

December 15, 2020

Nicholas Moreno  
Boston Conservation Commission  
1 City Hall Square, Room 709  
Boston, MA 02201

Re: 250 & 253 Summer Street Seawall Rehabilitation – NOI Application

Dear Mr. Moreno,

On behalf of our Client, Synergy Services, enclosed, please find a Notice of Intent application and accompanying documents for the proposed 250 & 253 Seawall Rehabilitation project. The project location is the 250 & 253 Summer Street, Boston, MA and on the Fort Point Channel. The project consists of repairing the existing granite seawalls by adding concrete to support the footing, filling voids, and repointing the joints, and recoating the steel beams supporting the elevated harborwalk. The purpose is to maintain the seawalls to allow for the continued structural support of the buildings and harborwalk above.

If you have any questions or require additional information, please do not hesitate to contact the undersigned at [cavanaughr@childseng.com](mailto:cavanaughr@childseng.com).

Respectfully submitted,

CHILDS ENGINEERING CORPORATION



Ryan M. Cavanaugh, EIT  
Project Engineer

cc:  
DEP Northeast Regional Office  
Division of Marine Fisheries

December 15, 2020

Permit Reviewer  
Massachusetts DEP Northeast Regional Office - Wilmington  
205B Lowell Street,  
Wilmington, MA 01887

Re: 250 & 253 Summer Street Seawall Rehabilitation – NOI Application

Dear Permit Reviewer,

On behalf of our Client, Synergy Services LLC, enclosed, please find a Notice of Intent application and accompanying documents for the proposed 250 & 253 Seawall Rehabilitation project. The project location is the 250 & 253 Summer Street, Boston, MA and on the Fort Point Channel. The project consists of repairing the existing granite seawalls by adding concrete to support the footing, filling voids, and repointing the joints, and replacing the timber deck boards along the elevated harborwalk. The purpose is to maintain the seawalls and harborwalk to allow for the continued structural support of the buildings and safe use of the harborwalk above.

If you have any questions or require additional information, please do not hesitate to contact the undersigned at [cavanaughr@childseng.com](mailto:cavanaughr@childseng.com).

Respectfully submitted,

CHILDS ENGINEERING CORPORATION



Ryan M. Cavanaugh, EIT  
Project Engineer

cc:  
Boston Conservation Commission  
Division of Marine Fisheries

December 15, 2020

Division of Marine Fisheries – North Shore Office  
30 Emerson Avenue  
Gloucester, MA 01930

Re: 250 & 253 Summer Street Seawall Rehabilitation – NOI Application

Dear Environmental Reviewer,

On behalf of our Client, Synergy Services, enclosed, please find a Notice of Intent application and accompanying documents for the proposed 250 & 253 Seawall Rehabilitation project. The project location is the 250 & 253 Summer Street, Boston, MA and on the Fort Point Channel. The project consists of repairing the existing granite seawalls by adding concrete to support the footing, filling voids, and repointing the joints, and recoating the steel beams supporting the elevated harborwalk. The purpose is to maintain the seawalls to allow for the continued structural support of the buildings and harborwalk above.

If you have any questions or require additional information, please do not hesitate to contact the undersigned at [cavanaughr@childseng.com](mailto:cavanaughr@childseng.com).

Respectfully submitted,

CHILDS ENGINEERING CORPORATION



Ryan M. Cavanaugh, EIT  
Project Engineer

cc:  
DEP Northeast Regional Office  
Division of Marine Fisheries

**250 & 253 Summer Street  
Boston, Massachusetts  
Notice of Intent**

December 15, 2020



**Submitted to:**

MassDEP – Waterways Regulation Program  
One Winter Street, 5<sup>th</sup> Floor  
Boston, MA 02108

**Applicant:**

Synergy Services  
10 Post Office Square, 14<sup>th</sup> Floor  
Boston, MA 02109

**Applicant's Representative:**



34 William Way  
Bellingham, MA 02019  
(508) 966 9092  
[childseng.com](http://childseng.com)

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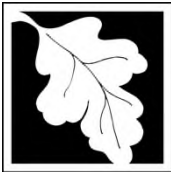
City Fee Determination

APPENDIX A – Project Description

APPENDIX B – Abutters List

APPENDIX C – Project Plans

APPENDIX D – Proof of Mailings



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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MassDEP File Number

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Document Transaction Number

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City/Town

**Important:**  
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>250 &amp; 253 Summer Street</u>	<u>Boston</u>	<u>02210</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>06</u>	<u>42.35044N</u>	<u>71.05130W</u>
f. Assessors Map/Plat Number	d. Latitude	e. Longitude
	<u>1163 &amp; 2701</u>	
	g. Parcel /Lot Number	

2. Applicant:

<u>Synergy Services</u>		
a. First Name	b. Last Name	
c. Organization		
<u>10 Post Office Square, 14th Floor</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02109</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

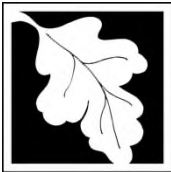
<u>PPF/SI 250 Summer Street Owner LLC</u>		
a. First Name	b. Last Name	
c. Organization		
<u>10 Post Office Square, 14th Floor</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02109</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Ryan</u>	<u>Cavanaugh</u>	
a. First Name	b. Last Name	
<u>Childs Engineering</u>		
c. Company		
<u>34 Williams Way</u>		
d. Street Address		
<u>Bellingham</u>	<u>MA</u>	<u>02019</u>
e. City/Town	f. State	g. Zip Code
<u>(508) 966-9092</u>	<u>cavanaughr@childseng.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$1637.50</u>	<u>\$437.50</u>	<u>\$1200.00</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



**Massachusetts Department of Environmental Protection**  
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**A. General Information (continued)**

6. General Project Description:

See Attachment A - Proposed Project and Resource Area Impacts and Mitigations

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

SUFFOLK

a. County

47356 & 58164

c. Book

b. Certificate # (if registered land)

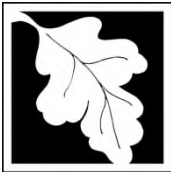
217 & 182

d. Page Number

**B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
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5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.





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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input checked="" type="checkbox"/> Land Under the Ocean	1050 1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input checked="" type="checkbox"/> Coastal Banks	225 1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	610 1. square feet	

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5.  Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

10/01/2020  
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review\*

- Percentage/acreage of property to be altered:
  - (a) within wetland Resource Area \_\_\_\_\_ percentage/acreage
  - (b) outside Resource Area \_\_\_\_\_ percentage/acreage
- Assessor's Map or right-of-way plan of site
- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*
  - (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
  - (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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### C. Other Applicable Standards and Requirements (cont'd)

- (c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d)  Vegetation cover type map of site

- (e)  Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and  
the Cape & Islands:

North Shore - Hull to New Hampshire border:

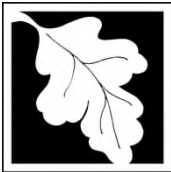
Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c.  Is this an aquaculture project?      d.  Yes     No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

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**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

**C. Other Applicable Standards and Requirements (cont'd)**

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
 a.  Yes  No      If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
 b. ACEC

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- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
 a.  Yes  No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
 a.  Yes  No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
 a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
  - 1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  - 2.  A portion of the site constitutes redevelopment
  - 3.  Proprietary BMPs are included in the Stormwater Management System.
 b.  No. Check why the project is exempt:
  - 1.  Single-family house
  - 2.  Emergency road repair
  - 3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

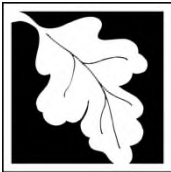
**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



**Massachusetts Department of Environmental Protection**  
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**D. Additional Information (cont'd)**

- 3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
  
- 4.  List the titles and dates for all plans and other materials submitted with this NOI.  
 NOI-01 TITLE SHEET, NOI-02 AREA PLAN, NOI-03 SITE PLAN, NOI-04/05 REPAIR PLANS  

a. Plan Title	
Tom Quinn	c. Signed and Stamped by
b. Prepared By	Varies
11/10/2020	e. Scale
d. Final Revision Date	
f. Additional Plan or Document Title	g. Date
	12/02/2020
  
- 5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.
  
- 6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
  
- 7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
  
- 8.  Attach NOI Wetland Fee Transmittal Form
  
- 9.  Attach Stormwater Report, if needed.

**E. Fees**

- 1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

10141	12/2/2020
2. Municipal Check Number	3. Check date
10142	12/2/2020
4. State Check Number	5. Check date
Childs Engineering	
6. Payor name on check: First Name	7. Payor name on check: Last Name



**Massachusetts Department of Environmental Protection**  
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## WPA Form 3 – Notice of Intent

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### F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

*AK*

2. Date

*12/14/2020*

3. Signature of Property Owner (if different)

*Ste Z*

4. Date

5. Signature of Representative (if any)

*Ryan M. Cunniff*

6. Date

*12/04/2020*

#### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

#### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

#### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
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**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



## A. Applicant Information

### 1. Location of Project:

250 & 253 Summer Street

a. Street Address

Boston

b. City/Town

c. Check number

d. Fee amount

### 2. Applicant Mailing Address:

Synergy Services

c. Organization

10 Post Office Square, 14th Floor

d. Mailing Address

Boston

e. City/Town

MA

f. State

02109

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

### 3. Property Owner (if different):

PPF/SI 250 Summer Street Owner LLC

c. Organization

10 Post Office Square, 14th Floor

d. Mailing Address

Boston

e. City/Town

MA

f. State

02109

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

## B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Work on docks, Piers, Revetments, Dikes, etc. (coastal or inland)	225 LF	\$4.00	\$900
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
<b>Step 5/Total Project Fee:</b>			\$900
<b>Step 6/Fee Payments:</b>			
Total Project Fee:			\$900.00
			a. Total Fee from Step 5
State share of filing Fee:			\$437.50
			b. 1/2 Total Fee <b>less</b> \$12.50
City/Town share of filing Fee:			\$1200.00
			c. 1/2 Total Fee <b>plus</b> \$12.50

**C. Submittal Requirements**

a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)





## INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

### INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

### INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, “state-listed” vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm) or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581-3336  
508.792.7270



**A. GENERAL INFORMATION**

1. Project Location

<u>250 &amp; 253 Summer Street</u>	<u>Boston</u>	<u>02210</u>
a. Street Address	b. City/Town	c. Zip Code
<u>06</u>	<u>1163 &amp; 2701</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant

<u></u>	<u>Synergy Services</u>	
a. First Name	b. Last Name	c. Company
<u>10 Post Office Square, 14th Floor</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02109</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

3. Property Owner

<u></u>	<u>PPF/SI 250 Summer Street Owner LLC</u>	
a. First Name	b. Last Name	c. Company
<u>10 Post Office Square, 14th Floor</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02109</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

<u>Ryan</u>	<u>Cavanaugh</u>	<u>Childs Engineering</u>
a. First Name	b. Last Name	c. Company
<u>34 Williams Way</u>		
d. Mailing Address		
<u>Bellingham</u>	<u>MA</u>	<u>02210</u>
e. City/Town	f. State	g. Zip Code
<u>(508) 966-9092</u>	<u>cavanaughr@childseng.com</u>	
h. Phone Number	i. Fax Number	j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes  No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

See Attachment A - Proposed Project and Resource Area Impacts and Mitigations

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7. Project Type Checklist

- a.  Single Family Home b.  Residential Subdivision
- c.  Limited Project Driveway Crossing d.  Commercial/Industrial
- e.  Dock/Pier f.  Utilities
- g.  Coastal Engineering Structure h.  Agriculture – cranberries, forestry
- i.  Transportation j.  Other

8. Property recorded at the Registry of Deeds

Suffolk	217 & 182
a. County	b. Page Number
47356 & 58164	
c. Book	d. Certificate # (if registered land)

9. Total Fee Paid

\$900	\$437.50	\$462.50
a. Total Fee Paid	b. State Fee Paid	c. City Fee Paid

**B. BUFFER ZONE & RESOURCE AREA IMPACTS**

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes  No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	Square feet	Square feet	Square feet
<input checked="" type="checkbox"/> 25-foot Waterfront Area	1050	1050	
	Square feet	Square feet	Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	Square feet	Square feet	Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	Square feet	Square feet	Square feet
<input type="checkbox"/> Isolated Wetlands	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	Square feet	Square feet	Square feet

**C. OTHER APPLICABLE STANDARDS & REQUIREMENTS**

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

The other permits required are a WPA Form 3 Notice of Intent filed with the MA DEP.

