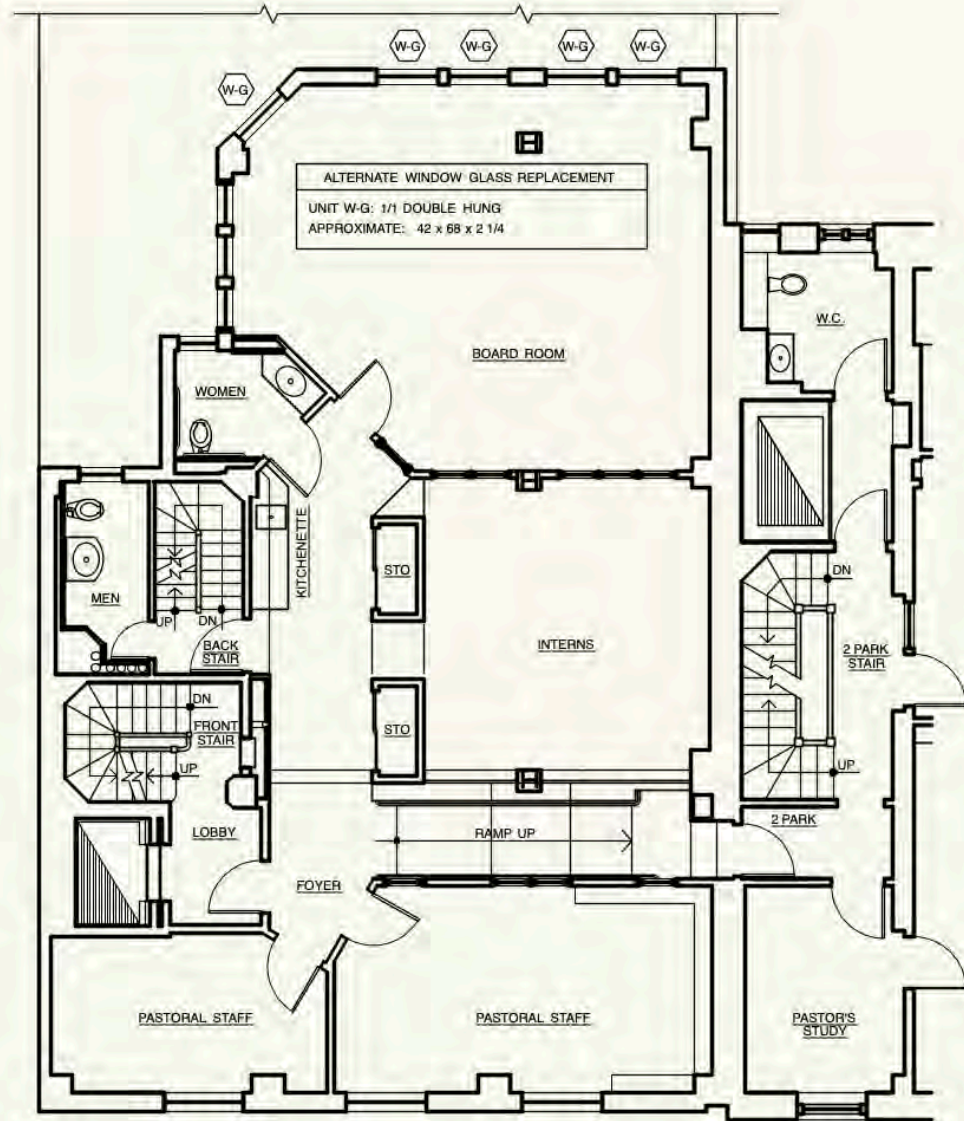
3
A-10

EXISTING SIXTH FLOOR PLAN

Scale: 1/8" = 1'-0"



