

Notice of Intent

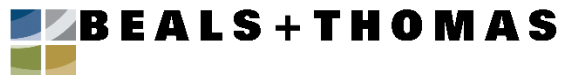
SUFFOLK DOWNS REDEVELOPMENT: Early Release Site Work

**William F. McClellan Highway
Boston, Massachusetts**



Prepared for:
**The McClellan Highway Development Company, LLC
c/o The HYM Investment Group, LLC
One Congress Street
Boston, Massachusetts**

Prepared by:



***Submitted in Compliance with the
Massachusetts Wetlands Protection Act and the
Ordinance Protecting Local Wetlands and
Promoting Climate Change Adaptation in The
City of Boston***

July 21, 2021



July 21, 2021

Boston Conservation Commission
c/o Nicholas Moreno, Executive Director
1 City Hall Square, Room 709
Boston, Massachusetts 02201

Via: Courier and Email to cc@boston.gov

Reference: Notice of Intent
Suffolk Downs Redevelopment:
Early Release Site Work
William F. McClellan Highway
Boston, Massachusetts
B+T Project No. 2854.28

Dear Commissioners:

On behalf of the Applicant, The McClellan Highway Development Company, LLC, Beals and Thomas, Inc. (B+T) respectfully submits this Notice of Intent (NOI) for work within Land Subject to Coastal Storm Flowage (LSCSF) as well as the 100-foot buffer zone to Bank and Bordering Vegetated Wetland (BVW). Work associated with this NOI will also occur within the local 25-foot Riverfront Area and 25-Foot Waterfront Area regulated under the *Ordinance Protecting Local Wetlands and Promoting Climate Change Adaptation in the City of Boston* (the "Ordinance"). Please refer to the enclosed information prepared by the Project Civil Engineer, Surveyor, and Wetland Scientist, Beals and Thomas, Inc. (B+T).

The proposed project ("Project") is located on the Boston portion of the Suffolk Downs Redevelopment Site at William F. McClellan Highway. The Project will surcharge future roadways and building pads and includes associated soil stockpiling, utility/fence/ancillary structures demolition and removal, and temporary realignment of Tomasello Drive. The surcharge work is necessary to reduce settlement of the future roadways, buildings and walkways. The enclosed narrative includes additional description of the surcharging process.

Only surcharging of the roadway layouts are included in this filing, not the development of any structures or construction of the roadways.

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c/o Nicholas Moreno, Executive Director
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In addition, this NOI establishes the Boston Master Plan Property (as defined in the Project Narrative enclosed in Section 2.0) in its current condition as the “existing condition” for future NOI filings associated with the redevelopment of Suffolk Downs. Any work proposed during the period between the filing of this NOI and the issuance of the associated Certificate of Compliance constitutes an interim condition. As part of the Master Plan Project, a significant amount of impervious surface is proposed to be removed. Therefore, in the event that the Project is not considered an interim condition, future development would otherwise be viewed as a loss of pervious area should each interim condition be considered a new “existing condition”, which is not appropriate given the magnitude and timeframe of the overall Suffolk Downs redevelopment.

This filing is submitted in accordance with the Massachusetts Wetlands Protection Act, MGL Chapter 131, Section 40 and Regulations thereunder at 310 CMR 10.00 (collectively referred to as the “Act”), as well as the aforementioned Ordinance.

As required, enclosed are the original (with original signature) and an additional copy of the NOI submission package. A digital copy of this filing has been forwarded to your office via e-mail as required. The following information is included for your review:

- Section 1.0: Notice of Intent Forms
- Section 2.0: Project Narrative
- Section 3.0: Abutter Information
- Section 4.0: Stormwater Management Information
- Section 5.0: Plans

As required, a copy of this filing has been provided to the Northeast Regional Office of the Massachusetts Department of Environmental Protection (MassDEP). Pursuant to requirements of the Act and Ordinance, abutters within 300 feet of the property within the City of Boston and City of Revere will be notified via certified mail, return receipt requested and proof of notification and translation provided to the Commission prior to the public hearing..

Enclosed are checks payable to the City of Boston in the amount of \$1,500.00 for the appropriate filing fee required by the City’s policy, as well as in the amount of \$550.00 for the filing fee required by the Ordinance. We understand that the City does not accept the local filing fee required by the WPA. A separate check in the amount of \$512.50 has been forwarded to the MassDEP Lock Box to cover the State portion of the filing fee. We understand that the Conservation Commission will coordinate legal notification of the hearing for this NOI in the newspaper, at least seven (7) days prior to the public hearing, and that B+T will be billed by The Boston Herald for this advertisement.

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As detailed further in the enclosed narrative, the proposed work will not have an unacceptable significant or cumulative adverse effect upon the Resource Area Values protected by the Ordinance. Therefore, we respectfully request that the Conservation Commission issue an Order of Conditions (OOC): 1) allowing the project to proceed; and 2) establishing today's site conditions as the existing condition for future NOI filings.

Should you have any questions regarding this matter or require additional information, please contact Jeff Heidelberg at Beals and Thomas, Inc. at (508) 366-0560. We thank you for your consideration of this NOI and look forward to meeting with the Commission at the August 4, 2021.

Very truly yours,

BEALS AND THOMAS, INC.



Jeffrey A. Heidelberg, PE
Manager, Urban Development

Enclosures

cc: Boston City Clerk (1 copy via Email)
MassDEP Northeast Regional Office (1 copy via Certified Mail and Email)
Revere Conservation Commission (1 copy via Certified Mail)
Douglas Manz, The McClellan Highway Development Company, LLC, c/o the HYM
Investment Group, LLC (1 copy via Email)
Michael Barowsky, The McClellan Highway Development Company, LLC, c/o the HYM
Investment Group, LLC (1 copy via Email)
Leo Rusk, The McClellan Highway Development Company, LLC, c/o The HYM Investment
Group, LLC (1 copy via Email)

MKS/eac/jah/shm/285428NI001

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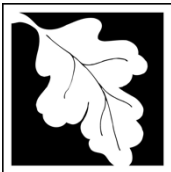
Section 1.0 **Notice of Intent Forms**

Notice of Intent (WPA Form 3)

Wetland Fee Transmittal Form

Boston Notice of Intent (Local Form)

Checklist for Filing a Notice of Intent with Boston Conservation Commission



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

William F. McClellan Highway
a. Street Address

Boston
b. City/Town

02128
c. Zip Code

Latitude and Longitude:
42° 23' 38" N
d. Latitude

71° 00' 13" W
e. Longitude

Parcel ID: 0102524000
f. Assessors Map/Plat Number

N/A
g. Parcel /Lot Number

2. Applicant:

Thomas
a. First Name

O'Brien
b. Last Name

The McClellan Highway Development Company, LLC
c. Organization

c/o The HYM Investment Group, LLC, One Congress Street
d. Street Address

Boston
e. City/Town

MA
f. State

02114
g. Zip Code

tobrien@hyminvestments.com
j. Email Address

h. Phone Number

i. Fax Number

3. Property owner (required if different from applicant): Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Jeffrey
a. First Name

Heidelberg
b. Last Name

Beals and Thomas, Inc.
c. Company

144 Turnpike Road
d. Street Address

Southborough
e. City/Town

MA
f. State

01772
g. Zip Code

(508) 336 0560
h. Phone Number

i. Fax Number

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$1,050.00
a. Total Fee Paid

\$512.50
b. State Fee Paid

\$537.50 (not accepted by City)
c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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Boston	
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A. General Information (continued)

6. General Project Description:

Early release site work for the Suffolk Downs redevelopment, consisting of surcharging select future roadways and building pads and associated soil stockpiling, utility/fence/ancillary structure demolition and removal, and temporary realignment of Tomasello Drive.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input checked="" type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

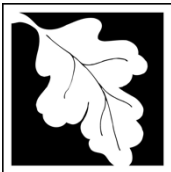
8. Property recorded at the Registry of Deeds for:

Suffolk	133905
a. County	b. Certificate # (if registered land)
_____	_____
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland _____	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	1,236,000	

	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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Provided by MassDEP:

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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

MassGIS May 2021

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

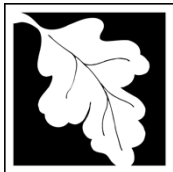
- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
- (a) within wetland Resource Area _____ percentage/acreage
- (b) outside Resource Area _____ percentage/acreage
2. Assessor's Map or right-of-way plan of site
2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
- (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
- (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and
the Cape & Islands:

North Shore - Hull to New Hampshire border:

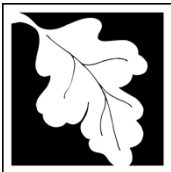
Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 Rumney Marshes ACEC
 b. ACEC
- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt: **No Stormwater Implications proposed, however relevant information is included in Section 4.0**
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

- 3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4. List the titles and dates for all plans and other materials submitted with this NOI.

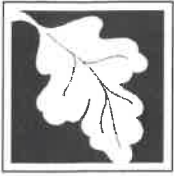
"Suffolk Downs Redevelopment: Early Release Site Work - Boston"	
a. Plan Title	
Beals and Thomas, Inc.	Jeffrey A. Heidelberg, PE
b. Prepared By	c. Signed and Stamped by
July 21, 2021	As noted
d. Final Revision Date	e. Scale
NOI narrative and attachments	July 21, 2021
f. Additional Plan or Document Title	g. Date
- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed. (Relevant stormwater information enclosed in Section 4)

E. Fees

- 1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

31666	July 21, 2021
2. Municipal Check Number	3. Check date
31667	July 21, 2021
4. State Check Number	5. Check date
Beals and Thomas, Inc.	
6. Payor name on check: First Name	7. Payor name on check: Last Name



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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

William F. McClellan Highway	Boston
a. Street Address	b. City/Town
31667	\$512.50
c. Check number	d. Fee amount

2. Applicant Mailing Address:

Thomas	O'Brien	
a. First Name	b. Last Name	
The McClellan Highway Development Company, LLC		
c. Organization		
c/o The HYM Investment Group, LLC, One Congress Street		
d. Mailing Address		
Boston	MA	02114
e. City/Town	f. State	g. Zip Code
	tobrien@hyminvestments.com	
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

a. First Name	b. Last Name
c. Organization	
d. Mailing Address	
e. City/Town	f. State
	g. Zip Code
h. Phone Number	i. Fax Number
	j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 3a.) site preparation	1	\$1,050.00	\$1,050.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
Step 5/Total Project Fee:			\$1,050.00
Step 6/Fee Payments:			
Total Project Fee:			\$1,050.00
			a. Total Fee from Step 5
State share of filing Fee:			\$512.50
			b. 1/2 Total Fee less \$12.50
City/Town share of filing Fee:			\$537.50 (not accepted by City)

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



A. GENERAL INFORMATION

1. Project Location

<u>William F. McClellan Highway</u> a. Street Address	<u>Boston</u> b. City/Town	<u>02128</u> c. Zip Code
<u>Parcel ID: 0102524000</u> f. Assessors Map/Plat Number	<u>N/A</u> g. Parcel /Lot Number	

2. Applicant

<u>Thomas</u> a. First Name	<u>O'Brien</u> b. Last Name	<u>The McClellan Highway Development Company, LLC</u> c. Company
<u>c/o The HYM Investment Group, LLC, One Congress Street</u> d. Mailing Address		
<u>Boston</u> e. City/Town	<u>MA</u> f. State	<u>02114</u> g. Zip Code
<u></u> h. Phone Number	<u></u> i. Fax Number	<u>tobrien@hyminvestments.com</u> j. Email address

3. Property Owner

<u></u> a. First Name	<u></u> b. Last Name	<u></u> c. Company
<u></u> d. Mailing Address		
<u></u> e. City/Town	<u></u> f. State	<u></u> g. Zip Code
<u></u> h. Phone Number	<u></u> i. Fax Number	<u></u> j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

<u>Jeffrey</u> a. First Name	<u>Heidelberg</u> b. Last Name	<u>Beals and Thomas, Inc.</u> c. Company
<u>144 Turnpike Road</u> d. Mailing Address		
<u>Southborough</u> e. City/Town	<u>MA</u> f. State	<u>01772</u> g. Zip Code
<u>(508) 336 0560</u> h. Phone Number	<u></u> i. Fax Number	<u>jheidelberg@bealsandthomas.com</u> j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

Early release site work for the Suffolk Downs redevelopment, consisting of surcharging select future roadways and building pads and associated soil stockpiling, utility/fence/ancillary structure demolition and removal, and temporary realignment of Tomasello Drive.

7. Project Type Checklist

- a. Single Family Home
- b. Residential Subdivision
- c. Limited Project Driveway Crossing
- d. Commercial/Industrial
- e. Dock/Pier
- f. Utilities
- g. Coastal Engineering Structure
- h. Agriculture - cranberries, forestry
- i. Transportation
- j. Other

8. Property recorded at the Registry of Deeds

<u>Suffolk</u>	_____	_____
a. County		b. Page Number
		133905
<u>c. Book</u>	_____	d. Certificate # (if registered land)

9. Total Fee Paid

<u>\$2,562.50</u>	<u>\$512.50</u>	<u>\$2,050.00</u>
a. Total Fee Paid	b. State Fee Paid	c. City Fee Paid

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes No

1. Coastal Resource Areas



Resource Area

- Coastal Flood Resilience Zone
- 25-foot Waterfront Area
- 100-foot Salt Marsh Area
- Riverfront Area

Resource Area Size

Proposed Alteration*

Proposed Mitigation

_____ Square feet	N/A - not yet defined by city _____ Square feet	_____ Square feet
_____ Square feet	_____ Square feet	_____ Square feet
_____ Square feet	_____ Square feet	_____ Square feet
_____ Square feet	_____ Square feet	_____ Square feet

2. Inland Resource Areas

Resource Area

- Inland Flood Resilience Zone
- Isolated Wetlands
- Vernal Pool
- Vernal Pool Habitat (vernal pool + 100 ft. upland area)
- 25-foot Waterfront Area
- Riverfront Area (impacts only within local RFA)

Resource Area Size

Proposed Alteration*

Proposed Mitigation

_____ Square feet	_____ Square feet	_____ Square feet
_____ Square feet	_____ Square feet	_____ Square feet
_____ Square feet	_____ Square feet	_____ Square feet
_____ Square feet	_____ Square feet	_____ Square feet
88,600 _____ Square feet	33,800 _____ Square feet	_____ Square feet
80,800 _____ Square feet	4,900 _____ Square feet	_____ Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

Environmental Protection Agency, Construction General Permit - to be submitted 30 days prior to construction

Planning and Development Agency, Article 80B Large Project Review and Development Plan Approval - received for Master Plan building and roadway layout

Boston Inspectional Services Department, Demolition Permits - to be submitted prior to demolition

Additional permits will be sought for the future roadways and buildings associated with the development of the Master Plan.



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhesp/nhregmap.htm>.

- Yes No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

Percentage/acreage of property to be altered:

(1) within wetland Resource Area _____
percentage/acreage

(2) outside Resource Area _____
percentage/acreage

Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

- Yes No

If yes, provide the name of the ACEC: Rumney Marshes ACEC _____

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.

- Applying for a Low Impact Development (LID) site design credits
- A portion of the site constitutes redevelopment
- Proprietary BMPs are included in the Stormwater Management System

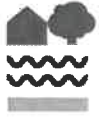
No. Check below & include a narrative as to why the project is exempt

- Single-family house
- Emergency road repair
- Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

No Stormwater Implications proposed, however relevant information is included in Section 4.0

5. Is the proposed project subject to Boston Water and Sewer Commission Review?

- Yes No



D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

Signature of Applicant

Date

Signature of Property Owner (if different)

Date

Signature of Representative (if any)

Date

Checklist for Filing a Notice of Intent with Boston Conservation Commission

In order for the Boston Conservation Commission to effectively process your Notice of Intent, BCC requests that you complete the checklist below and include it with your submission. If you should need assistance please contact Commission Staff: 617-635-3850 (cc@boston.gov).

Please Submit the Following to the Conservation Commission:

- Two copies (a signed original and 1 copy) of a completed Notice of Intent (WPA Form 3)
- Two copies (a signed original and 1 copy) of a completed Boston Notice of Intent (Local Form)
- Two copies of plans (reduced to 11" X 17") in their final form with engineer's stamp affixed supporting calculations and other documentation necessary to completely describe the proposed work and mitigating measures. Plans must include existing conditions, the proposed project, erosion controls and mitigation measures, grading and spot elevations and all wetland resource areas and associated buffer zones. Some projects may require both an aerial view of the plans along with a profile view of plans depending on the scope of work.
- Two copies of an 8 ½" x 11" section of the [USGS quadrangle map](#) of the area, containing sufficient information for the Conservation Commission and the Department to locate the site of the work.
- (If applicable) Two copies the Federal Emergency Management Agency Flood Insurance Rate Map for the project site. FEMA Flood Maps: <https://msc.fema.gov/portal>.
- Two copies of the determination regarding the Natural Heritage and Endangered Species Program: Review Section C. Other Applicable Standards and Requirements of the Notice of Intent, page 4 of 8, pertaining to wildlife habitat. The Conservation Commission and the [Natural Heritage & Endangered Species Program](#) have the maps necessary to make this determination.
- N/A (If applicable) Two hard copies of a Stormwater Report to document compliance with the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q), including associated drainage calculations for rooftops, parking lots, driveways, etc., for the required design storm events. No Stormwater Implications proposed, however relevant information is included in Section 4.0
- N/A (If applicable) A narrative detailing best management practices for stormwater management as set forth in the Stormwater Management Standards of the Massachusetts Department of Environmental Protection and any separate standards and guidelines prepared by the City and the Boston Water and Sewer Commission. No Stormwater Implications proposed, however relevant information is included in Section 4.0
- N/A (If applicable) Two hard copies of the Checklist for Stormwater Report
 - Details of the stormwater management system, including: catch basins, oil separating tanks, detention basins, outfalls, sewer connections, etc.
 - Any photographs related to the project representing the wetland resource areas.
 - Two copies of a detailed project narrative describing the following: an overview of the entire project, the work proposed within wetland resource areas and/or buffer zones; how the performance standards specific to the wetland resource areas will be met (listing out each performance standard); a consideration of the effect that projected sea level rise, changes in storm intensity and frequency, and other consequences of climate change may have on the resource areas and proposed activities; construction equipment and material involved; and measures to protect wetland resource areas and mitigate impacts. The applicant shall also include narrative on how they plan to integrate climate change and adaptation planning considerations into their project to promote climate resilience to protect and promote Resource Area Values and functions into the future.
 - Two copies of an Abutters List, Affidavit of Service and [Abutter Notification](#), filed concurrently with the Notice of Intent. Abutter notices shall be sent in both English and the second most commonly spoken language(s) in the neighborhood(s) where the project is proposed. Notices shall also include Babel notice cards for additional translation and language access services. [All abutters within 300' of the project](#)

Checklist for Filing a Notice of Intent with Boston Conservation Commission

[property line](#) must be notified including those in a neighboring municipality. In such an instance, a copy of the filing must also be sent to the local Conservation Commission of the neighboring municipality.
EXCEPTION: When work is in land under water bodies and waterways or on a tract of land greater than 50 acres, written notification must only be given to abutters within 300 feet of the “project site.”