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2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.
- Yes  No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

**A. Submit Supplemental Information for Endangered Species Review**

- Percentage/acreage of property to be altered:
- (1) within wetland Resource Area \_\_\_\_\_ percentage/acreage
- (2) outside Resource Area \_\_\_\_\_ percentage/acreage
- Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?
- Yes  No

If yes, provide the name of the ACEC: \_\_\_\_\_

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?
- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
    - Applying for a Low Impact Development (LID) site design credits
    - A portion of the site constitutes redevelopment
    - Proprietary BMPs are included in the Stormwater Management System
  - No. Check below & include a narrative as to why the project is exempt
    - Single-family house
    - Emergency road repair
    - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?
- Yes  No



City of Boston  
Environment

**NOTICE OF INTENT APPLICATION FORM**  
Boston Wetlands Ordinance  
City of Boston Code, Ordinances, Chapter 7-1.4

\_\_\_\_\_  
Boston File Number


\_\_\_\_\_  
MassDEP File Number

**D. SIGNATURES AND SUBMITTAL REQUIREMENTS**

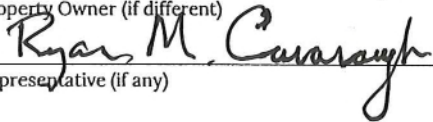
I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

  
\_\_\_\_\_  
Signature of Applicant

12/4/2020  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Property Owner (if different)

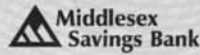
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Representative (if any)

12/04/2020  
\_\_\_\_\_  
Date



34 William Way, Bellingham, MA 02019



53-7122/2113

10141

12/2/2020

PAY TO THE ORDER OF City of Boston

\$ \*\*1,200.00

One Thousand, Two Hundred and 00/100 \*\*\*\*\* DOLLARS

City of Boston  
Boston City Hall Room 709  
Boston, MA 02201



*[Signature]*  
AUTHORIZED SIGNATURE



MEMO Bill Numbers: Summer St

TRUE WATERMARK PAPER - HOLD TO LIGHT TO VIEW

HEAT SENSITIVE RED IMAGE DISAPPEARS WITH HEAT

⑈010141⑈ ⑆211371227⑆ 164700752⑈

CHILDS ENGINEERING CORPORATION

10141

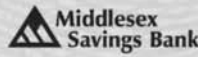
City of Boston

12/2/2020

Date	Bill #	Reference	Amount	Balance Due	Discount	Payment
12/2/2020	Summer St		\$1,200.00	\$0.00	\$0.00	\$1,200.00
10100 - Operating Checking						\$1,200.00



34 William Way, Bellingham, MA 02019



53-7122/2113

10142

12/2/2020

PAY TO THE ORDER OF

Commonwealth of MA - Dept of Environment Protection

\$ \*\*437.50

Four Hundred Thirty Seven and 50/100 \*\*\*\*\*

DOLLARS

Commonwealth of MA - Dept of Environment Protection  
Po 4062  
Boston, MA 02211



Shield

*[Signature]*  
AUTHORIZED SIGNATURE



MEMO Bill Numbers: #1

TRUE WATERMARK PAPER - HOLD TO LIGHT TO VIEW

HEAT SENSITIVE RED IMAGE DISAPPEARS WITH HEAT

⑈010142⑈ ⑆211371227⑆ 164700752⑈

CHILDS ENGINEERING CORPORATION

10142

Commonwealth of MA - Dept of Environment Protection

12/2/2020

Date	Bill #	Reference	Amount	Balance Due	Discount	Payment
12/2/2020	#1		\$437.50	\$0.00	\$0.00	\$437.50
10100 - Operating Checking						\$437.50



CITY FEE DETERMINATION  
250 & 253 Summer Street Existing Granite Seawall Repairs

**Fee Determination**

From the City of Boston's Filing for a Wetlands Permit with the Boston Conservation Commission Memo:

City of Boston – The City of Boston Title 14 Section 450 requires the following fees PAYABLE TO THE CITY OF BOSTON for Notice of Intent processing:

- \$25.00 for projects with the fair cost of \$1,000.00 or less.
- \$50.00 for projects with the fair cost of more than 1,000.00 but not more than \$50,000.00.
- \$75.00 for projects with a fair cost of more than 50,000.00 but not more than \$100,000.00.
- For projects with a fair cost of more than 100,000.00 the fee shall be .075% of the fair cost provided, however, in no case shall the fee be more than \$1,500.00.

The estimated cost for this project is \$400,000.00, thus, the City of Boston's fee would be  $0.00075 * \$400,000.00 = \$300.00$ .

The Boston Conservation Commission has adopted additional fees under the Boston Wetlands Ordinance. Applicants submitting applications under the Ordinance must also pay a fee as determined by the fee schedule as follows:

Notice of Intent

- Category 5
  - \$4 per linear foot (The total fee shall not be less than \$100)

The project is 225 linear feet in Category 5. Total fee is  $225 \text{ LF} * \$4 = \$900.00$ .

**Total Fee: \$300 + \$900 = \$1200**

Property Owners List

PPF/SI 250 Summer Street Owner LLC  
10 Post Office Square, 14<sup>th</sup> Floor  
Boston, MA 02109

Summer/Melcher SPE LLC  
10 Post Office Square, 14<sup>th</sup> Floor  
Boston, MA 02109

# **APPENDIX A**

## **Project Description**

## **A. General Information**

### **6. *General Project Description:***

The proposed project at 250 and 253 Summer Street consists of rehabilitating and maintaining the existing granite block seawall that supports both properties. The existing seawalls are owned privately by the property owners of the listed addresses. The rehabilitation consists of repairing the existing foundation for the granite block seawall along 250 Summer Street by placing additional tremie concrete inside driven steel sheet pile to reestablish full bearing on the current concrete foundation and repointing the deteriorated joints in the blocks. In order to complete these repairs, the existing galvanic anode cathodic protection system will be removed. The timber boards on the Harborwalk above the seawall have deterioration and will need to be replaced in kind, along with the stair treads. Additionally, the steel elements that support the elevated cantilevered Harborwalk above the seawall will be cleaned and recoated. The maintenance done at the seawall at 253 Summer Street will include filling various voids in the seawall using grout bags. An area of the seawall at 253 Summer Street received the exact same rehabilitation in 2016.

Overall, the goal of this project is to maintain the existing granite seawalls supporting these areas of the Fort Point Channel, so that the structural elements and Harborwalk remain usable, and safe while extending the service life of the facility. A proposed alternative to the rehabilitation noted is to take no further action and avoid the repairs. Delaying these repairs is not reasonable, the seawalls are in danger of becoming structural deficient, and delaying repairs could result in a failure. A failure event of the seawall would cause property damage and has the potential to cause personal harm. A full replacement of the seawalls is not feasible due to the properties directly supported by the seawalls. Replacing the seawalls would be expensive and time consuming. Additionally, the timber decking on the Harborwalk facility has deteriorated due to normal wear and tear and should be replaced. The timber decking, if left unrepaired, would be a tripping hazard and could possibly cause injury if the boards fail. In order to, replace the timber decking the Harborwalk will need to be shut down for a period of up to but not longer than 6 weeks, given current construction guidelines and lead times on materials.

A contractor has not been selected as of this application submittal date, but the project management team will ensure that a qualified marine contractor with extensive experience with similar projects is selected. The contractor will likely determine that the best procedure for construction will be to conduct much of the work using a barge mounted crane. An additional barge will likely be required to aid in the storing of material. In addition to the barges, the contractor will likely use small floating platforms to conduct work and utilize a small tugboat and small utility boat. The contractor will be required to abide by all necessary local, state, and federal construction regulations as well as all conditions applied to the project by the Order of Conditions. They will also be held to all necessary safety regulations and navigational regulations set forth by the U.S. Coast Guard.

## **Statement on Climate Resiliency**

In consideration of climate change and sea level rise. This project will help improve the seawalls ability to withstand the increase in storm intensity and frequency by helping rehabilitate the walls and increase their current structural capacity. The walls are already established and have enough height in their current construction to be able to withstand some sea level rise. Raising the grade on the entire site would allow the site to be incredibly resilient and was considered. However, it is not feasible given the cost to raise the levels of the Harborwalk and the grade on the site, or the level of the seawall. In future this will be considered when it comes time to maintain the Harborwalk structure.

This project will also not alter the seawalls ability to manage stormwater, runoff, or flooding. The height of the sheetpile and concrete was considered during design, so it does not affect the walls ability to drain water through it, and it does not alter the pore water pressure behind it.

The project being mainly below the high tide line means there will be no adverse heat effects and will not alter the ground cover or the water temperature.

The engineering team has utilized all available best management practices to ensure that the project meets the projected life cycle and will not unnecessarily change or impede navigation to the surrounding area or impacts to the resource areas.

## **B. Buffer Zone and Resource Area Impacts (temporary & permanent)**

### **3. Coastal Resource Areas:**

#### **1.0 Coastal Banks**

A Coastal Bank is defined in 310 CMR 10.30(2) as “a seaward facing or side of an elevated landform, other than a coastal dune, which lies at the landward edge of a coastal beach, land subject to tidal action, or other wetland”. The granite block seawall is considered a manmade coastal bank and the proposed repointing of the granite block joints is subject to 310 CMR 10.30.

##### **1.1 Performance Standards**

The granite block wall does not supply sediment to coastal beaches, dunes, or barrier beaches. This project is a vertical buffer that does prove to be significant to storm damage prevention or flood control. In this case 310 CMR 10.30(6) through 310 CMR 10.30(8) apply.

- 6) *“Any project on such a coastal bank or within 100 feet landward of the top of such coastal bank shall have no adverse effects on the stability of the coastal bank.”*

The stability of the wall and the surrounding areas will not be adversely affected. The addition of the sheetpile and concrete will increase the stability of the coastal bank. Calculations were also done to ensure the new sheetpile and concrete does not affect the global stability of the seawall.

- 7) *“Bulkheads, revetments, seawalls, groins or other coastal engineering structures may be permitted on such a coastal bank except when such bank is significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes, and barrier beaches.”*

The coastal bank in the project location does not supply sediment to coastal beaches, coastal dunes, or barrier beaches. The project does not affect the coastal bank’s ability to prevent storm damage or provide flood control.

- 8) *“Notwithstanding the provisions of 310 CMR 10.30(3) through (7), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.”*

The project does not have any adverse effects on specified habitat sites of rare vertebrate or invertebrate species. There are no species listed in this area.