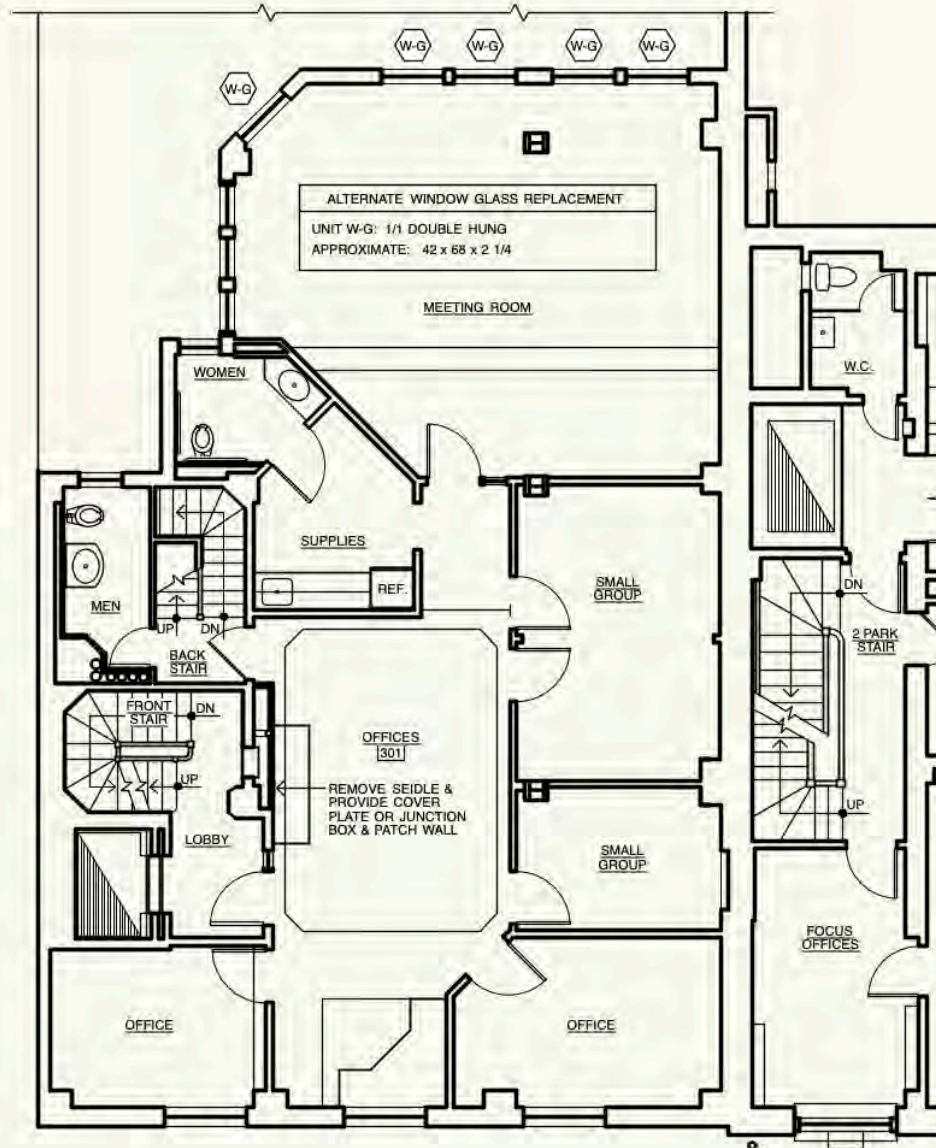
6th Floor Alternate Glass Replacement: Front Facade (8/8) and Rear Facade (1/1) Units



5 EXISTING FIFTH FLOOR PLAN
A-13 Scale: 1/8" = 1'-0"



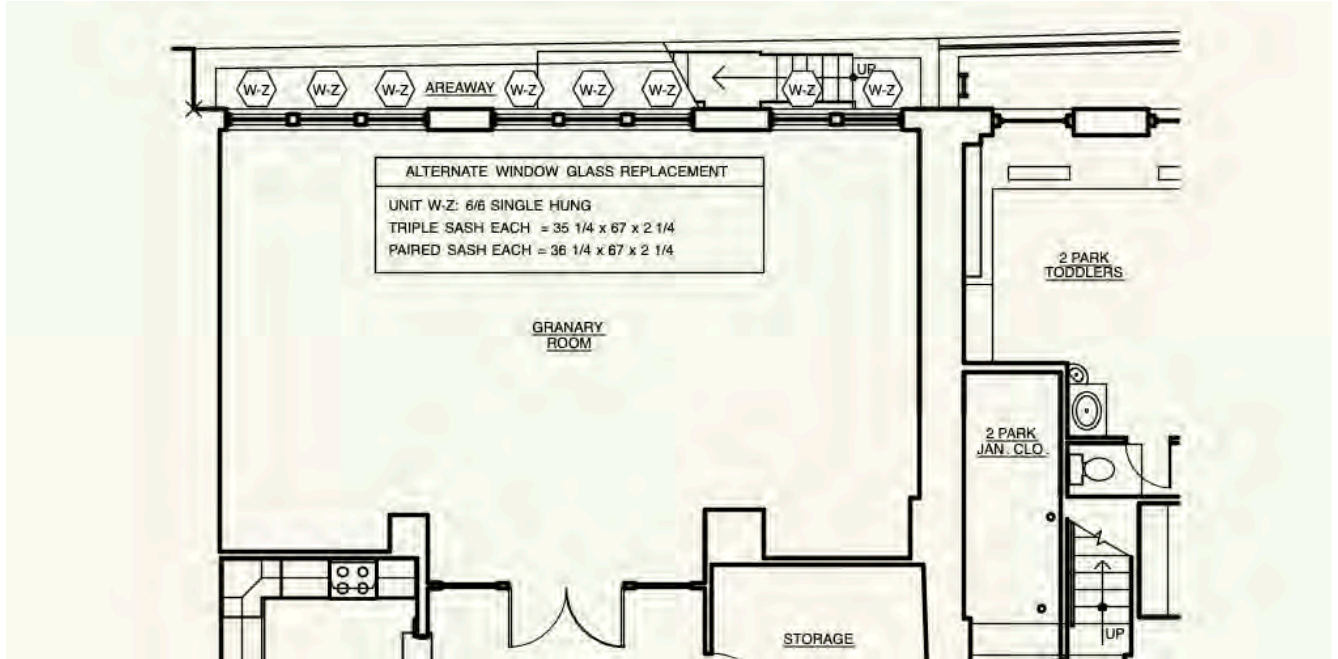
5th Floor Alternate Glass Replacement: Rear Facade 1/1 Units