- N/A Two copies of the BPDA Climate Resiliency Checklist (for new buildings). This can be completed online at <http://www.bostonplans.org/planning/planning-initiatives/article-37-green-building-guidelines>. Please print the pdf that you will receive via email after completion and include it in your submission.
- Electronic copies.** Documents may be submitted via email, or via an email link to downloadable documents.



To minimize the use of non-recyclable materials ***please do not include vinyl or plastic binders, bindings, folders or covers with the filing.*** Staples and binder clips are good choices.

Section 2.0
Project Narrative

2.0 PROJECT NARRATIVE

2.1 Introduction

The Suffolk Downs Redevelopment Project involves the phased redevelopment of an approximately 161-acre former thoroughbred horse racing facility located within East Boston and Revere (the “Master Plan Property”). Approximately 109 acres of the overall Suffolk Downs Redevelopment Project are located in Boston (the “Boston Master Plan Property”), and approximately 52 acres are located in Revere. The Boston Master Plan Property can be further identified as Boston Assessor’s Parcel 0102524000, and is generally bounded by William F. McClellan Highway and an oil tank facility to the west, the Orient Heights neighborhood to the south, MBTA tracks to the east, and the Boston/Revere City line to the north.

The overall Suffolk Downs Redevelopment project will transform the Master Plan Property from a previously disturbed and underutilized property isolated from surrounding neighborhoods into a dynamic mixed-use neighborhood with a network of public open spaces (the “Master Plan”).

To facilitate the development of the Boston Master Plan Property, this NOI proposes to advance early sitework. Specifically, surcharging of select future roadways and parcels will occur to facilitate advancement of the Suffolk Downs Redevelopment Master Plan. More specifically, this work will support the construction of the first Master Plan building in Boston, as well as connection to Suffolk Downs Boulevard. Associated erosion and sediment controls and demolition of surface features (e.g. fencing, sheds) and utilities is also proposed to accommodate the surcharging. These activities are collectively referred to as the “Project”. Associated erosion controls and stockpiling will also be undertaken. Similar site preparation and surcharge work is being proposed simultaneously in the Revere portion of the Master Plan Property; such work is not depicted on the enclosed plans.

In addition, this NOI establishes the Boston Master Plan Property in its current condition as the “existing condition” for future NOI filings associated with the redevelopment of Suffolk Downs. Any work proposed during the period between the filing of this NOI and the issuance of the associated Certificate of Compliance constitutes an interim condition. As part of the Master Plan Project, a significant amount of impervious surface is proposed to be removed. Therefore, in the event that the Project is not considered an interim condition, future development would otherwise be viewed as a loss of pervious area should each interim condition be considered a new “existing condition.” This is not appropriate given the magnitude and anticipated 15 to 20-year build-out of the overall Suffolk Downs redevelopment.

It should also be noted that the interim final condition of the work under this NOI may not be constructed. As development of the project progresses, a subsequent NOI may be filed prior to completion of the work proposed hereunder, changing the proposed interim final condition. Should this occur, such subsequent NOI would be filed prior to the completion of the work proposed herein, and that NOI would supersede these plans and documents when the additional OOC is issued. In this situation, the Applicant would submit a Request for COC for the relevant open Order of Conditions authorizing the work proposed in this NOI upon construction start of the subsequent Order of Conditions.

2.2 Existing Conditions

The proposed limit of work (the “Project Site”) is generally bounded by William F. McClellan Highway to the west, Tomasello Drive to the southwest, an intermittent stream along the property boundary to the southeast, and the Sales Creek system/Revere municipal boundary to the north/northeast. Please refer to the enclosed site plans and locus map in Section 5.0.

The majority of state-jurisdictional resource areas were previously confirmed by an Order of Resource Area Delineation (ORAD) issued by the Boston Conservation Commission on September 20, 2017 (MassDEP File No. 006-1546). A subsequent Order of Conditions (OOC) issued by the Boston Conservation Commission on February 22, 2018 (MassDEP File No. 006-1568) confirmed additional Bank delineation along the easterly portion of the Project Site. These confirmed resource areas are depicted on the accompanying plans in Section 5.0, and are summarized below:

- Portions of the Project Site lie within the current 100-year floodplain and are therefore regulated as Land Subject to Coastal Storm Flowage (LSCSF).
- Sales Creek, which is located to the northeast of the infield area along the Revere municipal boundary, has multiple associated resource areas including Bank, Bordering Vegetated Wetland (BVW), Land Under Waterbodies and Waterways (LUWW), and 25-foot Riverfront Area (RFA). The fringe of BVW consists largely of common reed (*Phragmites australis*). The Rumney Marshes Area of Critical Environmental Concern (ACEC) also extends along Sales Creek, with the associated limits being the extent of WPA jurisdiction, excluding the 100-year floodplain (LSCSF).
- The manmade Horseshoe Pond in the center of the infield area has Bank that consists of a rock/rip-rap edge, as well as Land Under Water Bodies and Waterways.

- An intermittent stream parallel to the eastern straightaway of the racetrack along the eastern Boston Master Plan Property boundary has associated Bank. This stream is identified as the “H Series” intermittent stream.
- A 100-foot buffer zone extends outward from Bank and BVW.

In addition to the above-described state-jurisdictional areas, features subject to regulation under the Ordinance are situated within the Boston Master Plan Property, and were included in the Central Common grading NOI, which was approved with an OOC issued on April 22, 2020 (MassDEP File No. 006-1721). Specifically, resource areas established by the Ordinance include a locally-jurisdictional RFA that extends 25 feet from the H-series intermittent stream, as well as a 25-foot Waterfront Area that extends horizontally from Bank and state and local RFA. Additionally, we understand that coastal wetlands pursuant to the Ordinance include Bank that is subject to coastal storm flowage. Therefore, the on-site banks of Sales Creek, the Horseshoe Pond, and the H-series intermittent stream are also local Coastal Bank.

The Project Site is not mapped as either Priority Habitats of Rare Species or Estimated Habitats of Rare Wildlife and no certified or potential vernal pools are present.



View looking north along Sales Creek



View looking west towards BVW north of Tomasello Drive across parking area (Note: area has been repaved, as previously approved by the Commission)



View of grandstand building from surface parking lot in one of the locations where surcharging is proposed; grandstand building to remain



View of H-Series intermittent stream east of project site



View looking north towards Horseshoe Pond

2.3 Proposed Conditions

Demolition/Utility Removal

Fencing, above- and underground utility infrastructure within the limits of future roads and associated right-of-ways, and other ancillary structures such as sheds in the vicinity of the proposed surcharge, will be demolished and removed from the Project Site. This work will be conducted within LSCSF, the 100-foot Buffer Zone to Bank and BVW, and the 25-foot Waterfront Area.

Demolition debris will be sorted and recycled when feasible or legally disposed of in regional landfills. Unpainted concrete will be crushed and reused on-site.

Surcharging

Due to the organic nature and compressibility of on-site soils, surcharging is necessary prior to construction of additional site improvements to achieve the proposed finished grades associated with roadways, infrastructure, buildings and walkways that will be constructed in future Master Plan phases. Surcharging entails raising the proposed roadway footprints and building pads to finished grade and then adding additional fill above the finished grade elevation. Material used for surcharge will be approved by the Project Geotechnical Engineer and Licensed Site Professional. The surcharge piles are monitored for settlement over a period of time. When settlement abates the surcharge is complete. The goal of the surcharge is to reduce settlement of the future roadways, infrastructure, buildings and walkways. Two to fifteen feet of surcharge fill will be placed over the proposed finished grades, as indicated on the enclosed plans, to pre-consolidate the compressible material underlying the limits of the future work. Where surcharging is proposed on existing parking areas, holes will be drilled in the pavement to allow for the movement of groundwater through the pavement layer.

Surcharge activities will be located within generally previously-disturbed areas of LSCSF, the 100-foot Buffer Zone to Bank and BVW, and the local 25-foot Waterfront Area and RFA.

Temporary Access

The scope of the surcharge includes the future realignment of Tomasello Drive. A portion of the realignment coincides with the location of the existing Tomasello Drive, at a higher grade. To ensure vehicular access is not disrupted, a temporary realignment of Tomasello Drive will be undertaken. This temporary access road does not lie within areas subject to the Commission's jurisdiction, but is described herein as part of the overall Project.

Stockpiling Activities

Soil and/or aggregate material stockpiles are proposed to be located on-site during this project. Stockpiling of excavated material was previously approved in association with the OOC for the Central Common grading, MassDEP File No. 006-1721, and the stockpiling associated with this application will generally be located within those same limits. Stockpile locations are identified on the plans enclosed in Section 5.0 and lie within the limit of work. Stockpiles will be secured with sediment control barriers and covered or stabilized when left untouched for greater than seven days. Stockpiles will be located outside of jurisdictional areas.

2.4 Required Filing Information

2.4.1 Wetland Resource Areas

Please refer to Section 2.2 for a discussion of the existing wetland resource areas on the property. A discussion of the work within wetland resource areas is provided below.

Land Subject to Coastal Storm Flowage (310 CMR 10.04)

Surcharging and demolition activities are proposed within LSCSF. The proposed surcharging will enable select roadways and buildings included in future phases of the Suffolk Downs Master Plan to be constructed above the modeled 2070 flood elevation so that the Suffolk Downs redevelopment is resilient to increased flooding from climate change. Please refer to subsequent sections of this NOI for a discussion of how the Project will not create erosion or poor water quality, pollute stormwater runoff, or result in a lack of flood control, which are the impacts that the Ordinance has identified as having a reasonable probability of occurring when work occurs in LSCSF.

While this area is currently mapped as LSCSF based on the current Flood Insurance Rate Map (FIRM) prepared by the Federal Emergency Management Agency (FEMA), the resiliency model indicates that the elevation of the 100-year floodplain is lower than that depicted by FEMA. The Applicant is in the process of obtaining a Letter of Map Revision (LOMR) from FEMA to revise the 100-year floodplain. We anticipate that the area in question will be removed from the floodplain by the LOMR.

Locally-Jurisdictional Riverfront Area

Surcharging activities are located within the 25-foot locally-jurisdictional RFA associated with the H-series intermittent stream. Please refer to Section 2.4.2 for a discussion of how the Project meets the RFA performance standards.

Waterfront Area

Surcharging and minor demolition activities are located within the 25-foot Waterfront Area associated with the Horseshoe Pond and the H-series intermittent stream. No structures or impervious surfaces are proposed within the Waterfront Area with this Project.

The work proposed within the Waterfront Area as part of this NOI will facilitate the construction of the Master Plan, which incorporates significant public access and restoration of non-invasive vegetative cover along the on-site wetland systems and within these Waterfront Areas. The unifying element of the Suffolk Downs Redevelopment Project is the public spaces including the streets, sidewalks, parks, and trails which are all woven together to make up the public realm. The Master Plan seeks to preserve 25% of the total site area as open space¹. At the core of the site is the Central Common, the defining 12-acre public space which serves as the community focal point with a broad range of landscaping environments and treatments. Within the Central Common is the Horseshoe Pond and associated Waterfront Area, which is proposed to have pathways and a public plaza proximate to it to support strolls and passive recreation. Proximate to the H-series intermittent stream a pathway is proposed to allow for greater public interface with existing and enhanced natural element. Future development within the Waterfront Area, including the above-described enhancements, will be addressed through future NOI filings.

Buffer Zone

Although not a state resource area, the 100-foot buffer zone is considered a local resource area. Surcharging and demolition activities are located within the 100-foot Buffer Zone to the BVW that lies northwest of Tomasello Drive, as well as within the Buffer Zone to Bank/BVW associated with Sales Creek, and Buffer Zone to Bank of wit the Horseshoe Pond and H-series intermittent stream.

¹ The 25% open space only includes the areas that are publicly accessible green space and plaza areas or natural areas. Significant additional area site-wide will be “open” (including future rights of way) in the sense that they will not include buildings.

The Ordinance indicates that activities in Buffer Zone have a reasonable probability of adversely impacting the associated wetland resource areas through erosion, siltation, loss of groundwater recharge, degraded water quality, loss of wildlife habitat, degradation of wetland plant habitat, alteration of hydrology, soil contamination, and proliferation of invasive plants. Appropriate erosion and siltation controls are proposed during the construction period, and the Project Site will be ultimately stabilized such that long-term erosion/siltation will not occur. The Project does not include new impervious surfaces, and in existing paved areas holes will be drilled in the pavement to allow for the movement of groundwater through the pavement layer. Water quality will not be degraded by the Project: existing on-site material will be used to raise the grades, and where imported soils are used they will be approved by the Project's Licensed Site Professional. No work is proposed within the wetland plant habitat. As discussed elsewhere herein, the property provides limited notable wildlife habitat value, and the future overall Suffolk Downs redevelopment will result in significant open spaces as well as enhanced natural resources through appropriate plantings and invasive species management. The overall redevelopment project has undertaken a comprehensive evaluation of hydrology and flooding considerations, and incorporates a significant resiliency design plan to protect on and off-site areas now and in the future. The early release site work proposed herein is one of the initial phases to set the stage for the future redevelopment in accordance with the resiliency mitigation strategy. Please refer to subsequent sections of this NOI for additional information.

Area of Critical Environmental Concern within the Buffer Zone

Although not itself a resource area, we understand that the City places greater importance on reviewing work in Areas of Critical Environmental Concern (ACEC) that are within the Buffer Zone. A limited area of surcharging and minor demolition activities are located within the Rumney Marshes ACEC. No pavement or other impervious areas are proposed within the ACEC at this time. Please refer to Section 2.4.2 for the information relating to ACEC's that is required by the Commission.

2.4.2 Performance Standards

Land Subject to Coastal Storm Flowage

Specific performance standards for LSCSF have not been adopted by either the State or City at this time. However, we understand based on the draft Phase II regulations that the City intends for this resource area to be significant to the Ordinance's protected interests/values of storm damage prevention, flood control, protection of wildlife habitat, prevention of pollution, and erosion and sedimentation control. These values are addressed in more detail throughout this NOI narrative. In summary, the proposed surcharging will enable the construction of certain roadways and buildings above the 2070 flood elevation, directly supporting the storm damage prevention and flood control interests. The grading associated with this Project is informed by the detailed Master Plan resiliency flood model. Limited wildlife habitat is located within the LSCSF due to its existing disturbed nature. Lastly, erosion and sedimentation controls are proposed between the proposed development and resource areas as indicated on the plans to preclude sedimentation of down-gradient resources, and the Project will not result in pollution.

Waterfront Area

Specific performance standards have not been established for work in the Waterfront Area. As discussed in Section 2.4.1, future NOI filings will address the proposed final condition within the Waterfront Area on the property.

Local Riverfront Area

No work is proposed within state-jurisdictional Riverfront Area. However, work proposed within locally-jurisdictional RFA associated with the H-series intermittent stream will meet the performance standards outlined in 310 CMR 10.58(4), as detailed below:

(a) Protection of Other Resource Areas:

The proposed work meets the performance standards (or other considerations where performance standards have not been established) for other resource areas as described in Sections 2.4.1 and 2.4.2 of this NOI.

(b) Protection of Rare Species:

The Master Plan Property is not located within mapped habitat for state listed plant or animal species. Accordingly, this performance standard is met.

(c) Alternatives:

A detailed alternatives analysis for the proposed Master Plan development was included in the Final Environmental Impact Report (FEIR) submitted to the Massachusetts Environmental Policy Act (MEPA) office on December 2, 2019. As outlined therein, maintenance of additional setbacks to resource areas result in the reduction of developable area and the elimination of associated public benefits such as construction of additional housing and publicly accessible open space.

There are few if any similarly-sized parcels situated as appropriately for the proposed mixed-use development. The Master Plan Property is located within a densely-developed urban area, and has largely been previously disturbed. Its location proximate to the Suffolk Downs and Beachmont MBTA stops is also ideal.

Furthermore, we note that the Master Plan Project was established, including associated MEPA and BPDA reviews, prior to adoption of the Ordinance, and therefore the Project Site did not originally contain local RFA. That said, the notable open space, resiliency, and natural resource components of the Suffolk Downs redevelopment make it well-suited to comply with the intent of the Ordinance, and the Applicant will continue to incorporate considerations from the Ordinance and associated Regulations as they are adopted into the overall redevelopment project.