## **2.0 Land Under Ocean**

Land Under Water Bodies and Waterways is defined in 310 CMR 10.25(2) as “land extending from the mean low water line seaward to the boundary of the municipality's jurisdiction and includes land under estuaries”. The Nearshore Area is defined as “land under the ocean means that land extending from the mean low water line to the seaward limit of a municipality's jurisdiction, but in no case beyond the point where the land is 80 feet below the level of the ocean at mean low water”.

### **2.1 Performance Standards**

This project falls is significant to storm damage prevention under the following statement:

“When land under the ocean or nearshore areas of land under the Ocean are found to be significant to the protection of marine Fisheries, protection of wildlife habitat, storm damage prevention or flood control, 310 CMR 10.25(3) through (7) shall apply”.

- 3) *Improvement dredging for navigational purposes affecting land under the ocean shall be designed and carried out using the best available measures so as to minimize adverse effects on such interests caused by changes in:*
- (a) bottom topography which will result in increased flooding or erosion caused by an increase in the height or velocity of waves impacting the shore;*
  - (b) sediment transport processes which will increase flood or erosion hazards by affecting the natural replenishment of beaches;*
  - (c) water circulation which will result in an adverse change in flushing rate, temperature, or turbidity levels; or*
  - (d) marine productivity which will result from the suspension or transport of pollutants, the smothering of bottom organisms, the accumulation of pollutants by organisms, or the destruction of marine fisheries habitat or wildlife habitat.*

These regulations do not apply as the project does not include maintenance dredging.

- 4) *Maintenance dredging for navigational purposes affecting land under the ocean shall be designed and carried out using the best available measures so as to minimize adverse effects on such interests caused by changes in marine productivity which will result from the suspension or transport of pollutants, increases in turbidity, the smothering of bottom organisms, the accumulation of pollutants by organisms, or the destruction of marine fisheries habitat or wildlife habitat.*

These regulations do not apply as the project does not include maintenance dredging for navigational purposes.

- 5) *Projects not included in 310 CMR 10.25(3) or (4) which affect nearshore areas of land under the ocean shall not cause adverse effects by altering the bottom topography so as to increase storm damage or erosion of coastal beaches, coastal banks, coastal dunes, or salt marshes.*

This project includes affecting the nearshore area of the land under ocean. However, it will not adversely or significantly affect the bottom topography in the Fort Point Channel. The footprint of the project is minimal compared to the size of the channel and will not increase storm damage, erosion of coastal beaches, coastal banks, coastal dunes, or salt marshes. The adjacent property had identical repairs done in 2016 and no adverse effects have been shown.

- 6) *Projects not included in 310 CMR 10.25(3) which affect land under the ocean shall if water-dependent be designed and constructed, using best available measures, so as to minimize adverse effects, and if non-water-dependent, have no adverse effects, on marine fisheries habitat or wildlife habitat caused by:*

- (a) alterations in water circulation;*

The project will not alter the water circulation of the Fort Point channel. The footprint will be as close to the original footprint of the project as possible while avoiding the overhead Harborwalk, providing minimal obstruction to the channel and water circulation.

- (b) destruction of eelgrass (*Zostera marina*) or widgeon grass (*Rupia maritima*) beds;*

This does not apply because there is no eelgrass in the area of the project.

- (c) alterations in the distribution of sediment grain size;*

This does not apply because the project will not add any or alter the distribution of sediment grain size. The bottom will remain larger untouched except within the footprint and that area is minimal. The area is not large enough to alter the sediment in the entire channel.

- (d) changes in water quality, including, but not limited to, other than natural fluctuations in the level of dissolved oxygen, temperature or turbidity, or the addition of pollutants; or*

The project will not affect the water quality in any way. The proposed mitigation measures to reduce impacts to water quality due to the construction activities will be to have the Contractor deploy a floating debris boom around the proposed repair areas. This will prevent dispersal of debris material during construction work from migrating into the river. Additionally, the contractor shall



be required to have hazardous materials spill prevention and clean up kits available on site for any waterborne equipment. The sheetpile and concrete will not alter the temperature, dissolved oxygen, turbidity, and will not add pollutants.

*(e) alterations of shallow submerged lands with high densities of polychaetes, mollusks or macrophytic algae.*

The project location does not have high densities of polychaetes, mollusks, or macrophytic algae.

7) *Notwithstanding the provisions of 310 CMR 10.25(3) through (6), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.*

The project does not have any adverse effects on specified habitat sites of rare vertebrate or invertebrate species. There are no species listed in this area.

Additional Notes:

The existing concrete foundation for the seawall is approximately 12 inches outshore of the face of the granite wall and has the remains of timber sheetpile a few feet outshore of the edge of the concrete foundation. The timber is deteriorated and only a few sections are left. This project proposes to drive a new steel sheetpile wall to form the outshore face for the new concrete in order to reestablish full bearing for the base of the granite seawall along 250 Summer Street. The new sheetpile will be just outshore of the timber sheetpile pile and the Harborwalk. The steel sheetpile will be driven as close to the wall as possible while still avoiding the overhead Harborwalk. Additionally, driving the sheetpile outshore of the timber ensures the foundation of the wall will be stable during driving, removing the timber would also risk the stability of the wall during construction, and it would not be cost effective to remove the Harborwalk to drive the piles any closer.

The concrete will be installed using the best available measures. For example, the project call for use of anti-washout admixture to help minimize the dispersion of concrete laitance in the water.

It is anticipated that the contractor will stage the construction, including all equipment and materials, from a barge in the Channel. We anticipate the contractor will use a large barge of the driving of the sheetpile and concrete pumping, and small work floats and a work skiff to stage the repointing and void filling repairs. The contractor will remove all construction debris from the resource areas on a daily basis.

### **3.0 Land Subject to Coastal Storm Flowage**

Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM) for the city of Boston FEMA Community Panel Map Number 25025C0081J was reviewed. As per review of the FIRM map, the project is located in Zone AE (EL. 10.0 in reference to NAVD88) of this resource area.

Land Subject to Coastal Storm Flowage is defined in 310 CMR 10.04 as the “land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater”. The project falls into the AE Zone, meaning the elevation of water will be, as noted on the FEMA map, EL. 10.0 in reference to NAVD88. The entire project falls below this elevation. The project does not alter or affect, in any way, the ability of the seawall, or waterfront area, to control coastal flooding or impede its ability to prevent coastal storm damage. The CZM Coastal Manual states “may deflect, reflect, and redirect storm waves, affecting adjacent properties, landward areas, and the subject property with wave energy, overwash, and flood waters”.

This project is a replica of the repairs done in 2016 at the adjacent property (253 Summer St) and the project has had no adverse effects on the neighboring properties or the channel as a whole in regards to wave action or coastal flooding.

The CZM Coastal Manual also states “When Commissions determine that land subject to coastal storm flowage overlays other resource areas listed in the Regulations, the applicable performance standards for each resource area should be applied and the project should be appropriately conditioned to protect all stated interests”. This project, as noted above, meets all of the performance standards for the resource areas.

### **4.0 Waterfront Area**

Waterfront Area is defined in the Boston Wetlands Ordinance as started below:

The portion of the buffer zone which extends twenty-five (25) feet horizontally from the edge of the following wetland resource areas:

1. Any coastal beach, dune, bank, tidal flats, rocky intertidal shores, salt marshes or land containing shellfish; or
2. Any inland bank, lake, pond, intermittent stream, brook, creek or riverfront area.

In this case, the Waterfront Area applies to the area that extends 25 feet horizontally from the edge of the coastal bank.

#### 4.1 Performance Standards

There are not set performance standards listed in the Boston Wetlands Ordinance. However, there is the requirement that public access to the waterfront is maintained. This project will impede public access briefly during which the timber boards are being replaced. However, the boards are being replaced with the intent to promote public safety, and make sure the Harborwalk continues to be a safe and enjoyable location for the public to access the waterfront.

### **C. Other Applicable Standards and Requirements**

7. *Is this project subject to provisions of the MADEP Stormwater Management Standards?*

This project is not subject to the provisions of the MADEP Stormwater Management Standards. The Standards are not applicable to this project since no stormwater is generated and the project will not alter or have any impact to any resource area.

### **D. Additional Information**

1. *USGS Map is included in Appendices.*
2. *A site plan with proposed activities is included in the submitted drawing set.*
3. *Method for BVM:*

BVM and other resource area boundary delineations were identified by visual observation.

4. *Plan Information:*

<u>Plan Title</u>	<u>Date</u>
X-101 Title Sheet	2020
X-102 Site Plan	2020
X-103 250 Summer Street Repair Details	2020
X-104 250-253 Summer Street Repair Details	2020

**APPENDIX B**  
**Abutters List**

SUMMER MELCHER SPE LLC  
100 FRANKLIN ST 2ND FLOOR  
BOSTON MA 02110

CHILDRENS MUSEUM INC  
308 CONGRESS  
BOSTON MA 02210

CONGRESS VENTURES LLC  
303 CONGRESS ST  
BOSTON MA 02210

COSTA MANUEL R  
PO BOX 290574  
CHARLESTOWN MA 02129

MEPT SEAPORT 343 CONGRESS  
7315 WISCONSIN AVE SUITE 20  
BETHESDA MD 20814

SUMMER MELCHER SPE LLC  
100 FRANKLIN ST 2ND FLOOR  
BOSTON MA 02110

MASSDEVELOPMENT/NECCO  
99 HIGH ST 11TH FLOOR  
BOSTON MA 02110

BOSTON REDEVELOPMENT  
1 CITY HALL PLAZA 9TH FLOOR  
BOSTON MA 02201

MASSDEVELOPMENT/NECCO  
99 HIGH ST 11TH FLOOR  
BOSTON MA 02110

FOURTY-9 MELCHER ST LLC  
133 PEARL ST SUITE #400  
BOSTON MA 02110

MEPT NECCO STREET GARAGE LLC  
PO BOX 92129  
SOUTHLAKE TX 76092

CONGRESS VENTURES LLC  
303 CONGRESS ST  
BOSTON MA 02210

MEPT FORT POINT CREATIVE  
PO BOX 92129  
SOUTHLAKE TX 76092

TWO 74 SUMMER STREET NOMINEE  
274 SUMMER ST  
BOSTON MA 02210

SUMMER EQUITY PARTNERS LLC  
150 EAST 58TH ST SUITE #2000  
NEW YORK NY 10155

VANDERWEIL RAIMUND G JR TS  
274 SUMMER ST  
BOSTON MA 02210

PPF/SI 250 SUMMER STREET  
1585 BROADWAY 37 TH FL  
NEW YORK NY 10036

T-C FORT POINT CREATIVE  
99 HIGH ST STE 801  
BOSTON MA 02110

TWO 81 SUMMER ST LLC  
PO BOX 4900 - DEPT 207  
SCOTTSDALE AZ 85261

TWO 81 SUMMER ST LLC  
PO BOX 4900 - DEPT 207  
SCOTTSDALE AZ 85261

280 HOLDINGS LLC  
1963 COMMONWEALTH AVE #1  
BRIGHTON MA 02135

TWO 74 SUMMER STREET NOMINEE  
274 SUMMER ST  
BOSTON MA 02210







City of Boston  
Environment



City of Boston  
Mayor Martin J. Walsh

## NOTIFICATION TO ABUTTERS BOSTON CONSERVATION COMMISSION

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. Synergy Services has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is 250 and 253 Summer Street.