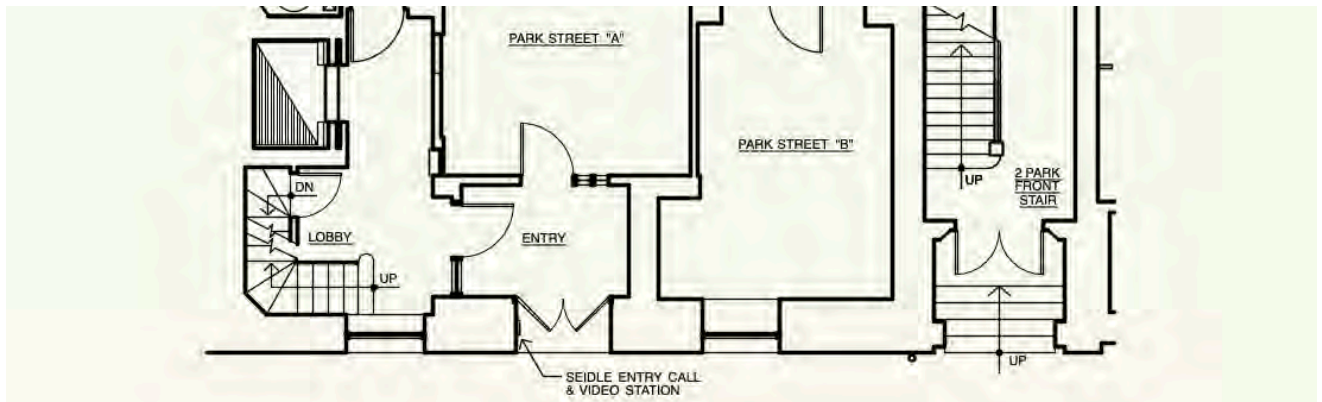
3 EXISTING THIRD FLOOR PLAN
A-13 Scale: 1/8" = 1'-0"



3rd Floor Alternate Glass Replacement: Rear Facade 1/1 Units



Alternate Glass Replacement: Rear Facade 6/6 Units at First Floor



1 EXISTING FIRST FLOOR PLAN
A-13 Scale: 1/8" = 1'-0"



Existing Surface-Mounted Video Door Intercom Station - Proposed Replacement

20200429_113258.jpg



Recessed Entrance to 3 Park Street with Granite Plinth and Limestone Surrounds

20200429_113203.jpg



Looking Up Park Street in Direction of State House; Existing Video Door Intercom System on Jamb

20200429_113236.jpg



Looking Down Park Street in Direction of Tremont

IMG_6665.JPG



Existing Circa Video Door Intercom System Installed in 1997 on 1918 Limestone Surround



Micaceous amber
(Amber 02)

Proposed Replacement Intercom Unit is 5.2" wide by 13" high (Existing is 10" x 16"); No Change to Limestone Surround

Surface Mounting Components		
Modules	Surface-mount Housing	
	Part Number	Dimension W x H x D
1x1	GA 612-1/1-0	5.2" x 6.4" x 1.45"
2x1	GA 612-2/1-0	5.2" x 9.1" x 1.45"
3x1	GA 612-3/1-0	5.2" x 13" x 1.45"
4x1	GA 612-4/1-0	5.2" x 16.9" x 1.45"
2x2	GA 612-2/2-0	9.1" x 9.1" x 1.45"
3x2	GA 612-3/2-0	9.1" x 13" x 1.45"
4x2	GA 612-4/2-0	9.1" x 16.9" x 1.45"
6x2	GA 612-6/2-0	18.2" x 13" x 1.45"
3x3	GA 612-3/3-0	13" x 13" x 1.45"
4x3	GA 612-4/3-0	13" x 16.9" x 1.45"
5x3	GA 612-5/3-0	13" x 22.1" x 1.45"
6x3	GA 612-6/3-0	26" x 13" x 1.45"
4x4	GA 612-4/4-0	18.2" x 16.9" x 1.45"

Proposed Replacement Intercom Unit is a 3-Component Assembly into a Single Surface-Mounted Device