(d) No Significant Adverse Impact:

- a. Limiting alteration to the maximum extent feasible, and at a minimum, preserving or establishing a corridor of undisturbed vegetation of a maximum feasible width. Replication and compensatory storage required to meet other resource area performance standards are allowed within this area; structural stormwater management measures shall be allowed only when there is no practicable alternative*

Alteration associated with the surcharging has been limited to the extent feasible to accommodate the proposed Master Plan layout of roadways and building parcels. No replication or compensatory storage or stormwater management measures are proposed within the 25-foot RFA at this time. The future character of the local RFA will be established in future NOI filings as roadways, buildings, and other Master Plan Project components are advanced.

b. Providing stormwater management according to standards established by the Department

The Project does not propose increased impervious area and accordingly does not have stormwater management implications. Detailed stormwater management calculations related to buildings and roadways proposed in future phases will be provided in applicable NOIs.

c. Preserving the capacity of the riverfront area to provide important wildlife habitat functions. Work shall not result in an impairment of the capacity to provide vernal pool habitat when identified by evidence from a competent source but not yet certified; and

The existing local RFA does not provide important wildlife habitat functions. Significant wildlife habitat features such as nest trees, trees with cavities greater than 18-inches in diameter, and turtle nesting areas, have not been observed on the Project Site. Additionally, no vernal pool habitat is located on-site.

d. Proposed work shall not impair groundwater or surface water quality by incorporating erosion and sedimentation controls and other measures to attenuate nonpoint source pollution.

Erosion and sedimentation controls will be incorporated as indicated on the enclosed plans to protect groundwater and surface water quality.

Buffer Zone

Specific performance standards for work in the Buffer Zone have not been established by the State or City. However, work within the Buffer Zone will not impact the associated resource areas' ability to protect the Interests and Values of the Act and Ordinance. Please refer to discussion elsewhere herein, in particular Sections 2.4.1 and 2.5.

Area of Critical Environmental Concern within the Buffer Zone

ACEC Information required by the Boston Conservation Commission filing guidance is provided below:

1. *A description and numerical value of the current and post-project impervious surface coverage*

There are presently no impervious surfaces in the ACEC within the Project Site, and no impervious surfaces are proposed within the ACEC at this time. Future impervious surfaces will be quantified in association with the applicable NOIs submitted for specific building and/or roadway work.

2. *A site plan detailing an inventory of trees and other vegetation*

The enclosed plans depict certain individual trees as well as treed areas. Notable trees are not present within the ACEC. Further, the majority of the ACEC in which work is proposed is presently under construction in association with the previously approved Central Common grading project. Additional areas outside of the Central Common grading limit of work are largely previously disturbed from the former racetrack use on the property. The invasive common reed (*phragmites australis*) dominates areas along Sales Creek.

3. *An assessment of the potential lighting and noise impacts from the proposal and mitigation measures that will be employed*

The proposed work will not generate lighting or noise outside of the construction period, with the exception of street lighting consistent with existing lighting along Tomasello Drive that will be provided as needed along the temporary vehicular access. Given the undeveloped nature of the Project Site, as well as the distance between the temporary access drive and residential properties, impacts from lighting are not anticipated. Construction activities will occur consistent with applicable City of Boston requirements.

4. *A description of current and post-project wildlife corridors and public access (where applicable)*

The Project Site is situated within a densely developed urban area. Given its currently open nature, it is likely that various wildlife travel within the property. With the exception of flight corridors for birds, wildlife corridors to areas outside the property may be limited due to the surrounding roads and train tracks. Similarly, waterway corridors along Sales Creek and within the ACEC are constrained by roadways, the train tracks, existing on and off-site culverts, and the Bennington Street pump station. The current Project will not impact what wildlife corridors may exist, and future development/building phases of the overall Master Plan will establish a significant connected network of open spaces, and will also daylight portions of Sales Creek.

The Project Site is not currently available for public recreation, and proposed activities will therefore not impact the recreation interest of the Ordinance. The Project Site is part of the larger Suffolk Downs Master Plan, which will provide over 40 acres of open space or 25% of the site area as publicly-accessible recreational opportunities, including areas within the ACEC.

5. *A land conservation plan or maintenance plan (where applicable)*

The Master Plan's open space outcome was presented informally to the Conservation Commission. The Applicant has committed to significant areas of open space for the Master Plan Project as described elsewhere herein. The early site work proposed with this NOI is necessary to facilitate the future redevelopment, which will include land conservation and maintenance plans of the open space areas as applicable. Such plans will include maintenance for park and other public open space areas, as well as invasive species management plans.

6. *An alternatives analysis describing all alternatives to the proposal as to minimize or eliminate adverse impacts to the protected resources.*

A detailed alternatives analysis for the proposed Master Plan development was included in the FEIR submitted to MEPA on December 2, 2019. These Master Plan alternatives were noted in the MEPA FEIR for the project to have approximately equal impacts to the ACEC.

2.4.3 Consideration of Climate Change and Resiliency

The Master Plan minimizes the negative impacts of climate change and other natural hazards by implementing a phased resiliency strategy. Future aspects of the Master Plan redevelopment will also build the capacity of resource areas to minimize the negative impacts of climate change by daylighting sections of Sales Creek, for example. As previously noted, the Project proposed with this filing represents advance site work to allow the future build-out of the Master Plan, which will realize numerous environmental benefits. In addition to the flooding resiliency plan described below, the overall Master Plan will also address extreme temperatures and drought from climate change, which will be addressed in future NOI filings for individual roadway and building developments. Further, the overall redevelopment also maintains hydrology to wetlands through a master planned stormwater management design, which considers future climate and precipitation increases.

The Master Plan resiliency design has been established through the implementation of a HEC-RAS model, which has been developed in coordination with the Massachusetts Office of Coastal Zone Management (MassCZM) and MassDEP. This model has been utilized to evaluate multiple scenarios and advanced storm events, including the 2070 advanced storm event with the Master Plan fully developed. The phases of the Master Plan were also evaluated individually to develop an implementation plan for the resiliency measures within the Boston Master Plan Property.

The primary objective of the resiliency plan is to help the property and surrounding area better accommodate future advanced storm events and to enhance the existing stormwater infrastructure present throughout the property. The Master Plan is location-dependent in that it requires connection to and work within the LSCSF to achieve the goals of increasing the overall Master Plan Project's resiliency to climate change, and in particular future storm events.

The first phase of the resiliency plan was permitted through OOC MassDEP File No. 006-1721 and construction is nearing completion. This work entailed lowering the Central Common by approximately six feet, enabling it to be directly connected to and become a part of the floodplain. Lowering of the Central Common supports various Master Plan phases, including this early release site work and will provide on-site flood storage in accordance with the overall resiliency design of the Master Plan.

The second phase of the resiliency plan includes the early release site work proposed herein; specifically to allow future roadways and building pads to be raised above the floodplain and future floodplain when constructed.

In addition to the grading components of the resiliency strategy, the Applicant has committed to raising first floor elevations to target an at-grade first floor elevations of 20.5 feet BCB for non-critical buildings and 21.5 feet BCB for critical buildings, infrastructure and ground floor residential space, per BPDA guidance, which provides one to two feet of freeboard above the projected 2070 base flood elevations. The proposed roadway elevations are raised from existing conditions to facilitate this goal. Achievement of these elevations will be facilitated by the surcharge work presented under this filing. Where such resiliency is not possible, the Applicant proposes internal building floodproofing. The proposed Master Plan grading incorporates compensatory flood storage. The overall Suffolk Downs climate change resiliency plan was reviewed as part of the BPDA and MEPA processes, and was previously presented informally to the Commission.

2.4.4 Construction Equipment and Material

Standard earthmoving and compacting equipment will be utilized for construction of the Project. On-site fill material will be used to raise the grades and imported soils approved by the Project's Geotechnical Engineer and Licensed Site Professional.

2.4.5 Avoidance, Minimization, and Mitigation for Work within Wetland Resource Areas

Multiple state and local resource areas are present on-site, including jurisdictional areas created by the Ordinance which was adopted after establishing the overall Master Plan with MEPA, and which was in-process with the BPDA at the time of Ordinance adoption. It is impracticable to avoid work in resource areas given their location and extent on-site and the Applicant's objective to redevelop the existing property into a vibrant mixed-use development that provides a unique opportunity to create additional housing, spur economic development, mitigate climate change impacts, and improve connections between several adjoining neighborhoods.

That said, the Master Plan, and thereby the early release site work that facilitates it, avoids, minimizes, and mitigates wetland resource area impacts by:

- Redeveloping a historically disturbed property;
- Reducing the footprint of work within and immediately adjacent to wetlands and waterways (no in-wetland/in-water work proposed with this filing);
- Improving the character of wetlands/waters (future NOIs will address Horseshoe Pond Bank improvements, invasive species management in and near wetlands, and daylighting of sections of Sales Creek, for example); and
- Focusing on the goals of the Ordinance, particularly regarding resiliency to climate change.

This Project is an initial site work phase to accommodate the future development and as such mitigation beyond construction period Best Management Practices (BMPs) is not warranted. With regard to the work outlined in this NOI specifically, it is generally located on previously developed and impervious portions of the property. Disturbed areas will be stabilized, and BMPs will be implemented during construction, such as the installation and management of erosion and sedimentation controls consisting of straw wattles with silt fence, stabilized construction entrances and other stabilization measures such as seeding. Also, soil stockpiles will be enclosed by straw wattles with silt fence, as well as stabilized when left untouched for greater than seven days. A construction waste management plan will be developed to remove, sort for recycling, and properly dispose of construction debris. Finally, on-site refueling of machinery will occur outside of resource areas.

2.5 Interests and Values of the Act and Ordinance

The following is a discussion of the relationship of the Project to the interests of the Act as defined by 310 CMR 10.01(2) and the Ordinance as defined by 7-1.4 (a). The Project is not anticipated to result in adverse impacts to the resource area interests or values as described below.

2.5.1 Protection of Public, Private and Surface Water and Groundwater Supply and Quality

The Project Site is not located within or tributary to a Zone I or II or other groundwater or drinking water supply area. Therefore, the public, private, surface, and ground water supply and quality interests and values will be upheld.

2.5.2 Short- and Long-term Coastal and Stormwater Flood Control, Storm Damage Prevention, and Flood Conveyance and Storage

Please refer to Section 2.4 for a discussion of how the Project addresses these interests and values. Succinctly, the Project is an early site work component that supports the overall Master Plan redevelopment resiliency strategy, and as such, the short- and long-term coastal and stormwater flood control, storm damage prevention, and flood conveyance and storage interests and values are addressed.

2.5.3 Prevention of Pollution and Erosion and Sedimentation Control

Material used for surcharge will be either sourced from on-site, or if off-site sources are used, a Licensed Site Professional will review and approve the material before it is placed.

Appropriate erosion and sedimentation control measures are proposed as depicted on the enclosed plans, and described herein. Furthermore, the Project will adhere to the Environmental Protection Agency's 2017 Construction General Permit (EPA CGP) as more than one acre of earthwork will occur.

Therefore, the pollution and erosion/sedimentation control interests and values will be upheld.

2.5.4 Protection of Fisheries, Shellfisheries, Rare and Endangered Plant and Animal Species and Habitat, Wetland Plant Habitat, and Wildlife Habitat

The proposed work area is previously disturbed and does not function as important wildlife, fish or shellfish habitat. Further, portions of the limit of work overlap with areas currently under construction in association with the previously authorized Central Common grading project. Impacts to vegetated wetlands are not proposed. There are no areas of mapped Natural Heritage & Endangered Species Program (NHESP) Estimated or Priority Habitat or certified or potential vernal pools within the Master Plan Property.

Further, the future Master Plan project will incorporate significant open space and wetland resource area enhancements. The proposed Project is a necessary advance sitework component to achieve the overall redevelopment and associated benefits.

Therefore, the fisheries, shellfisheries, Rare and Endangered Plant and Animal Species and Habitat, wetland plant habitat, and wildlife habitat interests and values will be maintained.

2.5.5 Recreation

The advance sitework proposed in this NOI is required to facilitate the overall Suffolk Downs Master Plan, which will provide 40 acres of open space, or 25% of the total property, for various forms of recreation and public access. As previously noted, the open space strategy was discussed with the Conservation Commission at a prior meeting on March 3, 2021, and open space areas proposed as part of future phases of the Master Plan will be addressed in forthcoming Notices of Intent. Accordingly, the Project upholds the recreational value of the Ordinance.

2.5.6 Protection of Public Health, Safety, and Welfare

The Project will employ standard construction procedures and safety measures to ensure the protection of public health, safety, and welfare.

2.5.7 Climate Change Impact Mitigation

Please refer to Section 2.4.3 for information regarding Climate Change Impact Mitigation. The Project will not result in adverse impacts to resource areas either as they currently exist or are reasonably anticipated to exist considering projected impacts of climate change.

Section 3.0 **Abutter Information**

Boston List of Abutters

Revere Certified List of Abutters

Evidence of Reasonable Effort to Identify Mailing Address for Government
Agencies and Subdivisions

Affidavit of Service for Abutter Notification *(to be provided prior to hearing)*

Notification to Abutters (English, Spanish, and Babel Notice) *(to be provided prior
to hearing)*

Translation Certification *(to be provided prior to hearing)*

145 BENNINGTON ST 101 3-27-15C-101 LUC: 102 RAMIREZ DORY E BURITICA 145 BENNINGTON ST UNIT 101 Revere, MA 02151	145 BENNINGTON ST 111 3-27-15C-111 LUC: 102 LAGREZE KEITH STEWART SANT'ANNA MEGAHN MORRIS 145 BENNINGTON ST UNIT 111 Revere, MA 02151	145 BENNINGTON ST 201 3-27-15C-201 LUC: 102 SEPULVEDA LUZ E 145 BENNINGTON ST UNIT 201 Revere, MA 02151
145 BENNINGTON ST 102 3-27-15C-102 LUC: 102 CORDISCO ANDREW 145 BENNINGTON ST UNIT 102 Revere, MA 02151	145 BENNINGTON ST 112 3-27-15C-112 LUC: 102 YANG LIN 145 BENNINGTON ST UNIT 112 Revere, MA 02151	145 BENNINGTON ST 202 3-27-15C-202 LUC: 102 JOYA JUAN 145 BENNINGTON ST UNIT 202 Revere, MA 02151
145 BENNINGTON ST 103 3-27-15C-103 LUC: 102 FARNSWORTH JUSTIN 145 BENNINGTON ST UNIT 103 Revere, MA 02151	145 BENNINGTON ST 113 3-27-15C-113 LUC: 102 KSHIRSAGAR PRIYAL S 145 BENNINGTON ST UNIT 113 REVERE, MA 02151	145 BENNINGTON ST 203 3-27-15C-203 LUC: 102 PHIN DAVID V 145 BENNINGTON ST UNIT 203 REVERE, MA 02151
145 BENNINGTON ST 104 3-27-15C-104 LUC: 102 MORENO LUIS 145 BENNINGTON ST UNIT 104 REVERE, MA 02151	145 BENNINGTON ST 114 3-27-15C-114 LUC: 102 BOUDIAB YASSINE 145 BENNINGTON ST UNIT 114 Revere, MA 02151	145 BENNINGTON ST 204 3-27-15C-204 LUC: 102 IKONOMI ERINDA 24 EL CANEY RD WORCESTER, MA 01603
145 BENNINGTON ST 105 3-27-15C-105 LUC: 102 PIOR GRACE M 145 BENNINGTON ST UNIT 105 Revere, MA 02151	145 BENNINGTON ST 115 3-27-15C-115 LUC: 102 TEJADA YEFERSON A VASQUEZ ABRIL ANGELA 145 BENNINGTON ST UNIT 115 Revere, MA 02151	145 BENNINGTON ST 205 3-27-15C-205 LUC: 102 BULLES KATHERINE 145 BENNINGTON ST UNIT 205 Revere, MA 02151
145 BENNINGTON ST 106 3-27-15C-106 LUC: 102 WU YIU WING 145 BENNINGTON ST UNIT 106 Revere, MA 02151	145 BENNINGTON ST 116 3-27-15C-116 LUC: 102 ZHAO YUE DING XIAOQING 145 BENNINGTON ST UNIT 116 Revere, MA 02151	145 BENNINGTON ST 206 3-27-15C-206 LUC: 102 TOUSSAINT DANIELA PIERRE 145 BENNINGTON ST UNIT 206 Revere, MA 02151
145 BENNINGTON ST 107 3-27-15C-107 LUC: 102 CARDONA NELSON 145 BENNINGTON ST UNIT 107 Revere, MA 02151	145 BENNINGTON ST 117 3-27-15C-117 LUC: 102 PERRY BRIAN MCMAHON KRISTINE 145 BENNINGTON ST UNIT 117 Revere, MA 02151	145 BENNINGTON ST 207 3-27-15C-207 LUC: 102 WELLMAN LYNN M 145 BENNINGTON ST UNIT 207 Revere, MA 02151
145 BENNINGTON ST 108 3-27-15C-108 LUC: 102 ST HILLIEN GUY-ROBERT ST HILLIEN MYRIAME 145 BENNINGTON ST UNIT 108 Revere, MA 02151	145 BENNINGTON ST 118 3-27-15C-118 LUC: 102 PRUITT MARK A DIAZ CESAR 145 BENNINGTON ST UNIT 118 Revere, MA 02151	145 BENNINGTON ST 208 3-27-15C-208 LUC: 102 PIQUES MARCO A 145 BENNINGTON ST UNIT 208 Revere, MA 02151
145 BENNINGTON ST 109 3-27-15C-109 LUC: 102 SHAH VISHAL SHAH KINNARI 145 BENNINGTON ST UNIT 109 REVERE, MA 02151	145 BENNINGTON ST 119 3-27-15C-119 LUC: 102 BABCHYCK DEBORAH A BABCHYCK BARRY M 145 BENNINGTON ST UNIT 119 Revere, MA 02151	145 BENNINGTON ST 209 3-27-15C-209 LUC: 102 PETILLO BRIDGETTE 145 BENNINGTON ST UNIT 209 Revere, MA 02151
145 BENNINGTON ST 110 3-27-15C-110 LUC: 102 KOUTROUBIS VASILIOS 14 LITTLE NAHANT RD NAHANT, MA 01908	145 BENNINGTON ST 120 3-27-15C-120 LUC: 102 LUELLA SURETTE IRREVOCABLE TRU NELSON SHARON TRUSTEE 145 BENNINGTON ST UNIT 120 Revere, MA 02151	145 BENNINGTON ST 210 3-27-15C-210 LUC: 102 TURNER DUSTIN L 145 BENNINGTON ST UNIT 210 Revere, MA 02151