C. The project involves making repairs to the existing seawalls that border the properties at 250 and 253 Summer Street and the Fort Point Channel. The repairs shall consist of repairing the existing concrete foundation supporting the seawall, repointing the granite stones, and replacing the timber decking on the Harborwalk along 250 Summer Street, and filling voids in the seawall along 253 Summer Street.

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at [CC@boston.gov](mailto:CC@boston.gov).

E. Copies of the Notice of Intent may be obtained from the **Ryan Cavanaugh (Representative) at CavanaughR@childseng.com** between the hours of **8am to 4pm, Monday through Friday**.

F. In accordance with the Commonwealth of Massachusetts Executive Order Suspending Certain Provisions of the Open Meeting Law, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205- 6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing [CC@boston.gov](mailto:CC@boston.gov) or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on [www.boston.gov/public-notices](http://www.boston.gov/public-notices) and in Boston City Hall not less than forty-eight (48) hours in advance.

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

**CITY of BOSTON**

1 CITY HALL SQUARE BOSTON, MA 02201-2021 | ROOM 709 | 617-635-3850 | [ENVIRONMENT@BOSTON.GOV](mailto:ENVIRONMENT@BOSTON.GOV)





City of Boston  
Environment



City of Boston  
Mayor Martin J. Walsh

## BENACHRICHTIGUNG AN BENACHBARTE GRUNDBESITZER

### BOSTON CONSERVATION COMMISSION (NATURSCHUTZKOMMISSION)

In Übereinstimmung mit dem Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, und der Boston Wetlands Ordinance werden Sie hiermit als benachbarter Grundbesitzer eines bei der Boston Conservation Commission eingereichten Projekts benachrichtigt.

A. **Synergy Services** hat bei der Boston Conservation Commission einen Antrag auf Genehmigung zur Änderung eines Bereichs gestellt, das gemäß dem Wetlands Protection Act (General Laws Chapter 131, Section 40) und der Boston Wetlands Ordinance geschützt ist.

B. Die Adresse des Grundstücks, auf dem die Aktivität stattfinden wird, ist: **250 & 253 Summer St, Boston.**

C. Das Projekt umfasst die **Dieses Projekt umfasst die Vornahme von Reparaturen an den bestehenden Uferdämmen, die an die Immobilien in der 250 und 253 Summer Street und den Fort Point Channel angrenzen. Die Reparaturen haben die Reparatur des vorhandenen Betonfundaments, das den Uferdamm stützt, ein Nachverfugen der Granitsteine und den Ersatz des Holzbelags auf dem Harborwalk entlang der 250 Summer Street, sowie das Auffüllen von Lücken im Uferdamm entlang der 253 Summer Street, zu umfassen.**

D. Kopien der Absichtserklärung erhalten Sie bei der Boston Conservation Commission unter [CC@boston.gov](mailto:CC@boston.gov).

E. Kopien der Absichtserklärung können vom **Ryan Cavanaugh (Representative) at CavanaughR@childseng.com** zwischen **8am to 4pm, Monday through Friday** angefordert werden.

F. In Übereinstimmung mit der Verordnung des Commonwealth of Massachusetts zur Aussetzung bestimmter Bestimmungen des Gesetzes über offene Sitzungen findet die öffentliche Anhörung virtuell unter <https://zoom.us/j/6864582044> statt. Wenn Sie nicht auf das Internet verbinden können, können Sie 1-929- 205-6099 anrufen, die Besprechungs-ID 686 458 2044 # eingeben und # als Teilnehmer-ID verwenden.

G. Informationen über Datum und Uhrzeit der öffentlichen Anhörung können von der **Naturschutzkommission Boston** per E-Mail an [CC@boston.gov](mailto:CC@boston.gov) oder telefonisch unter Tel.-Nr. **(617) 635-4416** zwischen **9.00 und 17.00 Uhr, montags bis freitags**, eingeholt werden.

HINWEIS: Die Bekanntmachung der öffentlichen Anhörung, einschließlich Datum, Uhrzeit und Ort, wird mindestens fünf (5) Tage im Voraus **im Boston Herald** veröffentlicht.

HINWEIS: Die Bekanntmachung der öffentlichen Anhörung, einschließlich Datum, Uhrzeit und Ort, wird unter [www.boston.gov/public-notices](http://www.boston.gov/public-notices) und mindestens achtundvierzig (48) Stunden im Vorfeld im Rathaus von Boston veröffentlicht. Wenn Sie Kommentare abgeben möchten, können Sie an der öffentlichen Anhörung teilnehmen oder schriftliche Kommentare an [CC@boston.gov](mailto:CC@boston.gov) oder an das Rathaus Boston, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201, schicken.

HINWEIS: Sie können sich auch an die Boston Conservation Commission oder das Department of Environmental Protection Northeast Regional Office (DEP) wenden, um weitere Informationen über diesen Antrag oder den Wetlands Protection Act zu erhalten. Um sich mit dem DEP in Verbindung zu setzen, rufen Sie bitte die Region Northeast an unter: (978) 694-3200.

HINWEIS: Wenn Sie an der öffentlichen Anhörung teilnehmen wollen und einen Dolmetscher benötigen, benachrichtigen Sie bitte die Mitarbeiter unter [CC@boston.gov](mailto:CC@boston.gov) bis 12 Uhr am Tag vor der Anhörung.

1 CITY HALL SQUARE BOSTON, MA 02201-2021 | ROOM 709 | 617-635-3850 | ENVIRONMENT@BOSTON.GOV

## Certification of Accuracy/Bestätigung

This is to certify that the attached document is an accurate, true and complete translation from English to German of the document described below to the best of my knowledge and belief based on an electronic file that were made available to me.

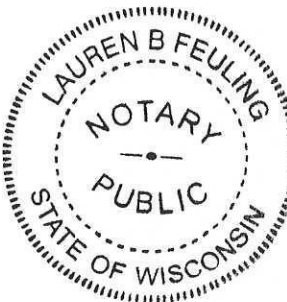
The translation comprises a project description of repairs to seawalls.

This is also to certify, that I am familiar with both the English and the German languages, able to perform translations from English to German, a certified member of the American Translators Association in good standing and am certified by the Supreme Court of Wisconsin as court interpreter for German.

Ich bestätige hiermit, dass es sich bei dem beiliegenden Dokument nach bestem Wissen und Gewissen um eine korrekte und vollständige Übersetzung des nachfolgenden englischen Dokumentes ins Deutsche handelt, wobei die Übersetzung aufgrund einer elektronischen Kopie erfolgte, die mir zur Verfügung gestellt wurde.

Die Übersetzung umfasst die Beschreibung eines Projektes dessen Gegenstand Reparaturarbeiten an Uferdämmen sind.

Ich bescheinige ferner, dass ich der deutschen und englischen Sprache mächtig bin, zu Übersetzungen vom Englischen ins Deutsche fähig und in der Lage bin. Ich bin durch die American Translators Association (amerikanische Übersetzervereinigung) als Übersetzerin vom Englischen ins Deutsche und vom obersten Gerichtshof des US-amerikanischen Bundesstaates Wisconsin als Gerichtsdolmetscherin für Deutsch zertifiziert.



**Jacqueline Jugenheimer, Dipl.-iur.**

Certified Translator and Court Interpreter/  
Zertifizierte Übersetzerin und Gerichtsdolmetscherin

Date: Dec. 4, 2020 /Datum: 4. Dez. 2020

The foregoing instrument was acknowledged before me on Dec 4, 2020.

Die vorstehende Urkunde wurde vor mir am 4. Dez. 2020 für mich bescheinigt.

The foregoing instrument was acknowledged before me 4 day of November 2020

Your Name Here, Notary Public

My Commission Expires 8/18/2024

Notary Public, County of Dane, State of Wisconsin

Zur Beedigung von Unterschriften Berechtigte/r, Kreis Dane, US-amerikanischer Bundesstaat  
Wisconsin

My commission expires/Meine Zulassung läuft aus am

8/18/2024



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Haitian Creole:

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Vietnamese:

**QUAN TRỌNG!** Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ [cc@boston.gov](mailto:cc@boston.gov) hoặc số điện thoại 617-635-3850.

Simplified Chinese:

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Cape Verdean Creole:

**INPURTANTI!** Es dukumentu ó aplikason ten **informason inpur tanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na [cc@boston.gov](mailto:cc@boston.gov) ó 617-635-3850.

Arabic:

**مهم!** يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائدك. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على [cc@boston.gov](mailto:cc@boston.gov) أو 617-635-3850.

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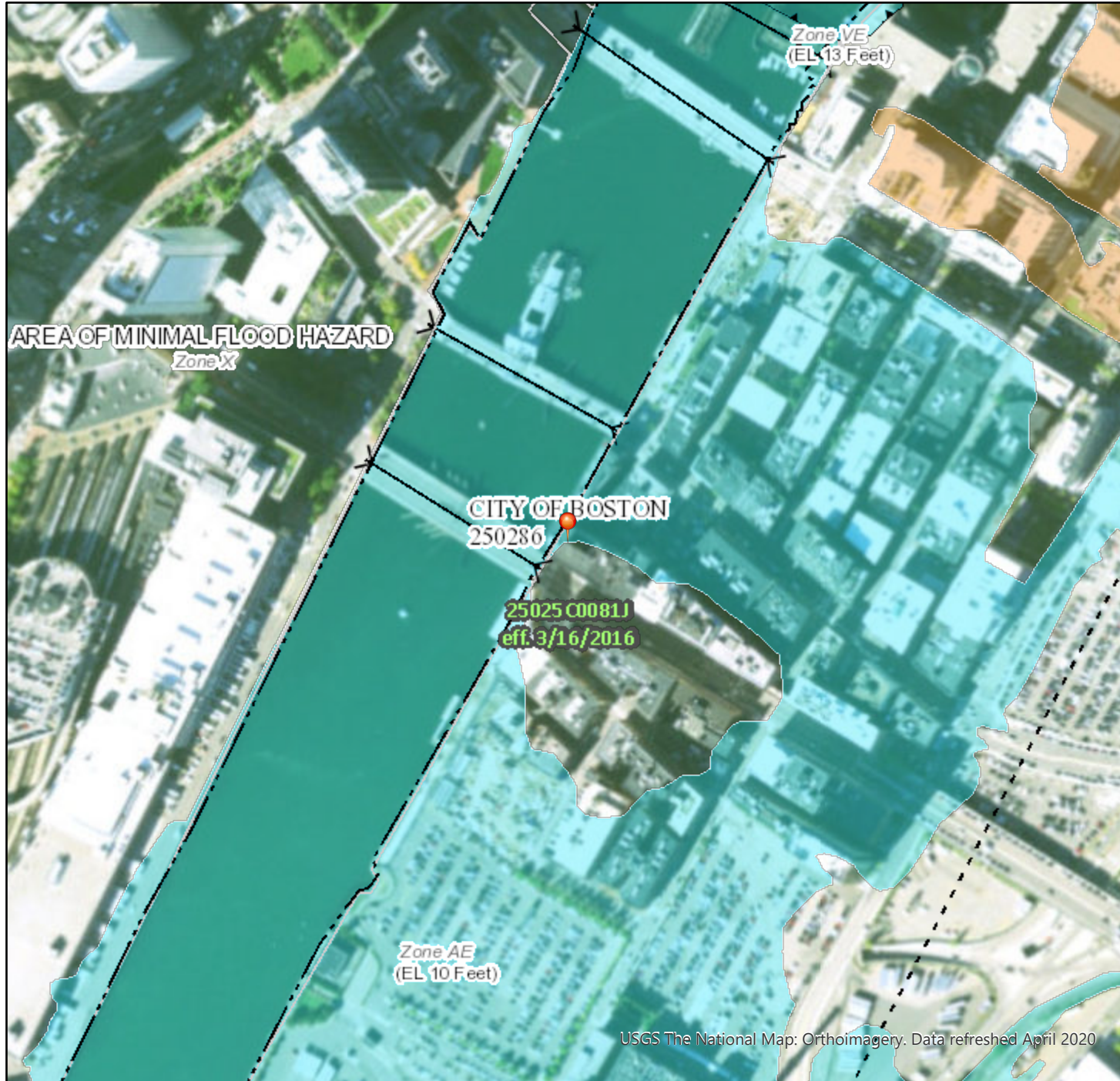
# **APPENDIX C**