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DATE: 7/19/21

145 BENNINGTON ST 211 LUC: 102 VERZILLI DAVID R 145 BENNINGTON ST UNIT 211 REVERE, MA 02151	3-27-15C-211	145 BENNINGTON ST 301 LUC: 102 RIOS DIEGO 145 BENNINGTON ST UNIT 301 Revere, MA 02151	3-27-15C-301	145 BENNINGTON ST 311 LUC: 102 BOCI TOMI 145 BENNINGTON ST UNIT 311 REVERE, MA 02151	3-27-15C-311
145 BENNINGTON ST 212 LUC: 102 BURNS EMILY J 145 BENNINGTON ST UNIT 212 Revere, MA 02151	3-27-15C-212	145 BENNINGTON ST 302 LUC: 102 SILVA CLAUDIA 145 BENNINGTON ST UNIT 302 Revere, MA 02151	3-27-15C-302	145 BENNINGTON ST 312 LUC: 102 STEIDEL NADIA STEIDEL GEORGE 145 BENNINGTON ST UNIT 312 Revere, MA 02151	3-27-15C-312
145 BENNINGTON ST 213 LUC: 102 BOROFSKY KENNETH N 145 BENNINGTON ST UNIT 213 Revere, MA 02151	3-27-15C-213	145 BENNINGTON ST 303 LUC: 102 LANE ANDREA 145 BENNINGTON ST UNIT 303 Revere, MA 02151	3-27-15C-303	145 BENNINGTON ST 313 LUC: 102 BELMONTE STEPHEN J 145 BENNINGTON ST UNIT 313 Revere, MA 02151	3-27-15C-313
145 BENNINGTON ST 214 LUC: 102 CHESLEY EVERETT A 145 BENNINGTON ST UNIT 214 Revere, MA 02151	3-27-15C-214	145 BENNINGTON ST 304 LUC: 102 RICH KENNETH RICH RACHEL 6 CABRAL DR MIDDLETON, MA 01949	3-27-15C-304	145 BENNINGTON ST 314 LUC: 102 ZHENG WENXIA XU LANG 145 BENNINGTON ST UNIT 314 REVERE, MA 02151	3-27-15C-314
145 BENNINGTON ST 215 LUC: 102 GOMEZ ANA M 145 BENNINGTON ST UNIT 215 REVERE, MA 02151	3-27-15C-215	145 BENNINGTON ST 305 LUC: 102 SABOUI RAMIN RAMIN SABOIN AKA RAMIN E 38 PLEASANT PARK RD WINTHROP, MA 02152	3-27-15C-305	145 BENNINGTON ST 315 LUC: 102 ANGILLY ROBERT 145 BENNINGTON ST UNIT 315 Revere, MA 02151	3-27-15C-315
145 BENNINGTON ST 216 LUC: 102 CONSTANTINO FILIPE 145 BENNINGTON ST UNIT 216 REVERE, MA 02151	3-27-15C-216	145 BENNINGTON ST 306 LUC: 102 SOM TINA TAM 145 BENNINGTON ST UNIT 306 Revere, MA 02151	3-27-15C-306	145 BENNINGTON ST 316 LUC: 102 SELIM EDRES A ADELY ENAAM Z 145 BENNINGTON ST UNIT 316 Revere, MA 02151	3-27-15C-316
145 BENNINGTON ST 217 LUC: 102 CASTELBLANCO VERONICA PLATA 145 BENNINGTON ST UNIT 217 Revere, MA 02151	3-27-15C-217	145 BENNINGTON ST 307 LUC: 102 FAN LI FAN WEI 983 MAIN ST WINCHESTER, MA 01890	3-27-15C-307	145 BENNINGTON ST 317 LUC: 102 KOSTA RAIMOND KOSTA BLERTA 145 BENNINGTON ST UNIT 317 Revere, MA 02151	3-27-15C-317
145 BENNINGTON ST 218 LUC: 102 SHERIKIAN KEGHAM KEVIN 145 BENNINGTON ST UNIT 218 Revere, MA 02151	3-27-15C-218	145 BENNINGTON ST 308 LUC: 102 KEVIN OMALLEY 221 MILLS AVE REVERE, MA 02151	3-27-15C-308	145 BENNINGTON ST 318 LUC: 102 KOUFU KARIKA 145 BENNINGTON ST UNIT 318 Revere, MA 02151	3-27-15C-318
145 BENNINGTON ST 219 LUC: 102 RODRIGUEZ JOSE LIFE ESTATE RODRIGUEZ PRICILA LIFE ESTATE 145 BENNINGTON ST UNIT 219 Revere, MA 02151	3-27-15C-219	145 BENNINGTON ST 309 LUC: 102 TAM HIG WAH 17 EVERETT ST MALDEN, MA 02148	3-27-15C-309	145 BENNINGTON ST 319 LUC: 102 LEUCI PAULA 145 BENNINGTON ST UNIT 319 Revere, MA 02151	3-27-15C-319
145 BENNINGTON ST 220 LUC: 102 SEIPIO SUSANA 145 BENNINGTON ST UNIT 220 REVERE, MA 02151	3-27-15C-220	145 BENNINGTON ST 310 LUC: 102 LOPES FERNANDA 19 COUNTRYSIDE LN READING, MA 01867	3-27-15C-310	145 BENNINGTON ST 320 LUC: 102 DECOFF THOMAS A 145 BENNINGTON ST UNIT 320 Revere, MA 02151	3-27-15C-320

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BENNINGTON ST 3-27-16A
LUC: 920
COMMONWEALTH OF MASSACHUSETTS
20 SOMERSET ST
BOSTON, MA 02108

BENNINGTON ST 3-27-16B
LUC: 920
COMMONWEALTH OF MASSACHUSETTS
20 SOMERSET ST
BOSTON, MA 02108

WASHBURN AVE 3-28-17C
LUC: 132
SD BEACHMONT, LLC
C/O THE HYM INVESTMENT GROUP, LLC
1 CONGRESS ST
11TH FLOOR
BOSTON, MA 02114

RAILROAD LOCATIO 3-28-18
LUC: 920
MASS BAY TRANS AUTHORITY
10 PARK PL
BOSTON, MA 02116

220 REVERE BEACH PKWY 4-80-14C
LUC: 390
MCCLELLAN HIGHWAY DEVELOPMENT COMPANY LLC
C/O HYM INVESTMENT GROUP LLC
1 CONGRESS ST
10TH FLR
BOSTON, MA 02114

LEE BURBANK HWY 5-120A1-1
LUC: 920
COMMONWEALTH OF MASSACHUSETTS
20 SOMERSET ST
BOSTON, MA 02108

36 LEE BURBANK HWY 1 5-120A1-2A-1
LUC: 920
MASSACHUSETTS PORT AUTHORITY
1 HARBOR SIDE DR
EAST BOSTON, MA 02128-2909

36 LEE BURBANK HWY 2 5-120A1-2A-2
LUC: 338
MASSACHUSETTS PORT AUTHORITY
1 HARBOR SIDE DR
SUITE 2005
EAST BOSTON, MA 02128

LEE BURBANK HWY 5-120B-21A
LUC: 420
TOSCO TERMINAL COMPANY
C/O IRVING OIL LTD
P O BOX 868
CALAIS, ME 04619 CANADA

41 LEE BURBANK HWY 5-120B-21B
LUC: 334
HESS REALTY LLC
C/O SPEEDWAY LLC
539 SOUTH MAIN ST
FINDLAY, OH 45840

BELLE ISLE INLET 5-80-1A
LUC: 420
IRVING OIL TERMINALS INC
C/O IRVING OIL LTD
P O BOX 868
CALAIS, ME 04619

BELLE ISLE INLET 5-80-1B
LUC: 920
MASSACHUSETTS PORT AUTHORITY
1 HARBOR SIDE DR
EAST BOSTON, MA 02128

LEE BURBANK HWY 5-80-2
LUC: 420
IRVING OIL TERIMINALS INC
ATTN: IRVING OIL LTD
P O BOX 868
CALAIS, ME 04619

WESTERLY SIDE OF 5-80-3
LUC: 420
IRVING OIL TERMINALS INC
C/O IRVING OIL LTD
P O BOX 868
CALAIS, ME 04619

49 LEE BURBANK HWY 5-80-4
LUC: 420
GLOBAL COMPANIES LLC
ATTN: TERMINAL OPERATIONS
800 SOUTH ST
SUITE 500
WALTHAM, MA 02454

36-40 FURLONG DR 1 6-80-10C-1
LUC: 344
TARGET CORPORATION T-1942
C/O PROPERTY TAX TPN-0950
P O BOX 9456
MINNEAPOLIS, MN 55440-9456

36-40 FURLONG DR 2 6-80-10D-2
LUC: 344
CEDAR-REVERE LLC
44 SOUTH BAYLES AVE
SUITE 304
PORT WASHINGTON, NY 11050-3767

51 LEE BURBANK HWY 6-80-5A
LUC: 420
GLOBAL COMPANIES LLC
ATTN; TERMINAL OPERATIONS
800 SOUTH ST
SUITE 500
WALTHAM, MA 02454

101 LEE BURBANK HWY 6-80-7A
LUC: 420
GLOBAL REVCO TERMINAL LLC
GLOBAL REVCO TERMINAL, LLC
140 LEE BURBANK HWY
Revere, MA 02151

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Last updated: 7/11/21

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Mailing Address

Massachusetts Port Authority
One Harborside Drive, Suite 200S
East Boston, MA 02128

Monday, July 19, 2021




Additional Details (optional)

Adding more details helps us more effectively respond to your concerns.

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Report Fraud, Waste, or Abuse



Section 4.0
Stormwater Management Information

TO: Boston Conservation Commission

FROM: Beals and Thomas, Inc.

DATE: July 21, 2021

REFERENCE: Stormwater Management Summary - Early Release Sitework Package
Suffolk Downs Redevelopment
Boston, Massachusetts
B+T Project No. 2854.28

The Project entails the surcharge of select future roadways and parcels to facilitate advancement of the Suffolk Downs Redevelopment Master Plan. Associated erosion and sediment controls and demolition of surface features and utilities is also included. The completed Project will represent an interim condition in which no new impervious area will be created.

The construction of the proposed surcharge piles will create an interim condition in which previously paved surfaces are converted into pervious area. Temporary sediment basins will be constructed as needed to treat and control stormwater during construction activities. Surcharge areas will be stabilized when construction activities cease for more than seven (7) days. Removal of existing utilities, including drains, is proposed within the vicinity of the surcharge operations. The removal of the drains will result in some on-site puddling, as on-site areas will be disconnected from the drainage systems.

In future phase(s) of the development, a new stormwater management system will be constructed to provide treatment and peak runoff rate attenuation for later development phases that include the finalization of the roadways and building construction. A subsequent Notice of Intent(s) (NOI(s)) will be filed for these phase(s) and will detail the proposed stormwater management system.

It is intended that the existing condition of the Boston Master Plan Property, as it stands today, will be considered the “existing condition” for future NOI filings associated with the redevelopment of Suffolk Downs. For example, any work proposed during the period between the filing of the NOI for this Project and the issuance of the associated Certificate of Compliance constitutes an interim condition. A significant amount of impervious surface is proposed to be removed in this filing, therefore, future development would otherwise be viewed as a loss of pervious area, should each interim condition be considered a new “existing condition”, which is not appropriate given the magnitude and timeframe of the overall Suffolk Downs redevelopment.

Civil Engineering ▪ Land Surveying ▪ Landscape Architecture ▪ Land Use Permitting ▪ Environmental Planning ▪ Wetland Science

The following summary details how this phase of construction complies with the Massachusetts Department of Environment Protection (MassDEP) ten Stormwater Standards.

STANDARD 1: **No new stormwater conveyance (e.g. outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.**

There will be no direct discharge of untreated stormwater to nearby wetlands or waters of the Commonwealth. A new stormwater conveyance system is not proposed as part of this Project.

STANDARD 2: **Stormwater management systems shall be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.**

As no new impervious area will be created under this phase, and portions of existing impervious area will be removed, peak runoff rates will be reduced. Additionally, due to the demolition of existing on-site drains puddling/detention of stormwater runoff will occur on-site, further reducing peak discharge rates.

STANDARD 3: **Loss of annual recharge to groundwater shall be eliminated or minimized through the use of environmentally sensitive site design, low impact development techniques, stormwater management practices and good operation and maintenance. At a minimum, the annual recharge from the post-development site shall approximate the annual recharge from pre-development conditions based on soil types. This Standard is met when the stormwater management system is designed to infiltrate the required recharge volume as determined in accordance with the Massachusetts Stormwater Handbook.**

The Project will create an interim condition in which previously paved areas are converted to pervious areas increasing the on-site opportunity for groundwater recharge.

STANDARD 4: **Stormwater management systems shall be designed to remove 80% of the average annual post-construction load of Total Suspended Solids (TSS).**

A new stormwater conveyance system is not proposed as part of this Project. The Project will be subject to the requirements of a Stormwater Pollution Prevention Plan that complies with the requirements of the NPDES Construction General Permit which will require erosion and sediment control measures such as the installation of sediment basins, construction tracking pads, silt sacks and stabilization.

STANDARD 5: For land uses with higher potential pollutant loads (LUHPPLs), source control and pollution prevention shall be implemented in accordance with the Massachusetts Stormwater Handbook to eliminate or reduce the discharge of stormwater runoff from such land uses to the maximum extent practicable.

The proposed Project is not associated with stormwater discharges from land uses with higher potential pollutant loads.

STANDARD 6: Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas. Critical areas are Outstanding Resource Waters, shellfish beds, swimming beaches, coldwater fisheries and recharge areas for public water supplies.

The Massachusetts Surface Water Quality Standards (314 CMR 4.00) indicates that both Sales Creek and the H-series intermittent stream are Class SA Outstanding Resource Waters (ORW). Pursuant to the Surface Water Quality Standards, these waters are designated as an excellent habitat for fish, other aquatic life, wildlife, and shall have an excellent aesthetic value.

Belle Isle Marsh consists of approximately 241-acres and is part of the larger Rumney Marsh Area of Critical Environmental Concern (ACEC). Belle Isle Marsh is designated as a shellfish growing area by the Division of Marine Fisheries but is currently listed as an area where shellfish growing is prohibited.

Both ORWs and shellfish growing areas are classified as critical areas.

In compliance with the NPDES Construction General Permit requirements for a critical area soil stabilization measures must be implemented immediately whenever earth-disturbing activities are temporarily or permanently ceased on any portion of the site. Earth-disturbing activities are temporarily ceased when clearing, grading, and excavation within any area of a site that will

not include a permanent structure will not resume for a period of seven (7) or more calendar days, but such activities will resume in the future. Additionally, the inspection of the erosion and sediment controls will occur once every seven (7) days and within 24 hours of the end of a storm event of 0.25-inch or greater.

STANDARD 7: **Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable. However, if it is not practicable to meet all the Standards, new (retrofitted or expanded) stormwater management systems must be designed to improve existing conditions.**

The Project complies with all standards of the Stormwater Management Handbook.

STANDARD 8: **A plan to control construction-related impacts during erosion, sedimentation and other pollutant sources during construction and land disturbance activities (construction period erosion, sedimentation, and pollution prevention plan) shall be developed and implemented.**

A Stormwater Pollution Prevention Plan (SWPPP) will be developed to comply with Section 3 of the NPDES Construction General Permit for Stormwater Discharges prior to construction; fulfilling the requirements of Standard 8.

STANDARD 9: **A Long-Term Operation and Maintenance (O&M) Plan shall be developed and implemented to ensure that stormwater management systems function as designed.**

The stabilization measures and BMP maintenance will be outlined in the SWPPP noted above. A Long-Term O&M Plan is not applicable to the current Project as a new stormwater management system will not be constructed. A Long-Term O&M Plan will be developed for subsequent construction phases (subject to future NOI(s)) that include the installation of new stormwater BMPs.

STANDARD 10: **All illicit discharges to the stormwater management system are prohibited.**

Memorandum
Boston Conservation Commission
July 21, 2021
Page 5

There are no proposed illicit discharges to the stormwater management system associated with the proposed Project.

EAC/shm/jah/285428MR001

Section 5.0 Plans

Figure 1 Locus Map
Figure 2 Aerial Map

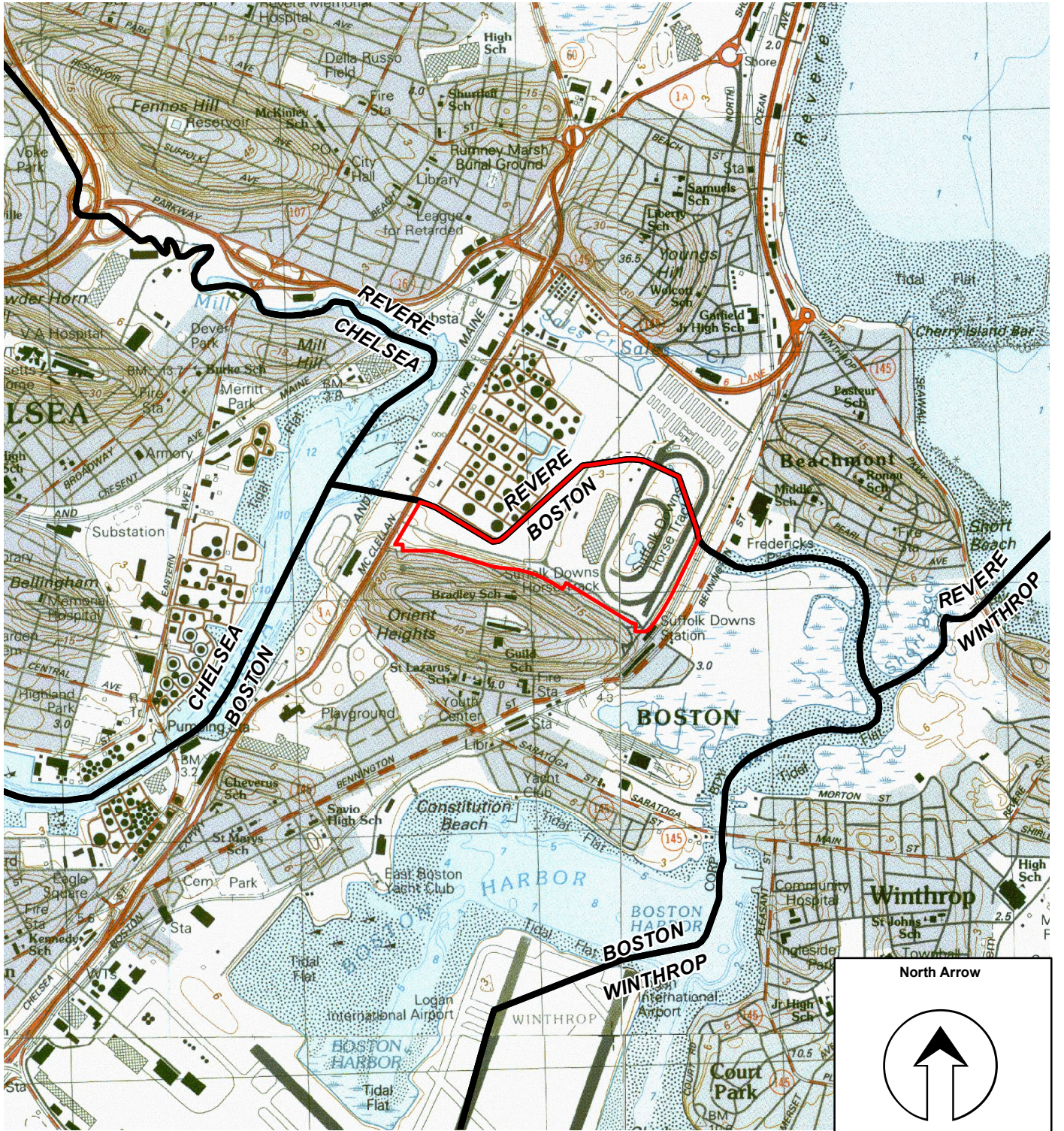
FEMA Flood Panels

Suffolk Downs Redevelopment: Early Release Site Work - Boston (REDUCED SIZE)

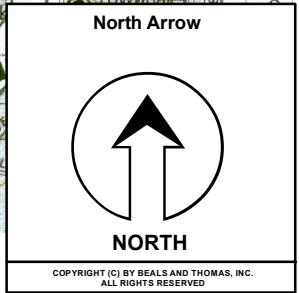
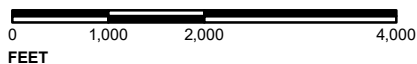
Prepared by Beals and Thomas, Inc.

In 23 Sheets

Dated July 21, 2021



Digital USGS Maps of Boston North and Lynn, MA, dated 1985, provided by the Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts Executive Office of Energy and Environmental Affairs.



PROJECT:
Suffolk Downs Redevelopment
Early Release Site Work
Boston, Massachusetts

PREPARED FOR:
The McClellan Highway
Development Company, LLC
One Congress Street
Boston, MA 02114

Locus Map
Figure 1

Scale: 1" = 2,000'

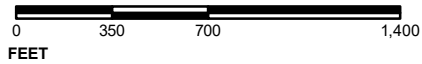
Date: 07/08/2021

Source File 285428P397A.mxd

B+T Project No. 2854.28



Digital orthophotograph, dated 2019, provided by the Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts Executive Office of Energy and Environmental Affairs.



North Arrow

NORTH

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PROJECT:
Suffolk Downs Redevelopment
Early Release Site Work
 Boston, Massachusetts

PREPARED FOR:
The McClellan Highway
Development Company, LLC
 One Congress Street
 Boston, MA 02114

Aerial Map
 Figure 2

Scale: 1" = 700' Date: 07/08/2021

Source File 285428P398A.mxd
 B+T Project No. 2854.28

National Flood Hazard Layer FIRMMette



71°0'43"W 42°23'51"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	
	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD	
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levees. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D

OTHER AREAS	
	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES	
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

OTHER FEATURES	
	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.5 Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

MAP PANELS	
	Digital Data Available
	No Digital Data Available
	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **7/15/2021 at 1:35 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

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National Flood Hazard Layer FIRMMette



71°0'17"W 42°23'51"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Profile Baseline
OTHER FEATURES		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

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SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON

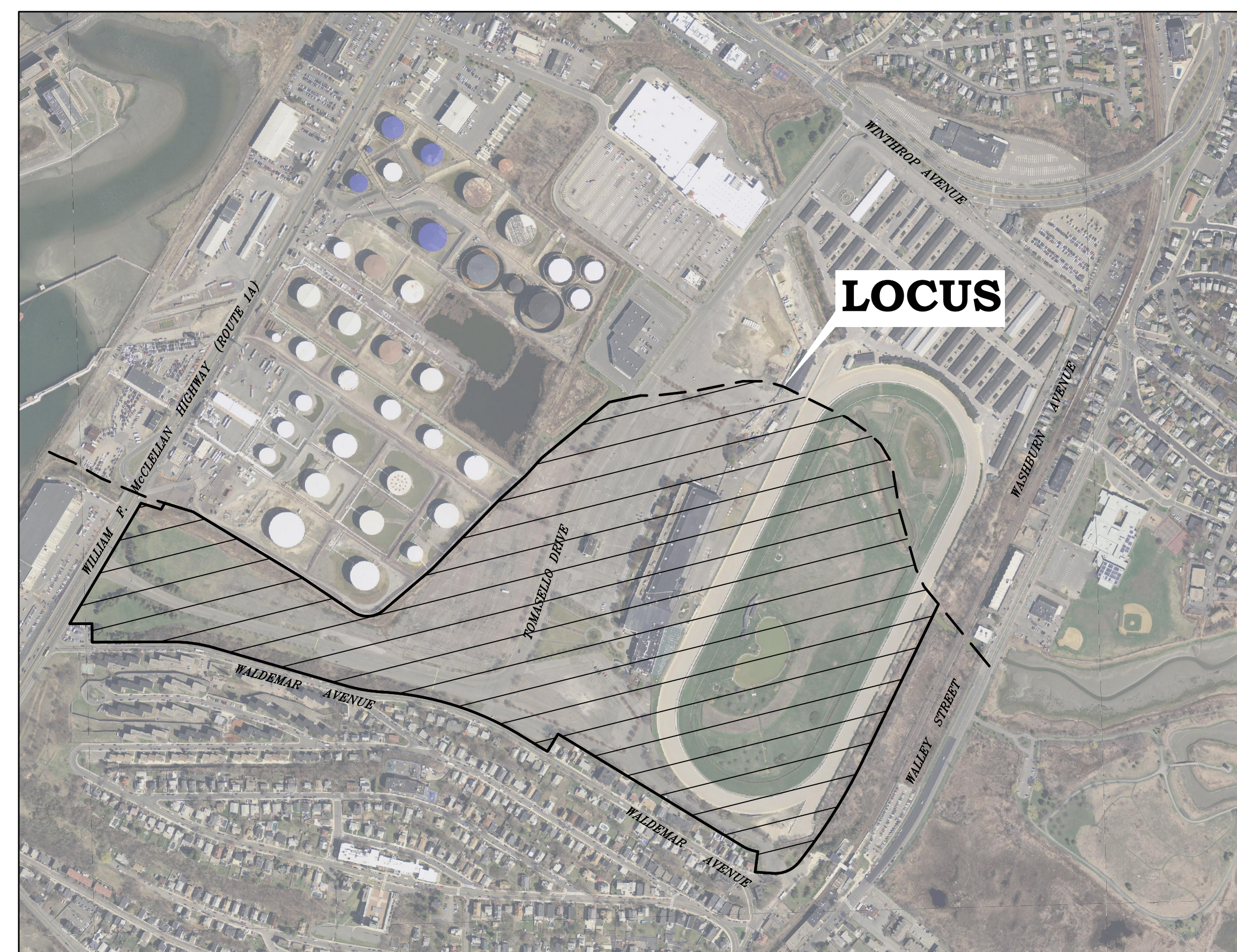
IN BOSTON, MASSACHUSETTS (Suffolk County)

OWNER/APPLICANT

The McClellan Highway Development Company, LLC
c/o The HYM Investment Group, LLC
One Congress Street
Boston, Massachusetts 02114

CIVIL ENGINEER/SURVEYOR AND WETLAND SCIENTIST

Beals and Thomas, Inc.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772



Locus Map
Scale: 1" = 500'



FOR PERMITTING - July 21, 2021

SHEET INDEX

	Cover Sheet
C1.0	Notes, References and Legend
C2.0	Index Plan
C3.0 - C3.5	Site Preparation and Sediment Control Plans
C4.0 - C4.5	Grading and Drainage Plans
C5.0	Site Details
GT1.0 - GT1.5	Surcharge Grading Plans
GT2.0	Surcharge Details



NOT ISSUED FOR
CONSTRUCTION

Job No.: 2854.28
Plan No.: 285428P391A-001
Sheet 1 of 23

GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND ARCHITECT AS REQUIRED.
2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
3. LIMIT OF WORK SHALL BE SEDIMENT CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.
4. PORTIONS OF THE DESIGNATED AREAS TO REMAIN THAT ARE DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR CONDITIONS PRIOR TO DISTURBANCE.
5. CONTRACTOR TO VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.
6. ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
7. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
8. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
9. FOR DRAWING LEGIBILITY, ALL EXISTING TOPOGRAPHIC FEATURES, EXISTING UTILITIES, PROPERTY BOUNDARIES, EASEMENTS, ETC. MAY NOT BE SHOWN ON ALL DRAWINGS. REFER TO ALL REFERENCED DRAWINGS AND OTHER DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION.
10. ALL EXCAVATORS OR CONTRACTORS MUST REFER TO 520 CMR 14.00 TO OBTAIN A TRENCH PERMIT PRIOR TO ANY CONSTRUCTION RELATED TRENCHES ON SITE.
11. ALL ELEVATIONS REFER TO THE BOSTON CITY BASE.
12. CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER AND THE ENGINEER FOR RESOLUTION.
13. PROTECT EXISTING PROPERTY MONUMENTS AND ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES.
14. EXISTING CONDITIONS AND TOPOGRAPHY DERIVED FROM "SUFFOLK DOWNS REDEVELOPMENT TOPOGRAPHIC PLANS" PREPARED BY BEALS AND THOMAS, DATED MARCH 3, 2020.

EROSION CONTROL AND SEDIMENTATION NOTES

1. A SEDIMENT CONTROL BARRIER SHALL BE INSTALLED BETWEEN THE PROPOSED DEVELOPMENT AND RESOURCE AREAS AS INDICATED IN THE PLAN PRIOR TO THE COMMENCEMENT OF WORK.
2. CONTRACTOR SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL MEASURES DURING ENTIRE CONSTRUCTION PERIOD.
3. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS OR TOMASELLO DRIVE SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
4. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION. STOCKPILING SHALL NOT OCCUR WITHIN THE RIVERFRONT AREA.
5. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF SITE.
6. PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.
7. SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.
8. ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND SHALL BE STOCKPILED ON SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
9. ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
10. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
11. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING CONSTRUCTION TO ENSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE SEDIMENT CONTROL BARRIERS ARE INTACT.
12. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR DURATION OF THE PROJECT AS APPROVED BY OWNER.
13. DUST SHALL BE CONTROLLED BY SPRINKLING, WATER TRUCK OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.
14. FILTER BAGS SHALL BE PROVIDED AND MAINTAINED IN ALL EXISTING DRAIN INLETS TO REMAIN PRIOR TO CONSTRUCTION ACTIVITIES TO CONTROL SILTATION.
15. ADDITIONAL STRAW BALES OR WATTLES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.
16. CLEAN AND MAINTAIN SEDIMENT CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.
17. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE WETLANDS.
18. TEMPORARY DRAINAGE SWALES TO BE CONSTRUCTED AS NECESSARY FOR THE PURPOSE OF DIRECTING STORMWATER RUNOFF TO TEMPORARY SEDIMENT BASINS.
19. IN SITUATIONS WHERE SOIL STOCKPILES OR OTHER UNVEGETATED AREAS WILL BE UNUSED FOR 7 DAYS OR LONGER, COVER OR TEMPORARY STABILIZATION SHALL BE PROVIDED.
20. VEHICLE WASHOUT AREA(S) TO BE LOCATED OUTSIDE OF 100-FOOT BUFFER ZONE.
21. INSTALLATION OF STABILIZATION MEASURES WILL BE COMPLETED AS SOON AS PRACTICABLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED.

GRADING, DRAINAGE AND UTILITY NOTES

1. UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES, ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE.
2. ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
4. ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES, GRADES AND OTHER SPECIFIC REQUIREMENTS OR SPECIFICATIONS OF THE CITIES OF BOSTON AND REVERE.
5. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
6. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
7. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES TO REMAIN FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION.
8. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
9. PITCH EVENLY BETWEEN SPOT GRADES.

LEGEND AND ABBREVIATIONS

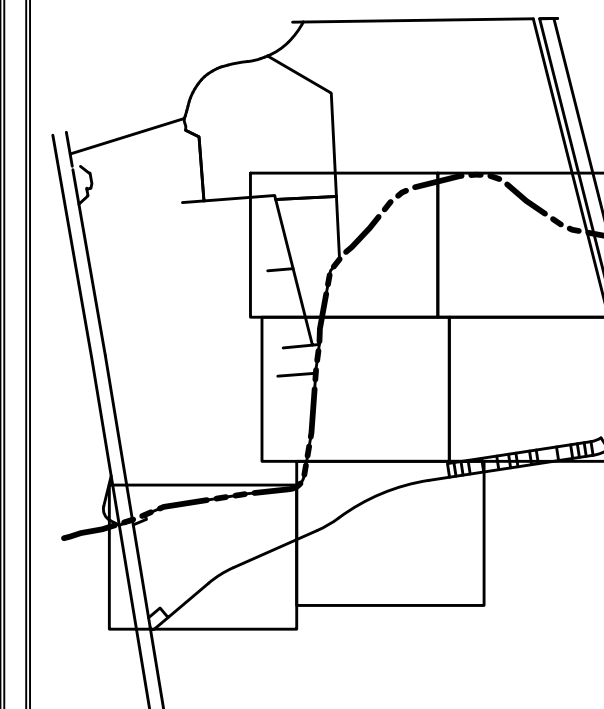
EXISTING	PROPOSED	PROPERTY LINE
		SEWER LINE/MANHOLE
		DRAIN LINE
		ROOF DRAIN LINE
		CATCH BASIN/DOUBLE CATCH BASIN
		WATER QUALITY INLET
		OUTLET CONTROL STRUCTURE
		FLARED END/INVERT
		CLEANOUT
		GAS LINE/GATE
		WATER LINE/GATE
		HYDRANT
		TELEPHONE LINE/MANHOLE
		ELECTRIC LINE/MANHOLE
		OVERHEAD WIRE
		LIGHT POLE
		UTILITY POLE
		GUY WIRE
		SIGN
		POST
		BOLLARD POST
		HAND HOLE
		CHAIN LINK FENCE
		GRANITE CURB
		BITUMINOUS CONCRETE BERM
		TREE
		BUILDING
		MINOR CONTOUR
		MAJOR CONTOUR
		HALF-FOOT INCREMENT CONTOUR
		SPOT ELEVATION
		AREA DRAIN
		BITUMINOUS CONCRETE
		BITUMINOUS CONCRETE BERM
		BENCHMARK
		CABLE TELEVISION
		CEMENT LINED DUCTILE IRON CONCRETE
		EDGE OF PAVEMENT
		GAS METER
		HEAD WALL
		HIGH DENSITY POLYETHYLENE
		POLYVINYL CHLORIDE
		RECORD INFORMATION
		REINFORCED CONCRETE PIPE
		ROOF DRAIN
		RIGHT-OF-WAY
		SLOPED GRANITE CURB
		ELECTRIC TRANSFORMER
		WATER QUALITY INLET
		STONE BOUND
		CONCRETE BOUND
		DRILL HOLE
		IRON PIN/IRON PIPE
		IRON ROD
		FOUND
		MONITORING WELLS
		BOUNDARY OF BORDERING VEGETATED WETLAND
		APPROXIMATE BOUNDARY OF BORDERING VEGETATED WETLAND
		BANK/BANK FLAG/ MEAN ANNUAL HIGH WATER
		25' RIVERFRONT AREA
		100-YEAR FLOOD ELEVATION
		100' BUFFER ZONE
		LIMIT OF WORK
		SEDIMENT CONTROL BARRIER
		LIMIT OF WORK
		SEDIMENT CONTROL BARRIER
		STABILIZED CONSTRUCTION ENTRANCE