## **Project Plans**

# National Flood Hazard Layer FIRMMette



71°3'22"W 42°21'16"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **10/2/2020 at 12:21 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

71°2'45"W 42°20'50"N

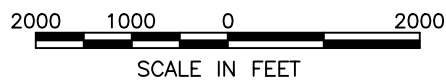
USGS The National Map: Orthoimagery. Data refreshed April 2020



SEAWALL REPAIRS  
 250 – 253 SUMMER STREET  
 BOSTON, MA

CHILDS ENGINEERING CORPORATION  
 34 WILLIAM WAY, BELLINGHAM, MA 02019

### LOCUS MAP



IN: FORT POINT CHANNEL  
 AT: 250-253 SUMMER ST.  
 BOSTON, MA

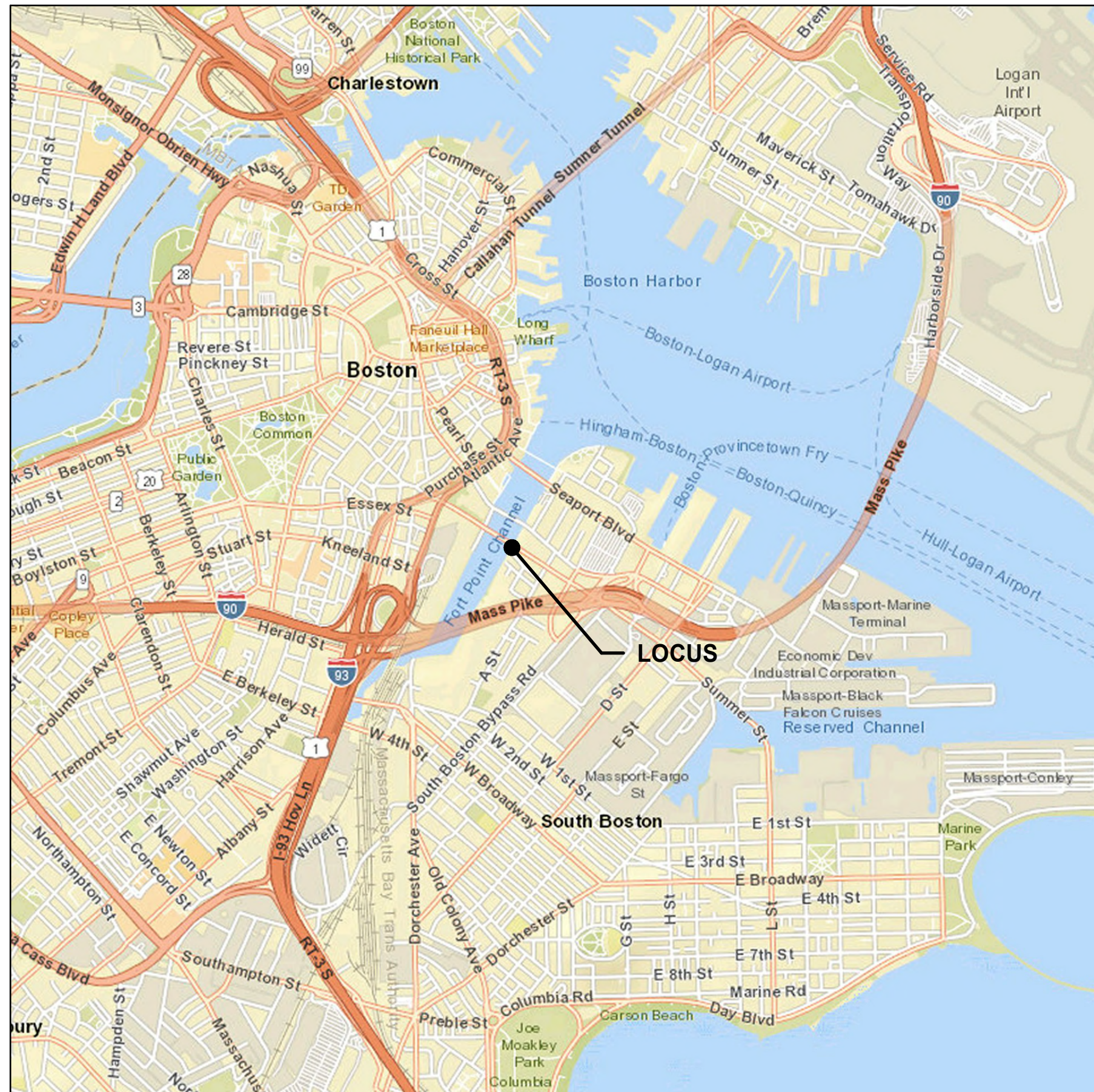
SHEET 1 OF 1 DATE: 12/04/20



# SEAWALL REPAIRS

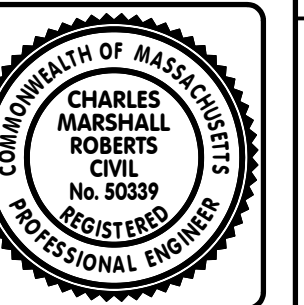
## 250 - 253 SUMMER STREET

### BOSTON, MA



LOCUS MAP

DRAWING INDEX		
PAGE No.	SHEET No.	SHEET TITLE
1	NOI-01	TITLE SHEET
2	NOI-02	AREA PLAN
3	NOI-03	SITE PLAN
4	NOI-04	250 SUMMER STREET REPAIR DETAILS
5	NOI-05	250-253 SUMMER STREET REPAIR DETAILS



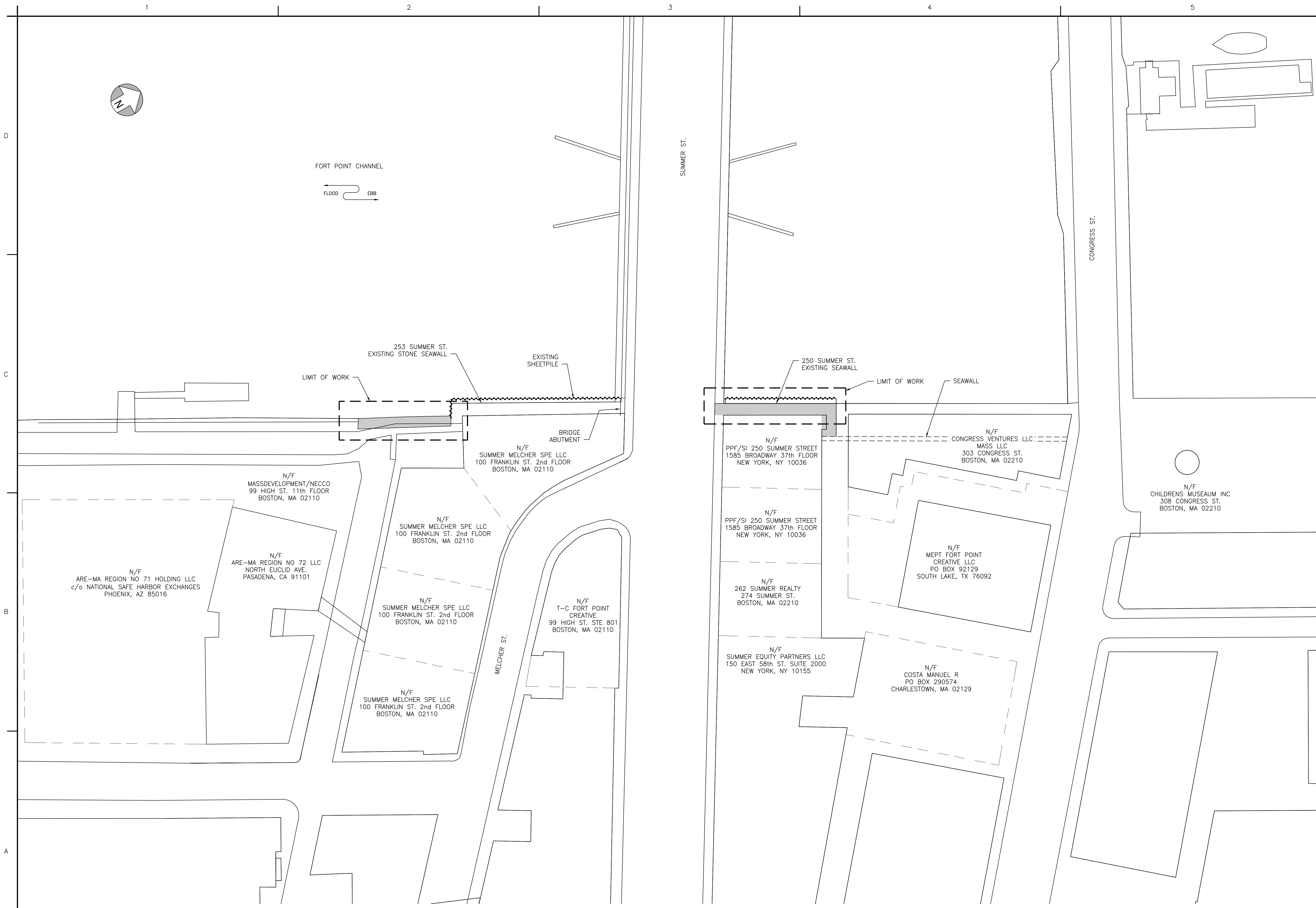
Date	Description	Mark	Appr.

Designed by:	RMC	Date:	12/04/20
Drawn by:	TEC	Design file no.:	202220 NOI-01
Reviewed by:	CMR	Scale:	AS NOTED

SEAWALL REPAIRS  
250 - 253 SUMMER STREET  
BOSTON, MA  
TITLE SHEET

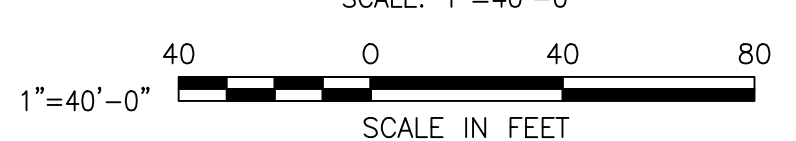
FOR NOTICE OF INTENT

Sheet reference number:  
NOI-01  
Sheet 1 of 5

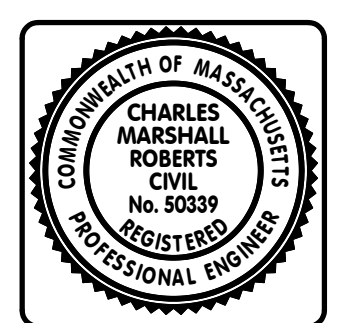


**SITE PLAN**

SCALE: 1"=40'-0"



**FOR NOTICE OF INTENT**

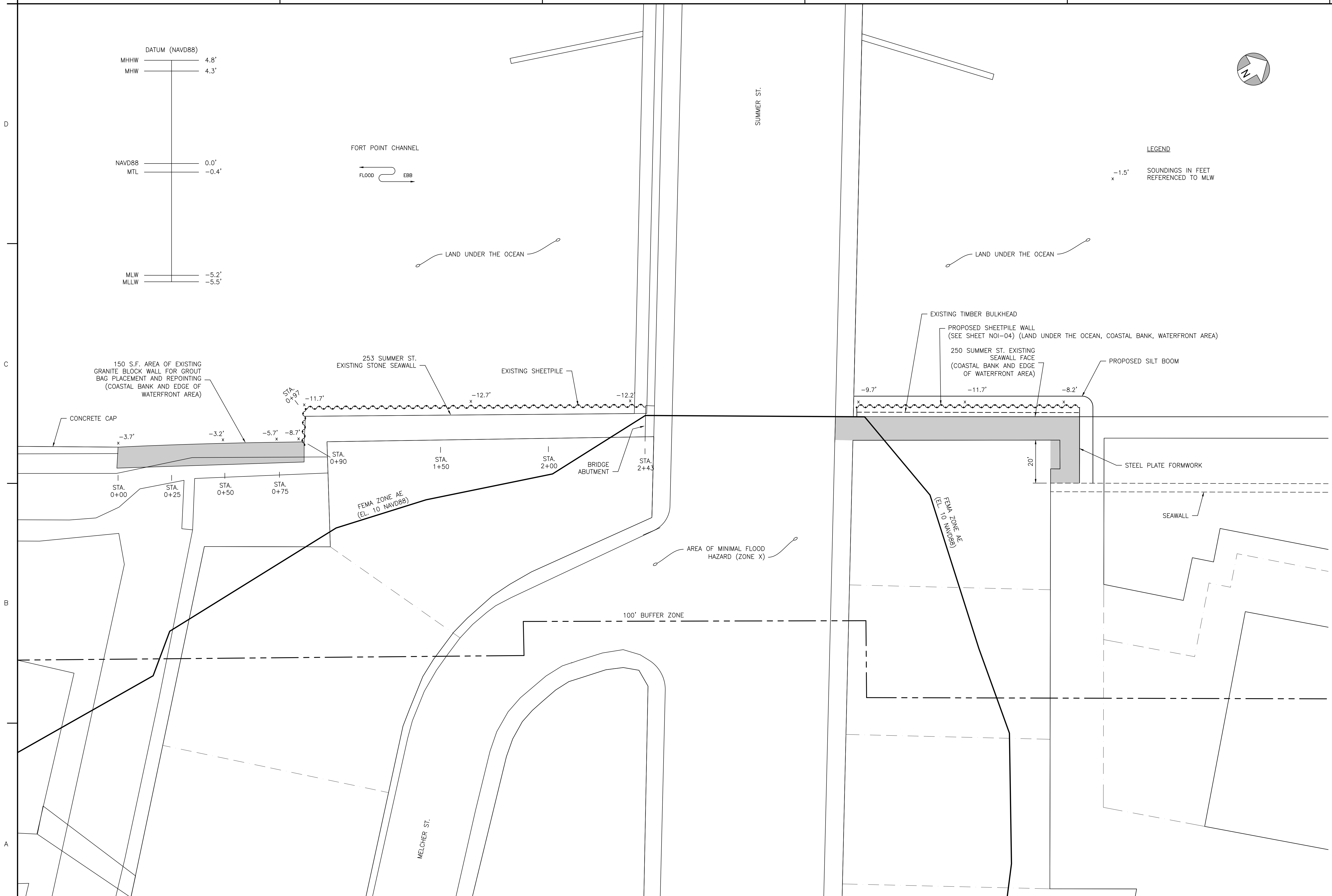
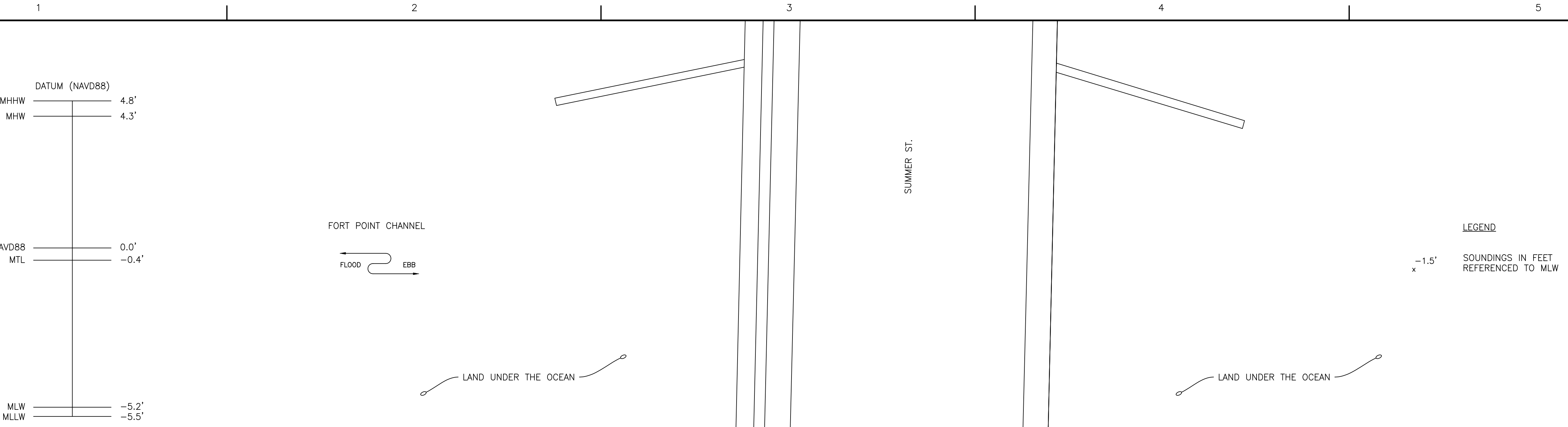


Mark	Description	Date	Appr.

Designed by:	RMC	Date:	12/04/20
Drawn by:	TEC	Design file no.:	202220 NOI-02
Checked by:	RMC	Date:	
Reviewed by:	CMR	Scale:	AS NOTED

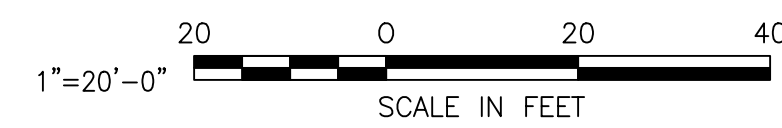
SEAWALL REPAIRS  
250 - 253 SUMMER STREET  
BOSTON, MA  
**AREA PLAN**

Sheet reference number:  
**NOI-02**  
Sheet 2 of 5



**SITE PLAN**

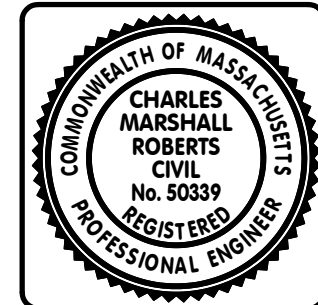
SCALE: 1"=20'-0"



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**CHILDS ENGINEERING**

34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.  
Phone: (508) 966-9992  
E-mail: mail@childseng.com



Mark	Description	Date	Appr.

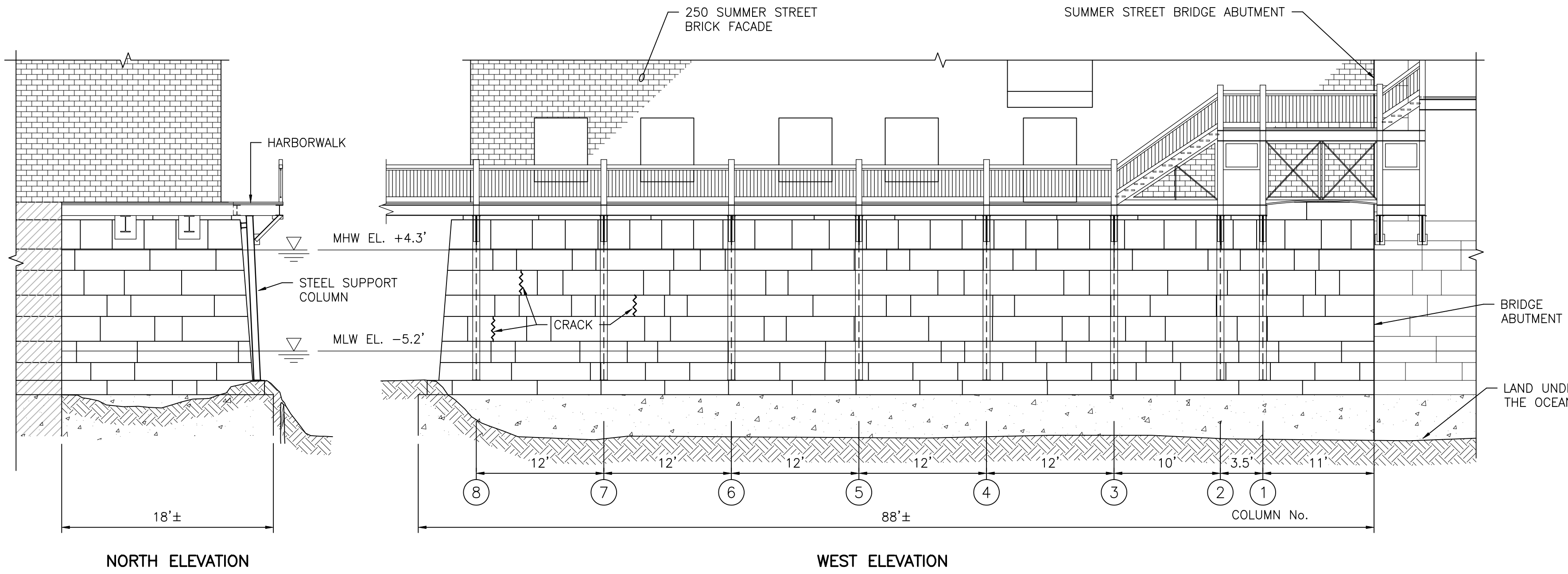
Designed by:	RMC	Date:	12/04/20
Drawn by:	TEQ	Design file no.:	202220 NOI-03
Checked by:	RMC	Scale:	AS NOTED
Reviewed by:	CMR		

SEAWALL REPAIRS  
250 - 253 SUMMER STREET  
BOSTON, MA

**SITE PLAN**

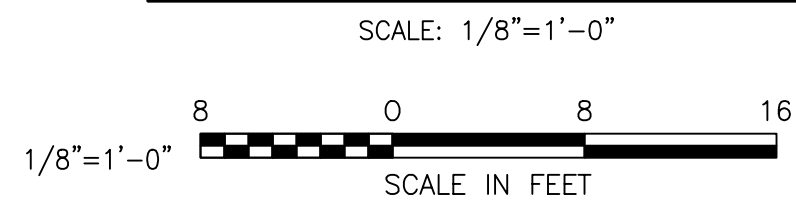
Sheet reference number:  
**NOI-03**  
Sheet 3 of 5