PREPARED FOR:

The McClellan Highway Development Company, LLC
c/o The HYM Investment Group, LLC

ONE CONGRESS STREET
 BOSTON, MASSACHUSETTS 02114

LOCUS MAP
 NOT TO SCALE



NOT ISSUED FOR CONSTRUCTION

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PREPARED BY:



BEALS AND THOMAS, INC.
 Reservoir Corporate Center
 144 Turnpike Road
 Southborough, Massachusetts 01772-2104
 T 508.366.0560 | www.bealsandthomas.com



5			
4			
3			
2			
1			
0	07/21/2021 FOR PERMITTING		
	ISSUE DATE DESCRIPTION		
DES	DWN	CHK'D	APP'D

PROJECT:

SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON

BOSTON, MASSACHUSETTS

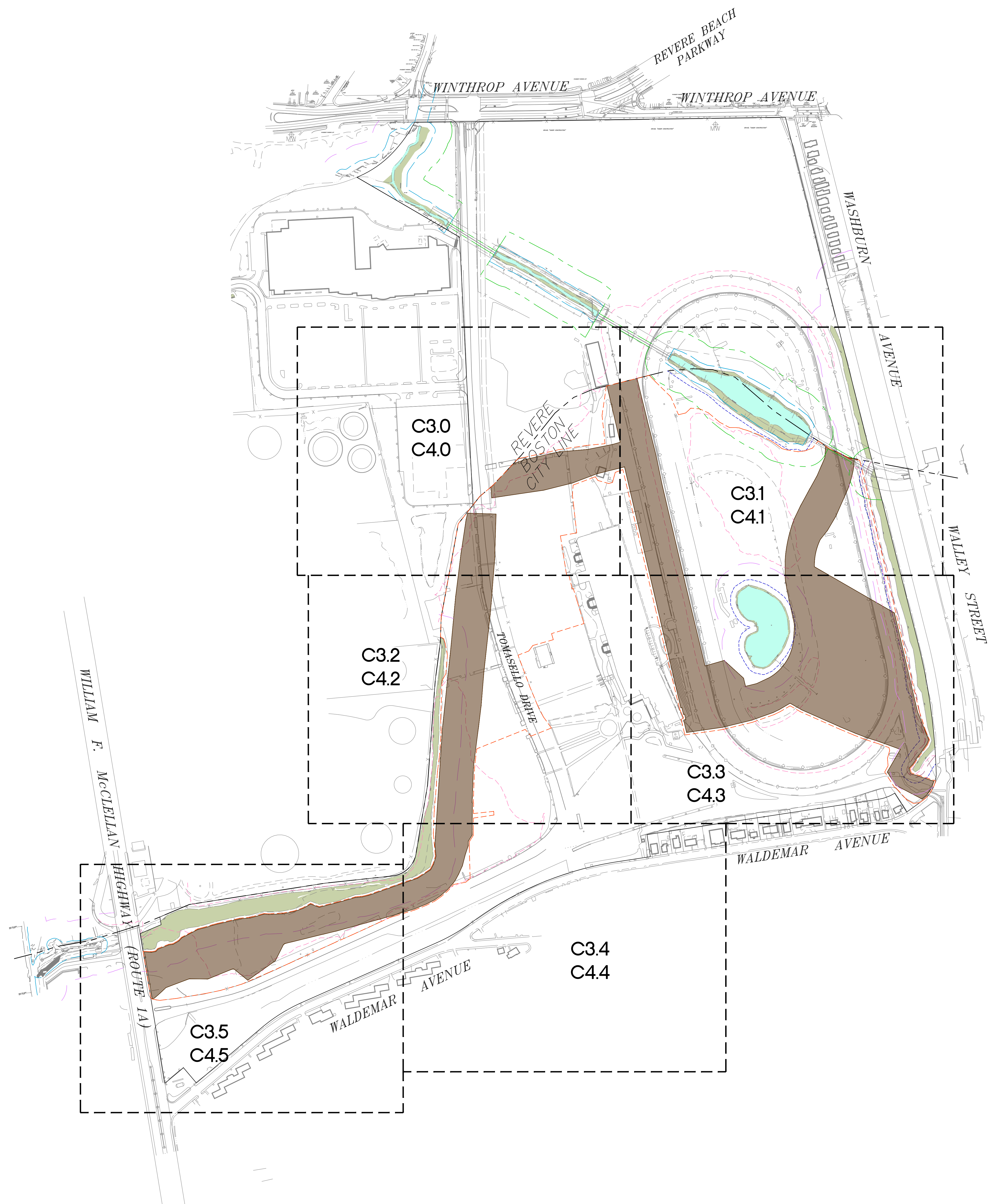
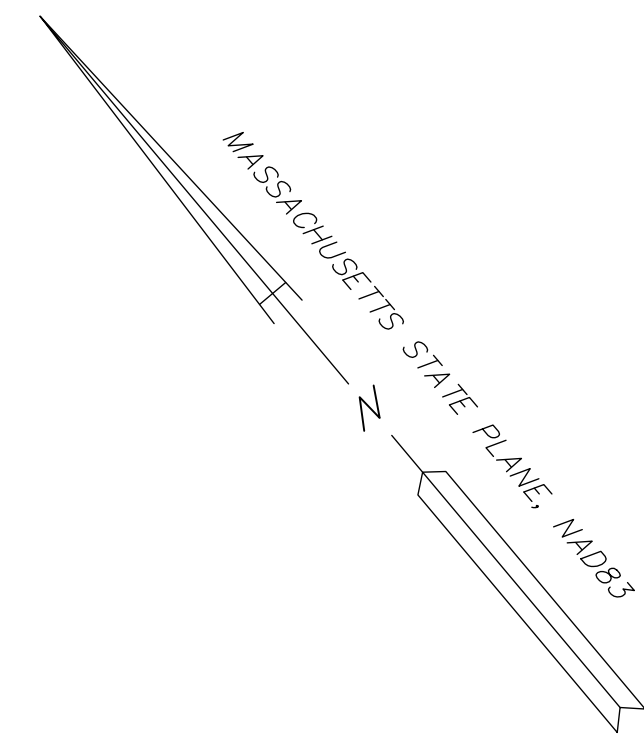
SCALE: AS SHOWN DATE: JULY 21, 2021

NOTES, REFERENCES AND LEGEND

B+T JOB NO.	2854.28	C1.0
B+T PLAN NO.	285428P391A-002	

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INDEX LEGEND

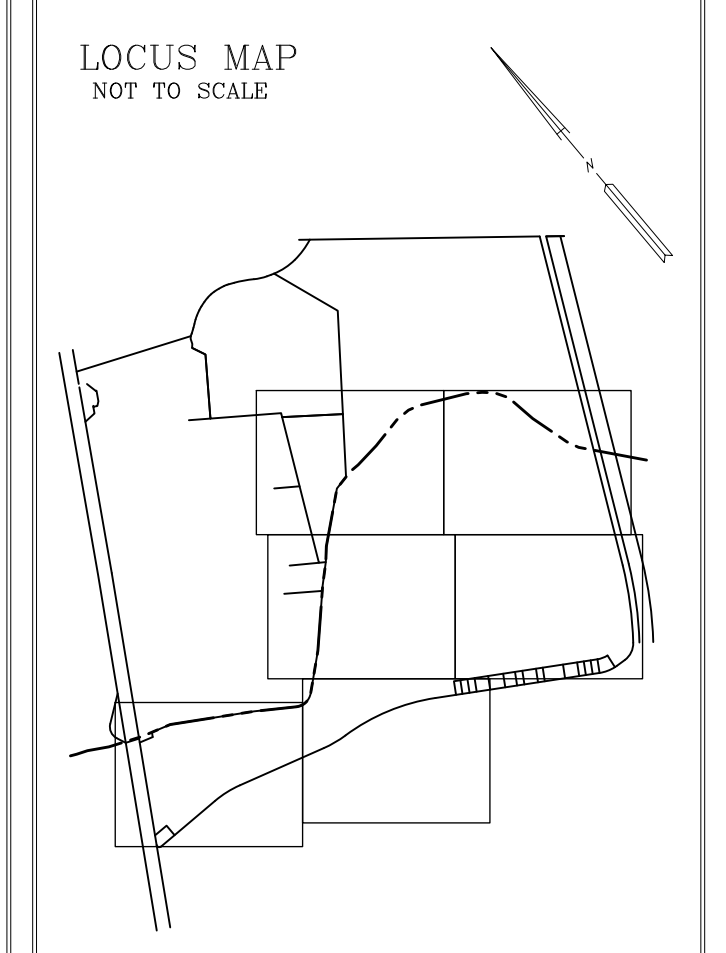
	EARLY RELEASE SITE WORK LIMIT OF WORK
	SURCHARGE AREA
	TOP OF BANK/MEAN ANNUAL HIGH WATER
	APPROXIMATE TOP OF BANK/MEAN ANNUAL HIGH WATER
	BOUNDARY OF BORDERING VEGETATED WETLAND
	APPROXIMATE BOUNDARY OF BORDERING VEGETATED WETLAND
	BANK/BORDERING VEGETATED WETLAND
	100' BUFFER ZONE/AREA OF CRITICAL ENVIRONMENTAL CONCERN
	100' BUFFER ZONE
	LOCAL 25' WATERFRONT AREA
	STATE-JURISDICTIONAL 25' RIVERFRONT AREA
	LOCAL 25' RIVERFRONT AREA
	WATER BODIES
	100-YEAR FLOODPLAIN (LAND SUBJECT TO COASTAL STORM FLOWAGE)
	PROPERTY LINE

NOTE: INFORMATION SHOWN ON THIS INDEX SHEET IS FOR INFORMATIONAL PURPOSES. REFER TO REMAINING PLAN SET FOR DETAILED INFORMATION.

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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

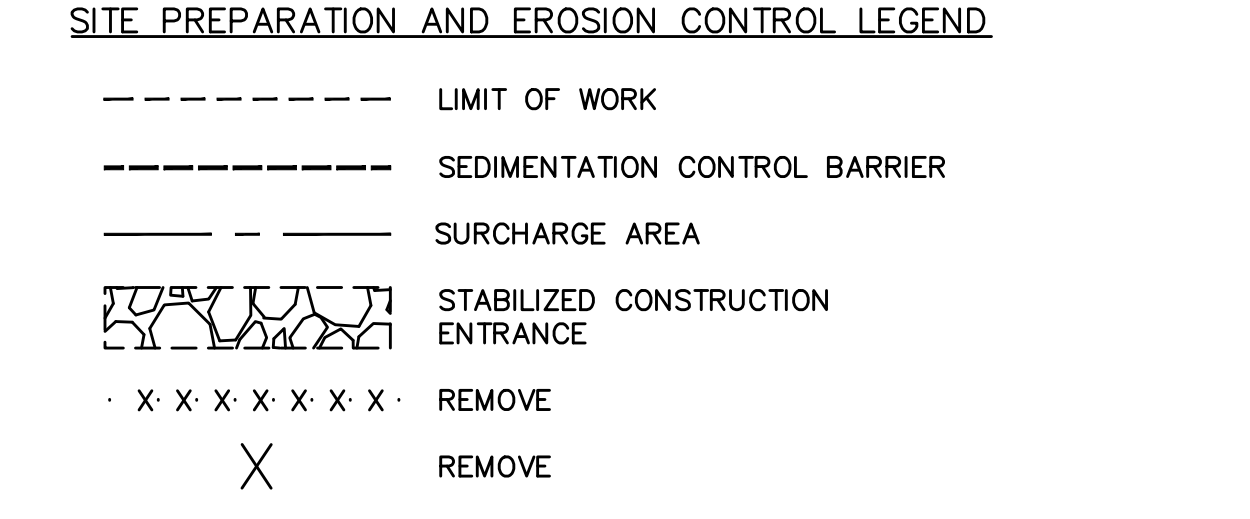
SCALE: 1" = 200' DATE: JULY 21, 2021

INDEX SHEET

B+T JOB NO.	2854.28	C2.0
B+T PLAN NO.	285428P392A-001	



- SITE PREPARATION AND SEDIMENT CONTROL NOTES**
- CONTRACTOR SHALL INSTALL SEDIMENT TRACKING PADS AT ALL CONSTRUCTION EXITS.
 - FILTER BAGS SHALL BE INSTALLED IN ALL CATCH BASINS TO REMAIN.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE SEDIMENT BASINS WITH A MIN. VOLUME OF 3600 CF PER ACRE OF DISTURBANCE. CONTRACTOR SHALL INSTALL TEMPORARY FILTER RISERS AND OUTLET PIPES AS NEEDED.
 - OWNER TO COORDINATE WITH CONTRACTOR ON STRUCTURE(S) TO REMAIN.
 - THE SITE IS AN ACTIVE CONSTRUCTION SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.



SEE SHEET C1.0 FOR NOTES, REFERENCES, AND LEGEND.

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LOCUS MAP
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PROJECT:

SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON

BOSTON, MASSACHUSETTS

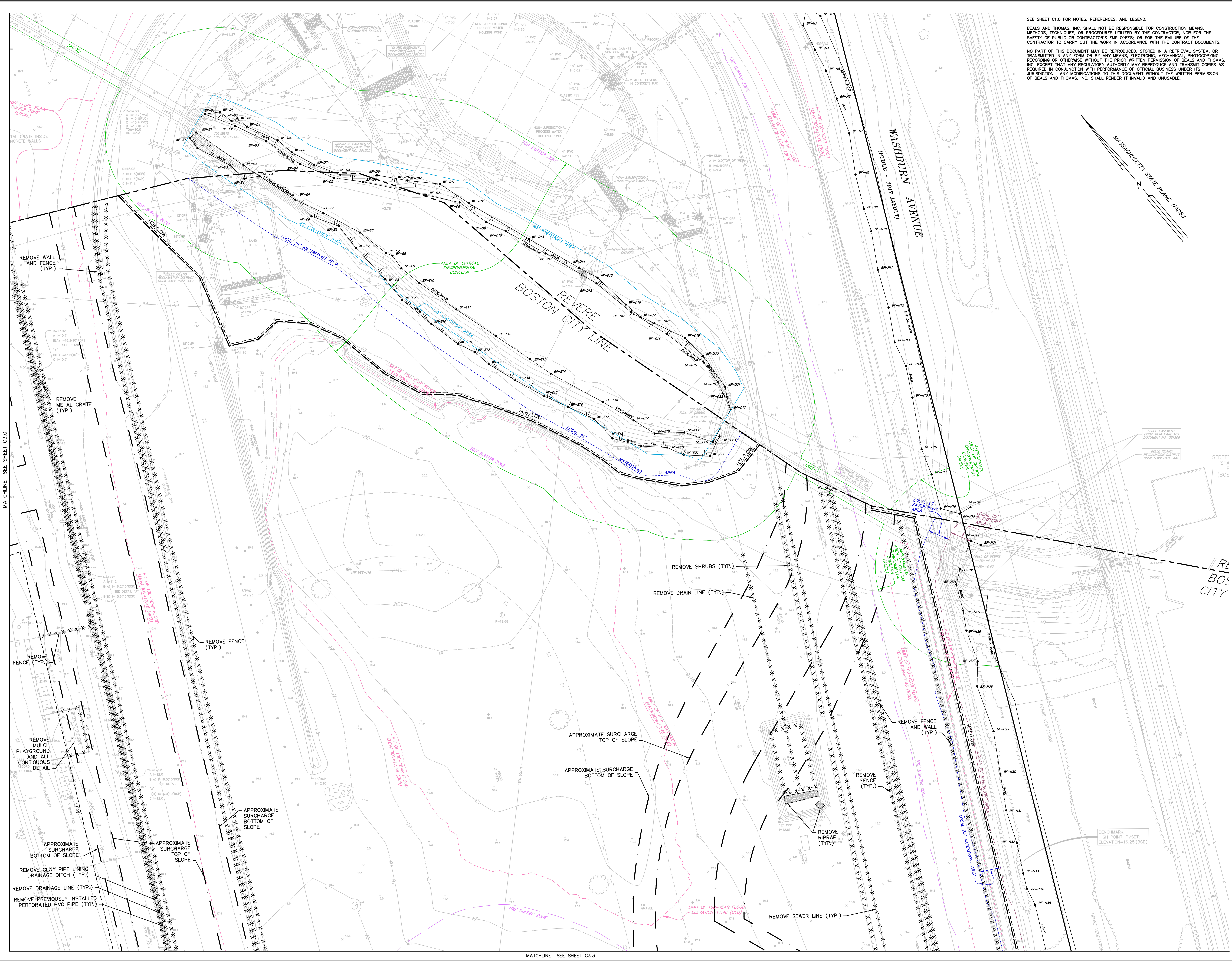
SCALE: 1" = 40' DATE: JULY 21, 2021

SITE PREPARATION AND SEDIMENT CONTROL PLAN

B+T JOB NO. 2854.28

B+T PLAN NO. 285428P393A-001

C3.0



SEE SHEET C1.0 FOR NOTES, REFERENCES, AND LEGEND.

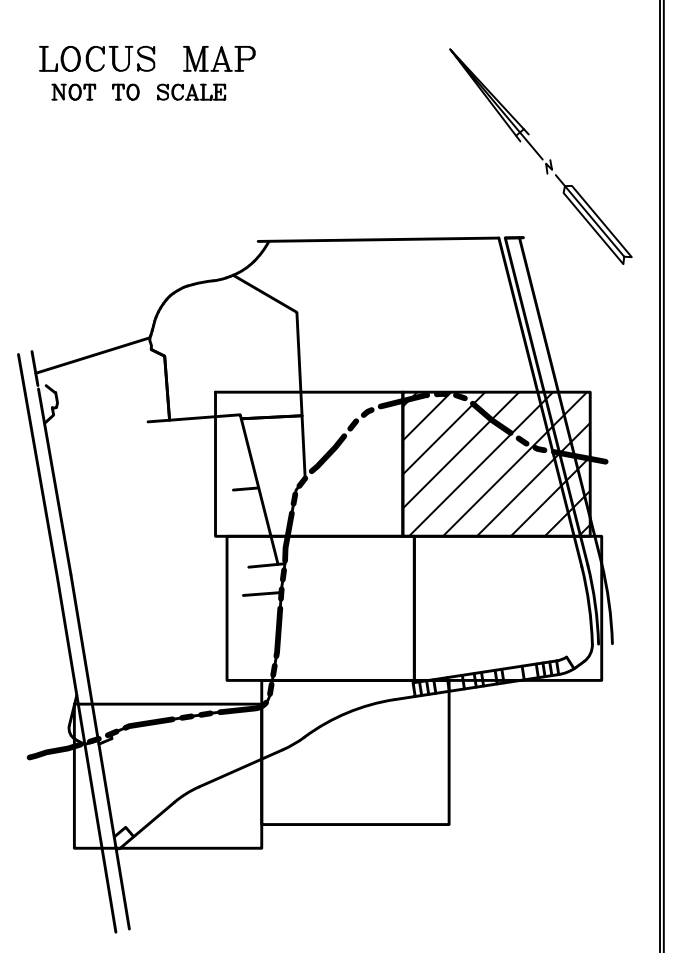
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PROJECT:

SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON

BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021

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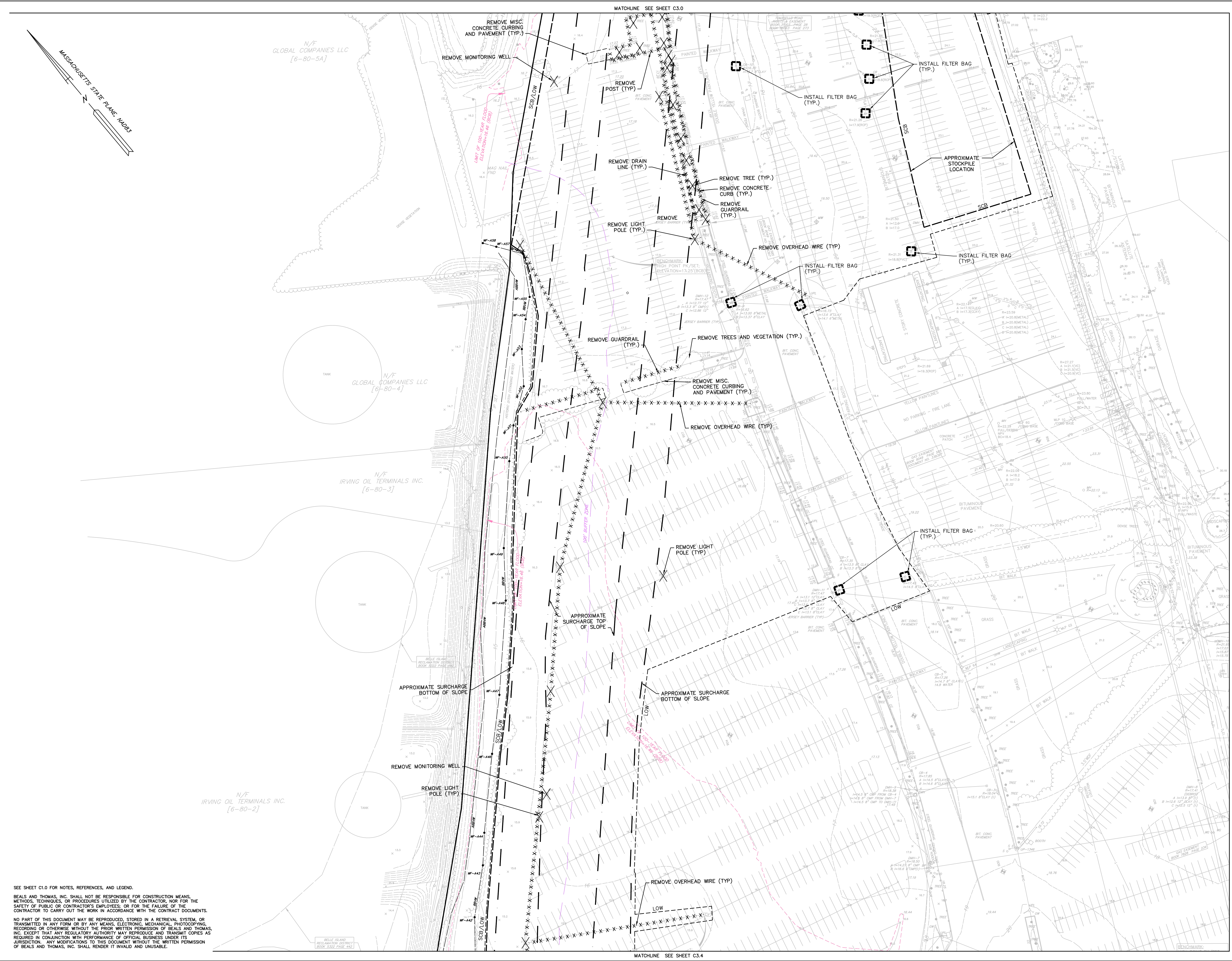
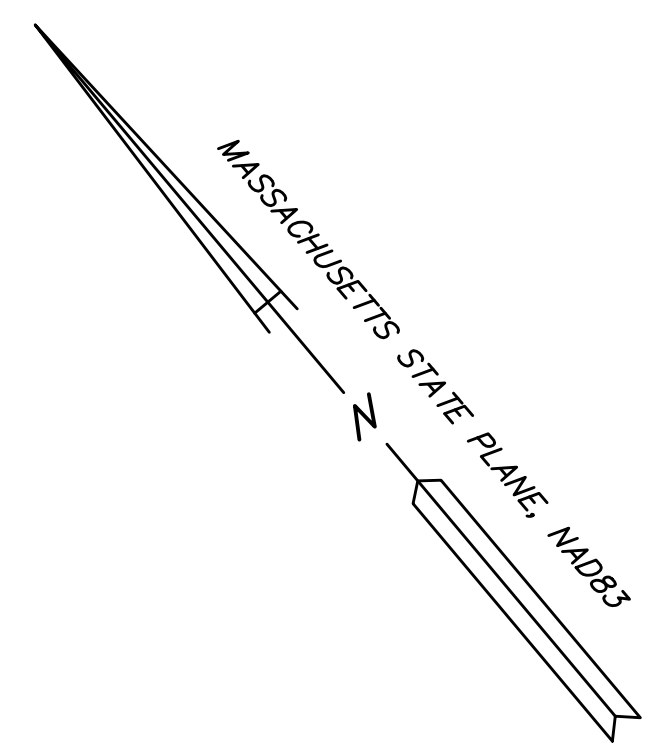
SITE PREPARATION AND SEDIMENT CONTROL PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P393A-002

C3.1

MATCHLINE SEE SHEET C3.0

MATCHLINE SEE SHEET C3.3



SEE SHEET C1.0 FOR NOTES, REFERENCES, AND LEGEND.

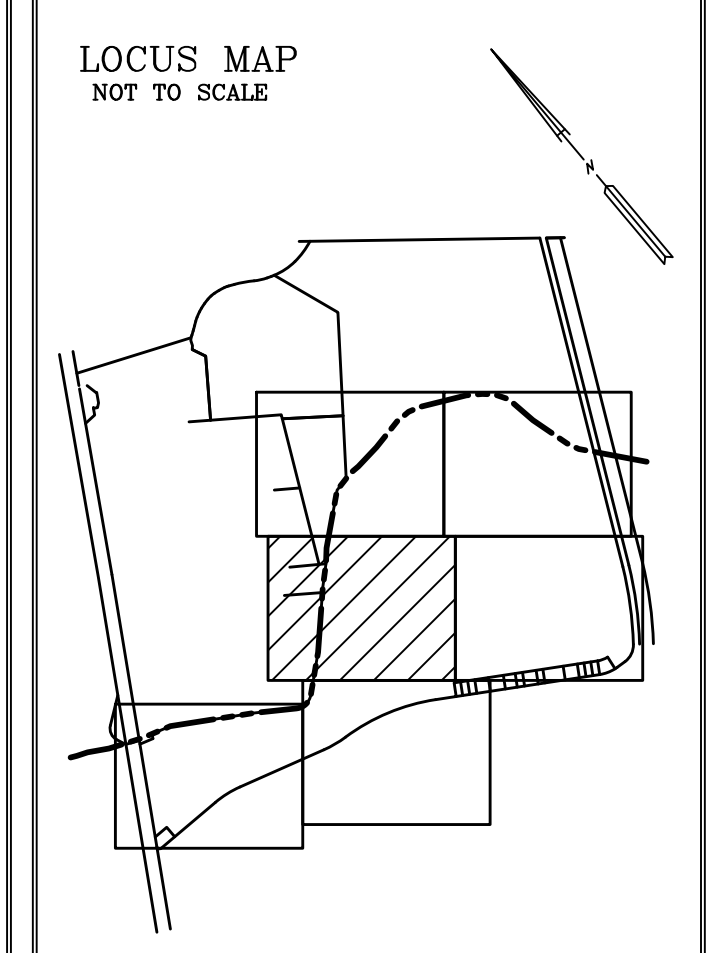
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PROJECT:

SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON

BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021

SITE PREPARATION AND SEDIMENT CONTROL PLAN

B+T JOB NO. 2854.28

B+T PLAN NO. 285428P393A-003

C3.2

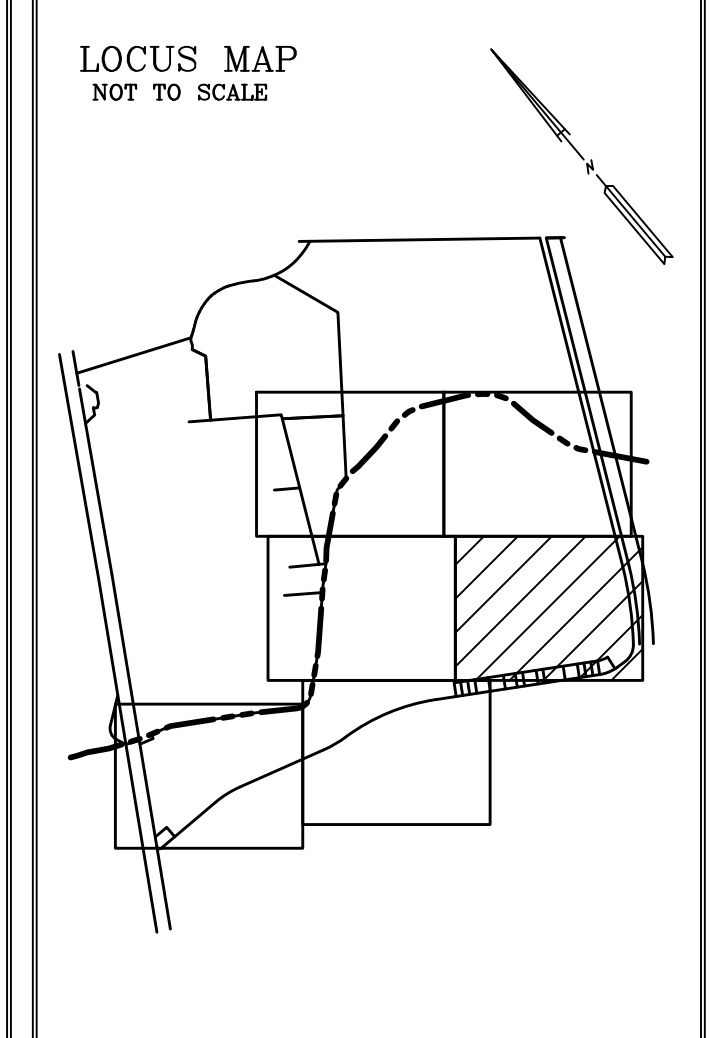
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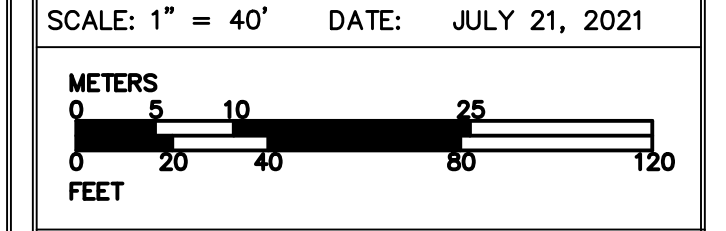
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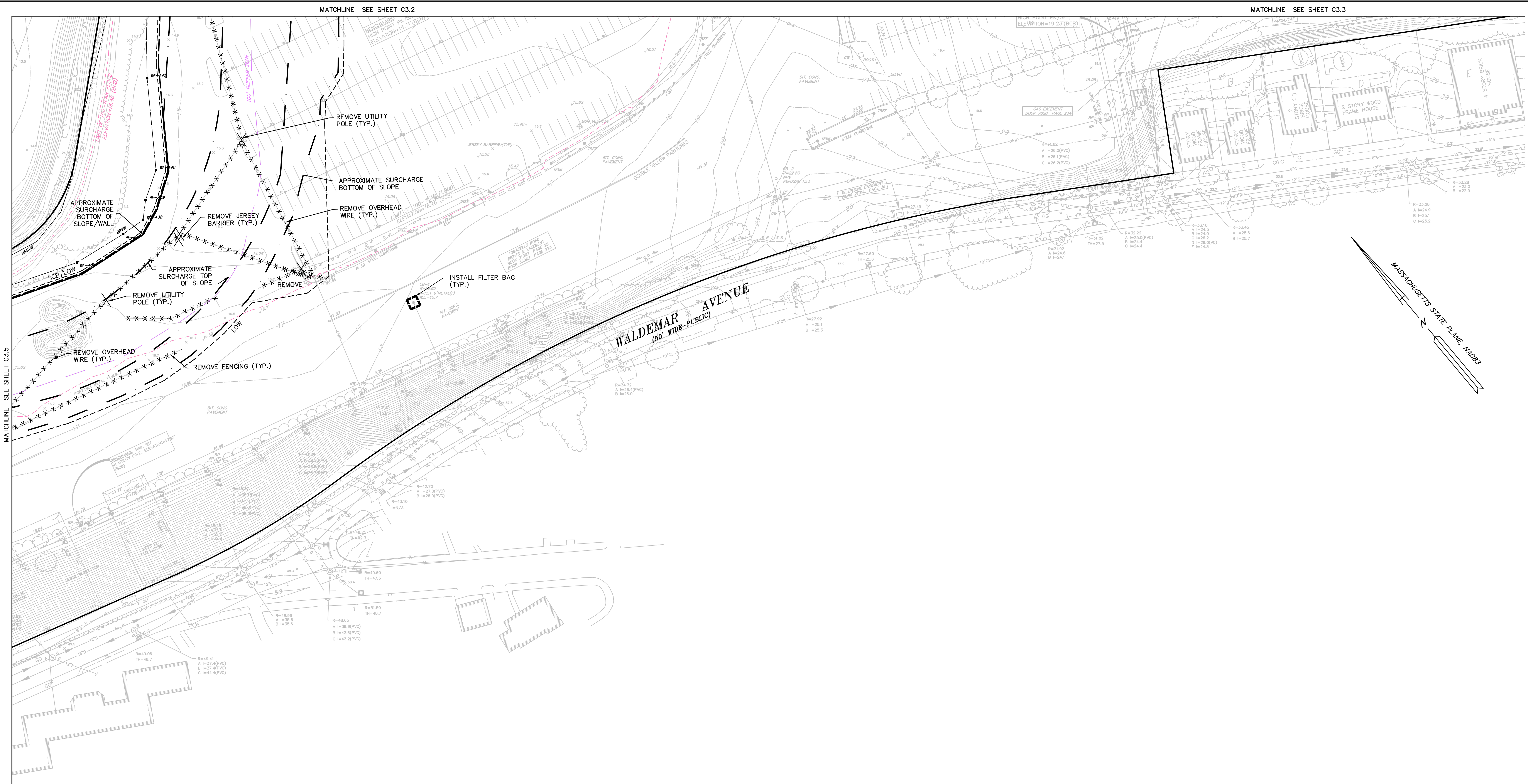
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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS
 SCALE: 1" = 40' DATE: JULY 21, 2021



SITE PREPARATION AND SEDIMENT CONTROL PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P393A-004 **C3.3**



MATCHLINE SEE SHEET C3.5

MATCHLINE SEE SHEET C3.2

MATCHLINE SEE SHEET C3.3

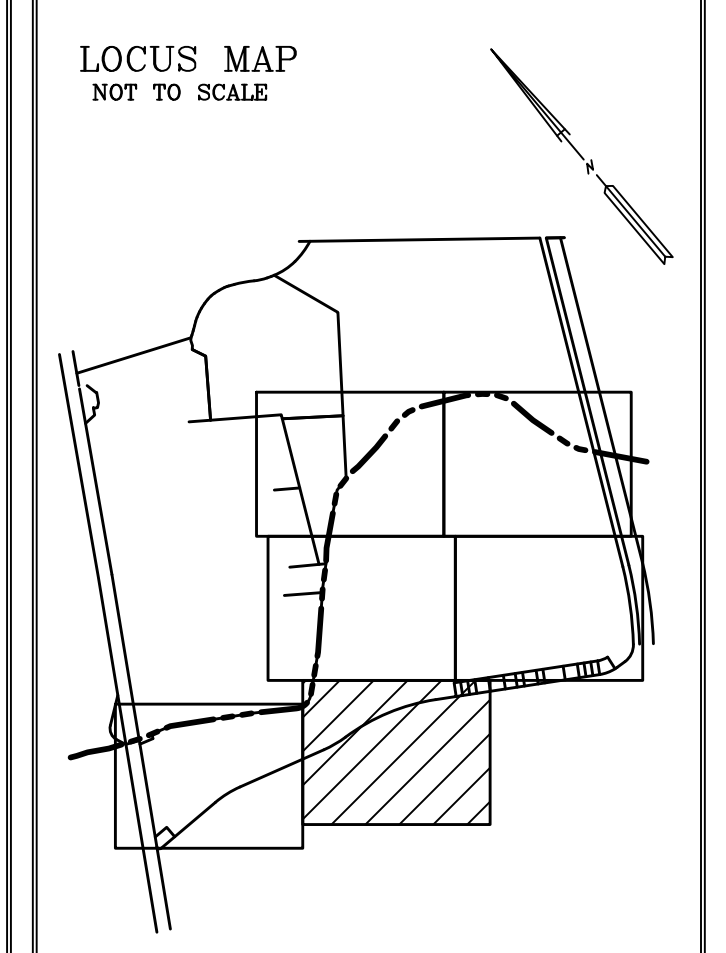
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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021