QUINT K:\2022-20.00 250 SUMMER ST REPAIRS - SYNERGY CADD\PERMIT DWG\NOI\292220 NOI-04 250 SUMMER ST.DWG Dec 04, 2020 - 10:21am

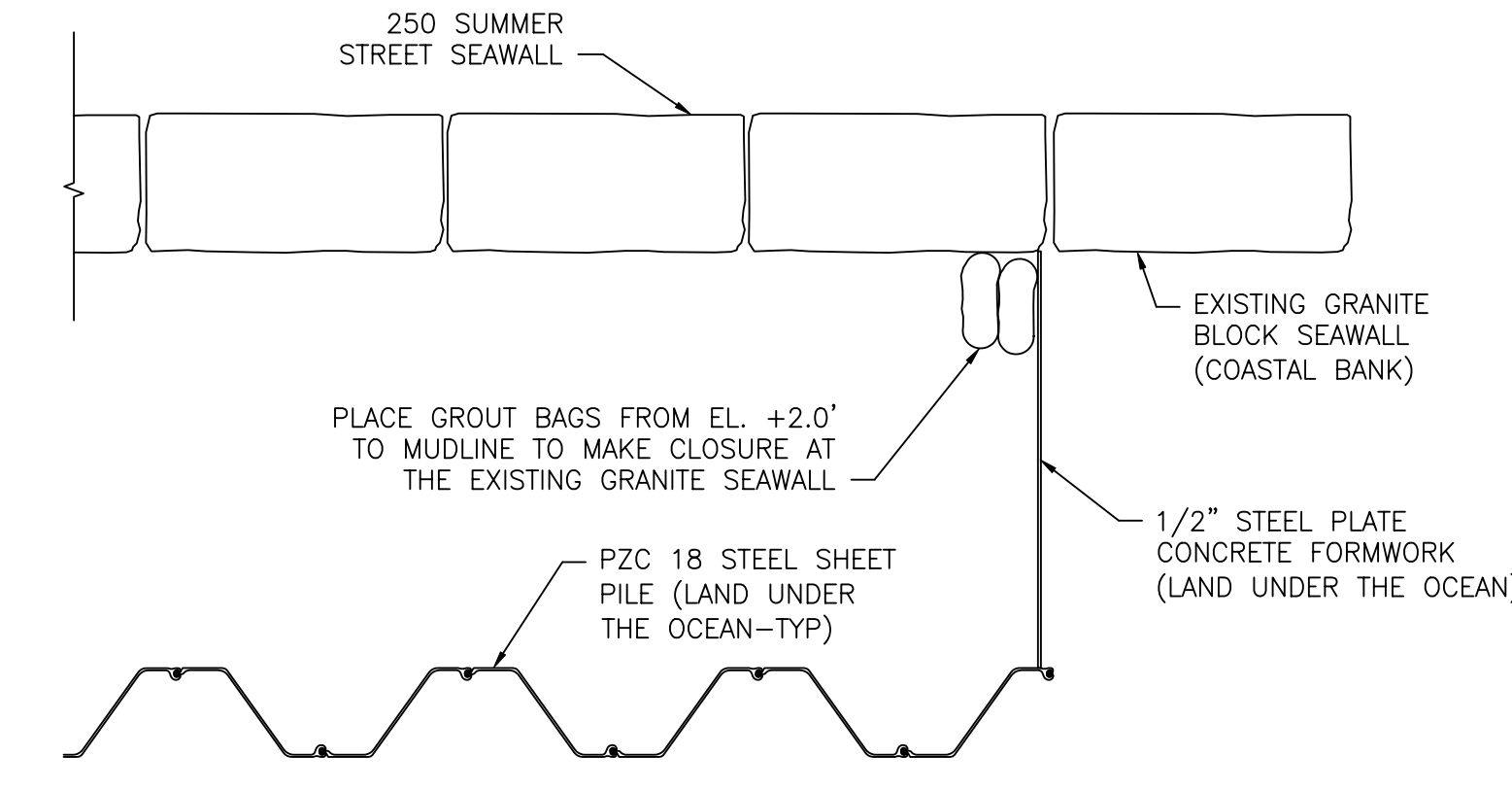


**NOTES:**  
 1. ELEVATIONS ARE IN FEET REFERENCED FROM MLW DATUM.

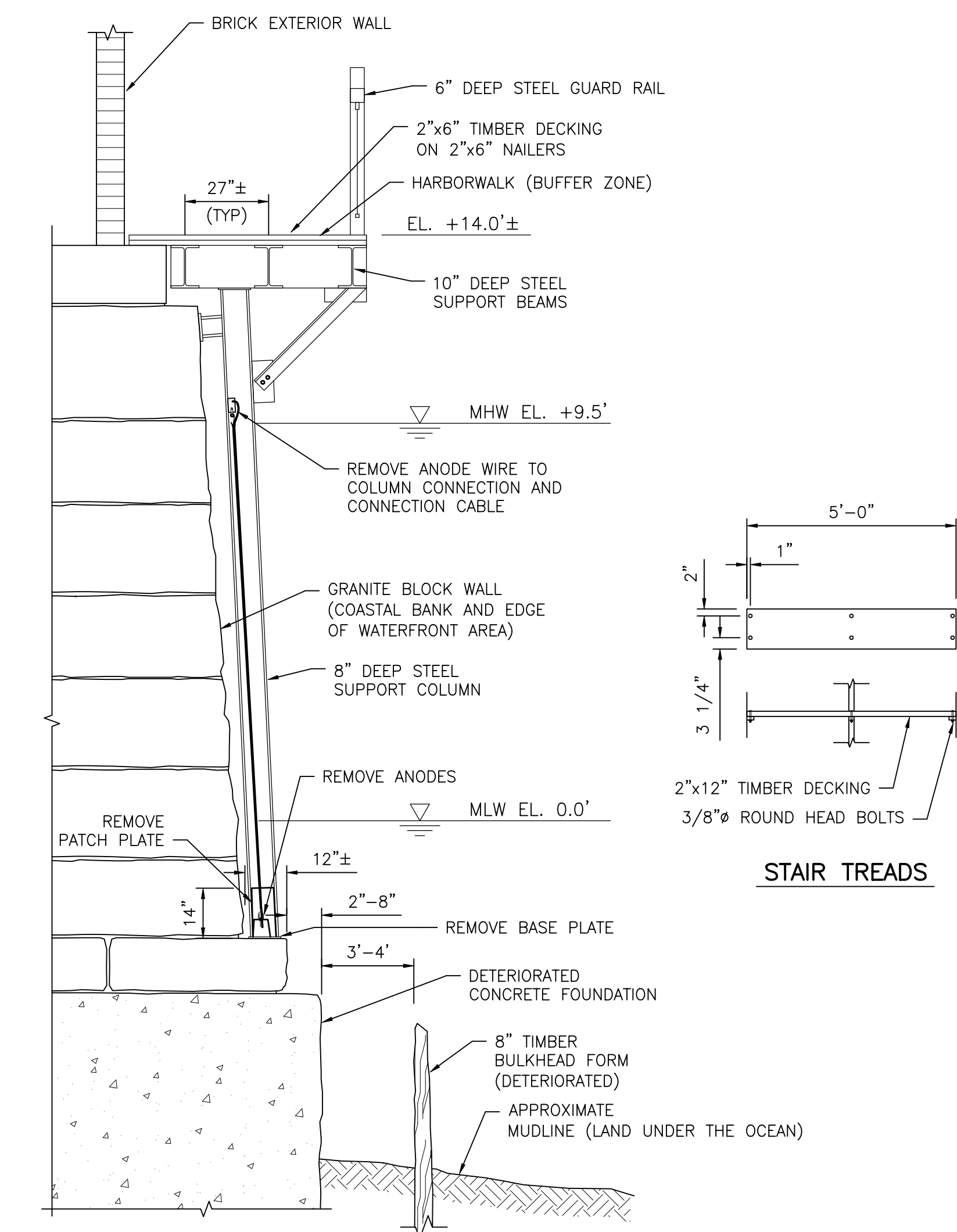
**250 SUMMER STREET ELEVATIONS**



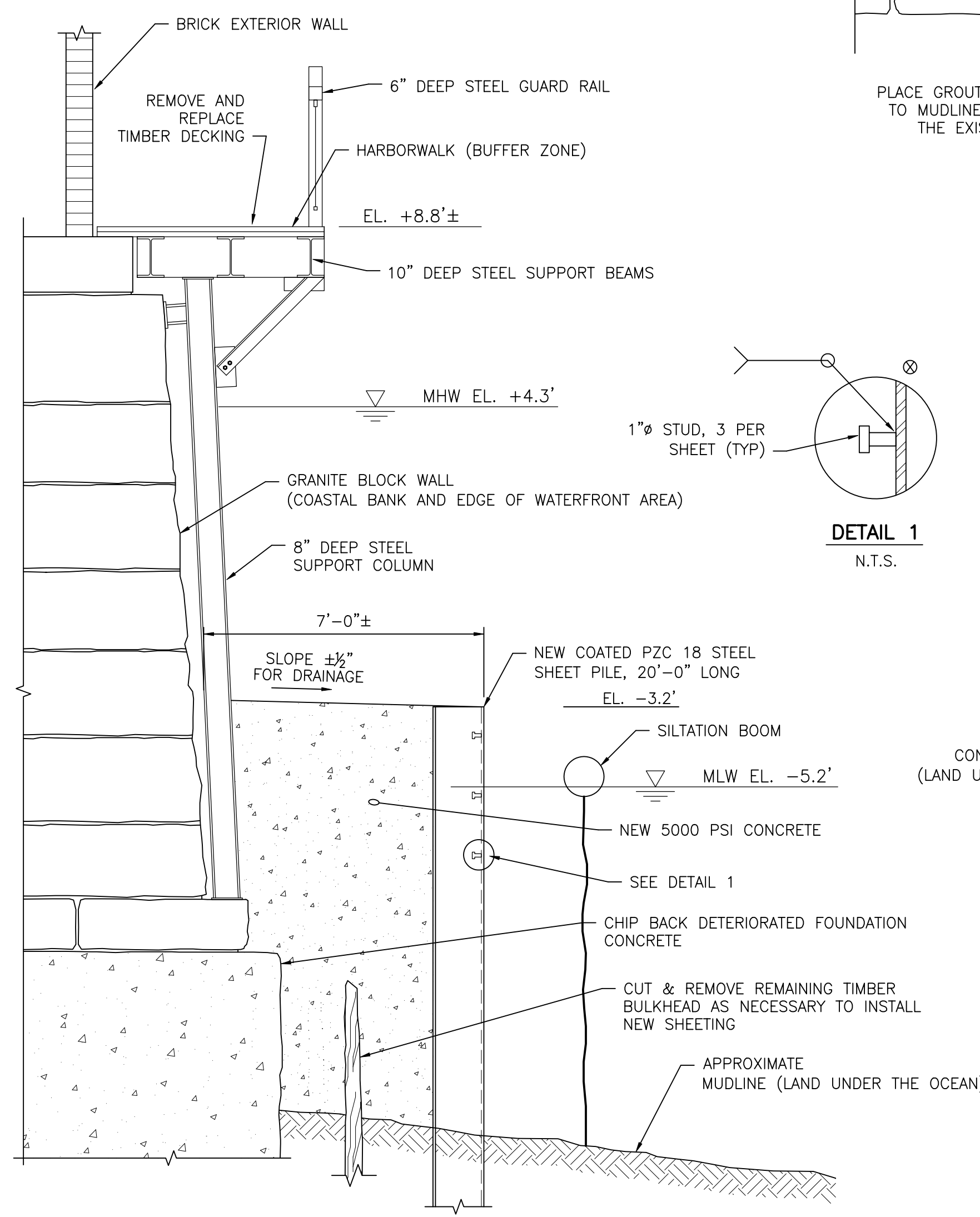
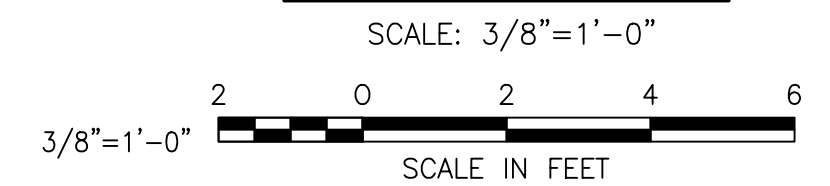
**REPAIRS:**  
 1. REGROUT SEAWALL AS NEEDED.



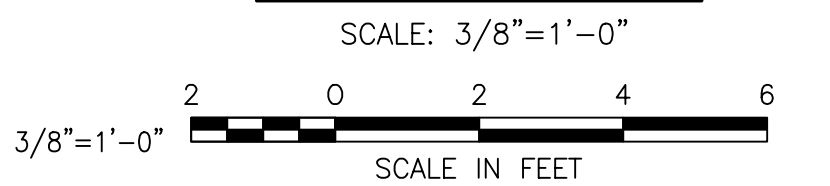
**A SHEET PILE CLOSURE DETAIL**  
 SCALE: 3/8"=1'-0"  
 3/8"=1'-0" SCALE IN FEET



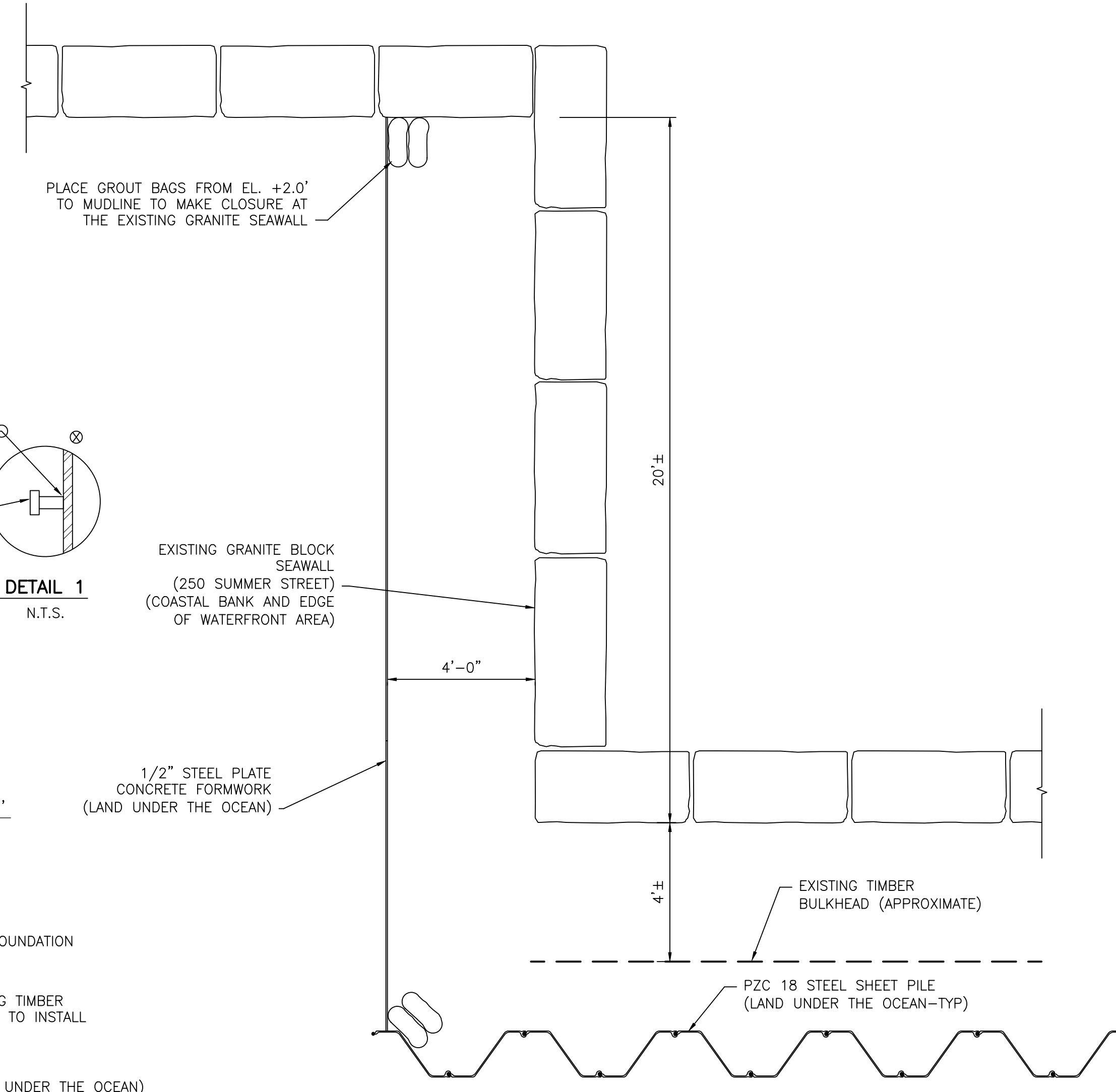
**EXISTING SECTION @ 250 SUMMER ST.**



**PROPOSED SECTION @ 250 SUMMER ST.**



**NOTES:**  
 1. DISTANCE BETWEEN SHEETPILE AND GRANITE BLOCKWALL CAN BE ADJUSTED BASED ON FIELD CONDITIONS.  
 2. TIMBER DECKING SHOULD BE CUT TO MATCH STONE SEAWALL FACE AND GUARD RAIL POSTS.



**B SHEET PILE CLOSURE DETAIL**  
 SCALE: 3/8"=1'-0"  
 3/8"=1'-0" SCALE IN FEET

**NOTE:**  
 CONTRACTOR SHALL INSTALL GROUT BAGS TO MAKE FULL CLOSURE WHERE STEEL SHEET PILE MEETS GRANITE WALL AT BOTH ENDS

**CHILDS ENGINEERING**  
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.  
 Phone: (508) 966-9992  
 E-mail: mail@childseng.com

**COMMONWEALTH OF MASSACHUSETTS**  
 CHARLES MARSHALL ROBERTS  
 CIVIL No. 90399  
 REGISTERED PROFESSIONAL ENGINEER

Date	Description	Mark	Appr.

Designed by:	RMC	Date:	12/04/20
Drawn by:	TEC	Design file no.:	292220 NOI-04
Reviewed by:	CMR	Scale:	AS NOTED

SEAWALL REPAIRS - 250 SUMMER STREET - BOSTON, MA  
 250 SUMMER STREET REPAIR DETAILS

Sheet reference number:  
**NOI-04**  
 Sheet 4 of 5

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# **APPENDIX D**

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Environmental Reviewer  
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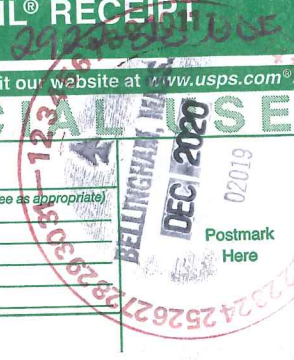
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Street \$

City, St \$

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BOSTON MA 02210



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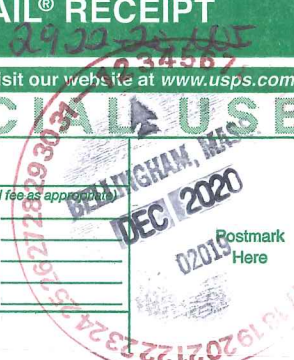
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BRIGHTON MA 02135



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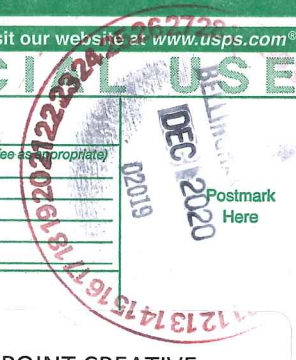
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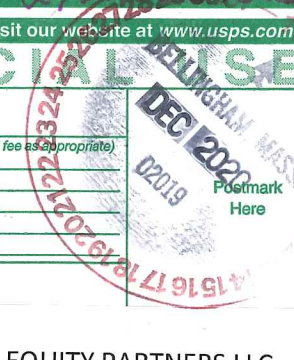
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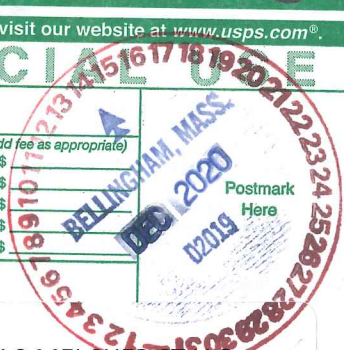
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<input type="checkbox"/> Adult Signature Required	\$
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Sent To PPF/SI 250 SUMMER STREET  
1585 BROADWAY 37 TH FL  
NEW YORK NY 10036

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Sent To CHILDRENS MUSEUM INC  
308 CONGRESS  
BOSTON MA 02210

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Sent To BOSTON REDEVELOPMENT  
1 CITY HALL PLAZA 9TH FLOOR  
BOSTON MA 02201

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0245 1101 8011 0000 0191 7020

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Sent To TWO 74 SUMMER STREET NOMINEE  
274 SUMMER ST  
BOSTON MA 02210

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7020 1810 0000 8011 0261

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
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Sent To TWO 81 SUMMER STREET  
Street and PO BOX 4900 - DEPT 207  
City, State SCOTTSDALE AZ 85261

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8200 1810 0000 8011 0274

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$  
Total Postage \$

Sent To CONGRESS VENTURES LLC  
Street and 303 CONGRESS ST  
City, State BOSTON MA 02210

PS Form 3800, April 2015 PSN 7530-02-000-9047



7020 1810 0000 8011 0292

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$  
Total Postage \$

Sent To TWO 74 SUMMER STREET NOMINEE  
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City, State BOSTON MA 02210

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4520 1810 0000 8011 0254

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Sent To 280 HOLDINGS LLC  
Street and 1963 COMMONWEALTH AVE #1  
City, State BRIGHTON MA 02135

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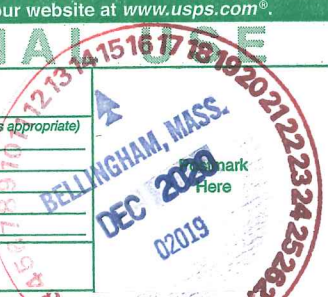
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<input type="checkbox"/> Adult Signature Required	\$
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Sent To SUMMER EQUITY PARTNERS LLC  
Street and 150 EAST 58TH ST SUITE #2000  
City, State NEW YORK NY 10155

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4420 1810 0000 8011 0414

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
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Street and 99 HIGH ST STE 801  
City, State BOSTON MA 02110

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