SITE PREPARATION AND SEDIMENT CONTROL PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P393A-005 **C3.4**



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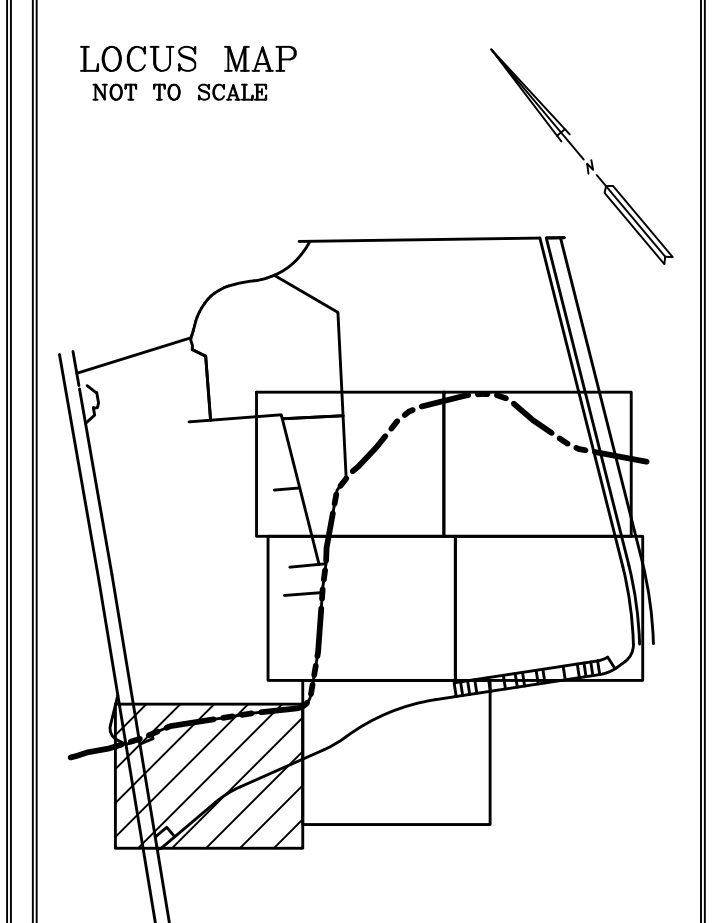
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PROJECT:

SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON

BOSTON, MASSACHUSETTS

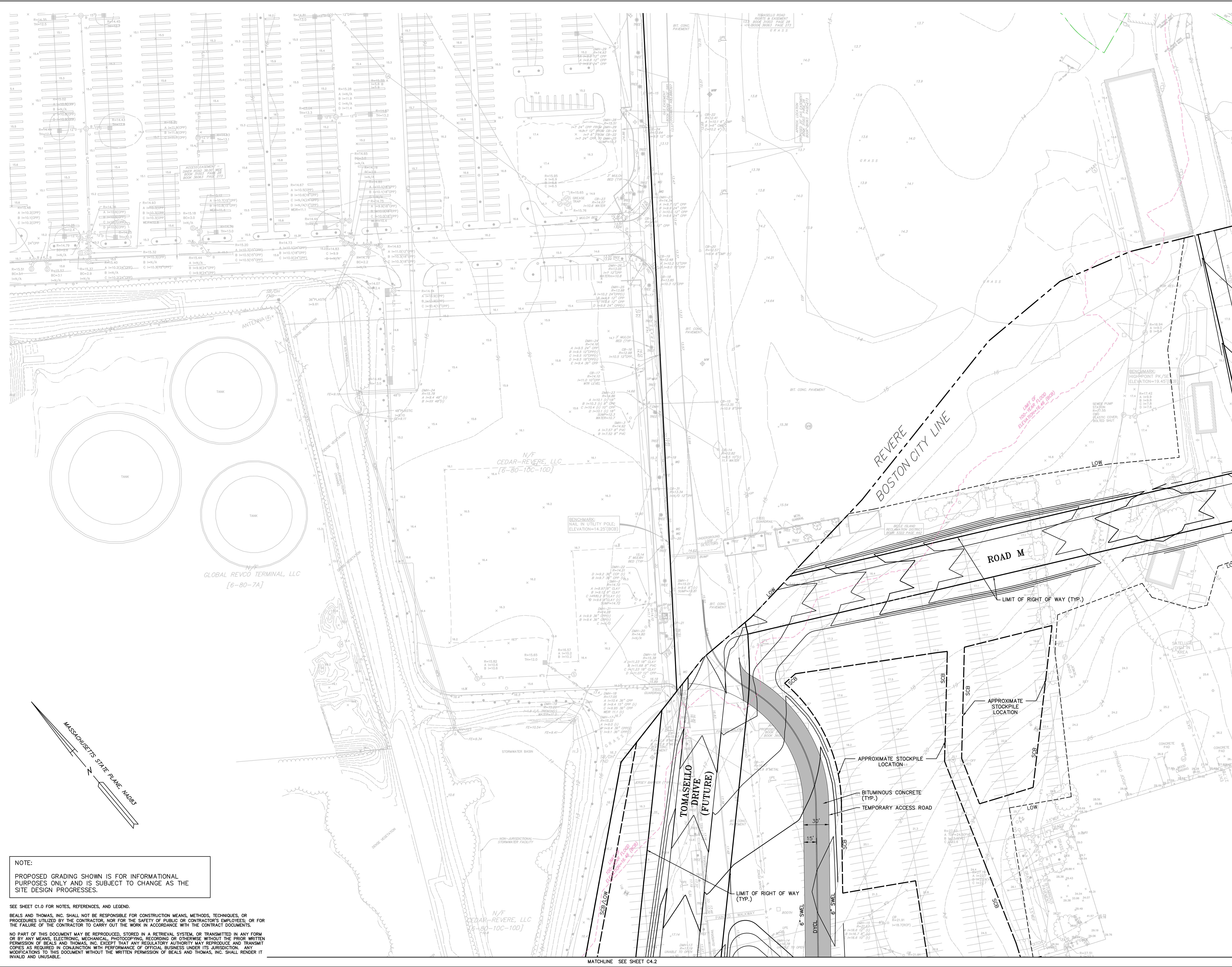
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SITE PREPARATION AND SEDIMENT CONTROL PLAN

B+T JOB NO. 2854.28

B+T PLAN NO. 285428P393A-006

C3.5



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SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

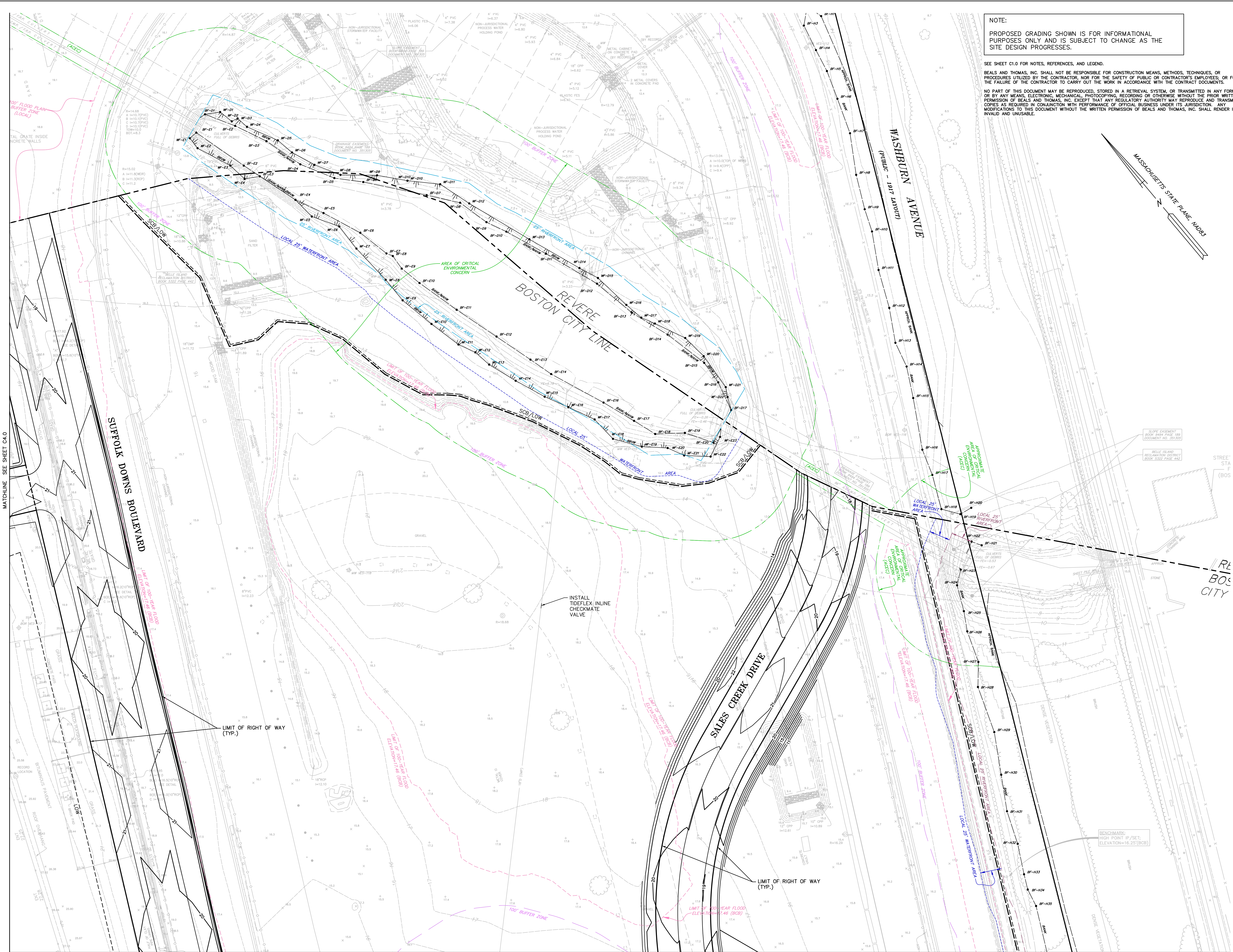
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GRADING AND DRAINAGE PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P393A-007 **C4.0**

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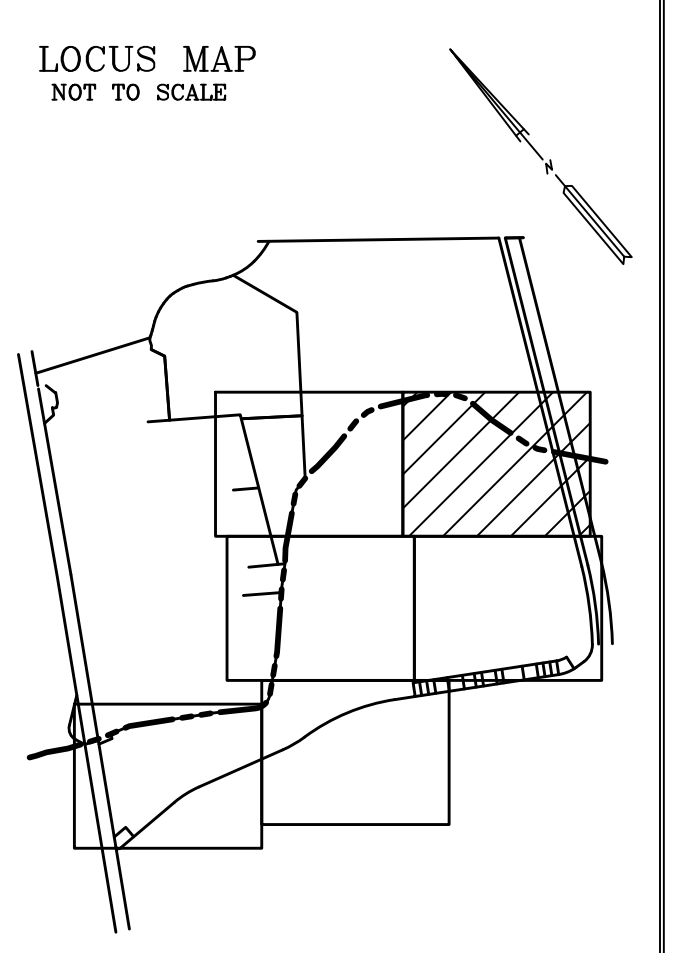
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 BOSTON, MASSACHUSETTS

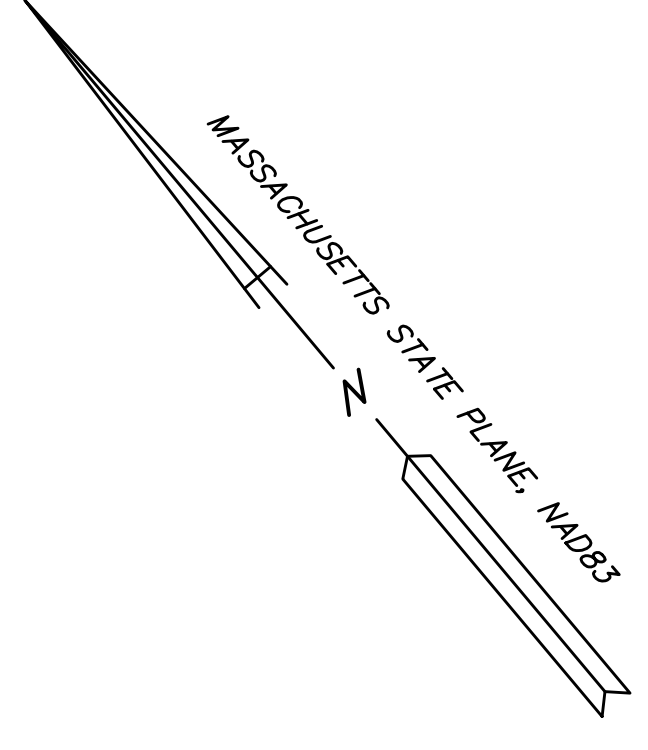
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GRADING AND DRAINAGE PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P393A-008
C4.1

MATCHLINE SEE SHEET C4.0

MATCHLINE SEE SHEET C4.3



N/F
GLOBAL COMPANIES LLC
[6-80-5A]

N/F
IRVING OIL TERMINALS INC.
[6-80-3]

N/F
IRVING OIL TERMINALS INC.
[6-80-2]

MATCHLINE SEE SHEET C4.0

MATCHLINE SEE SHEET C4.4

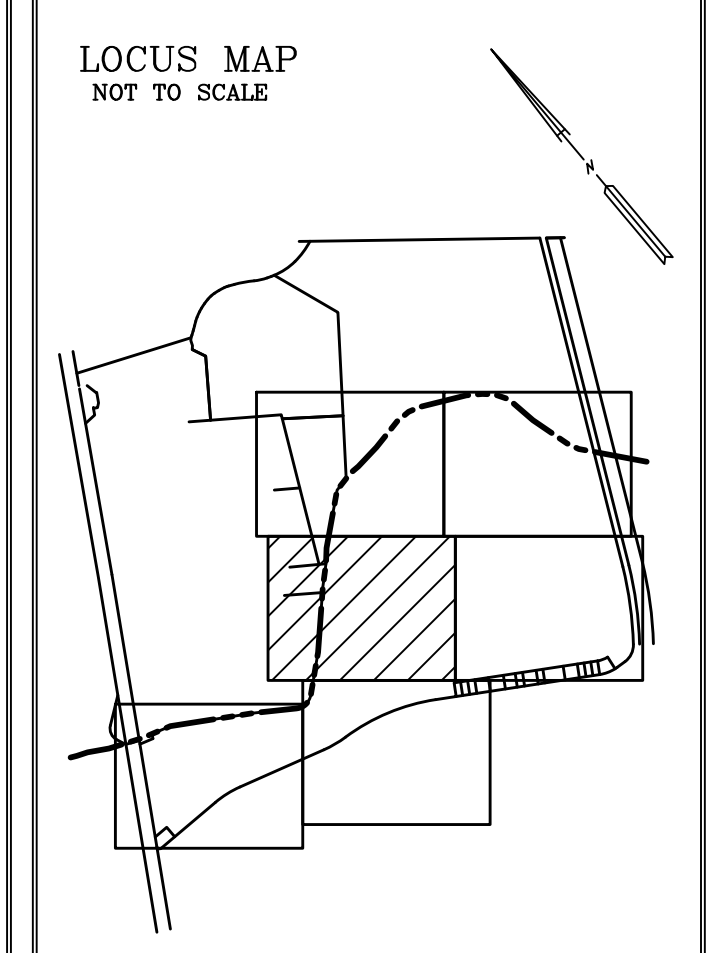
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c/o The HYM Investment Group, LLC
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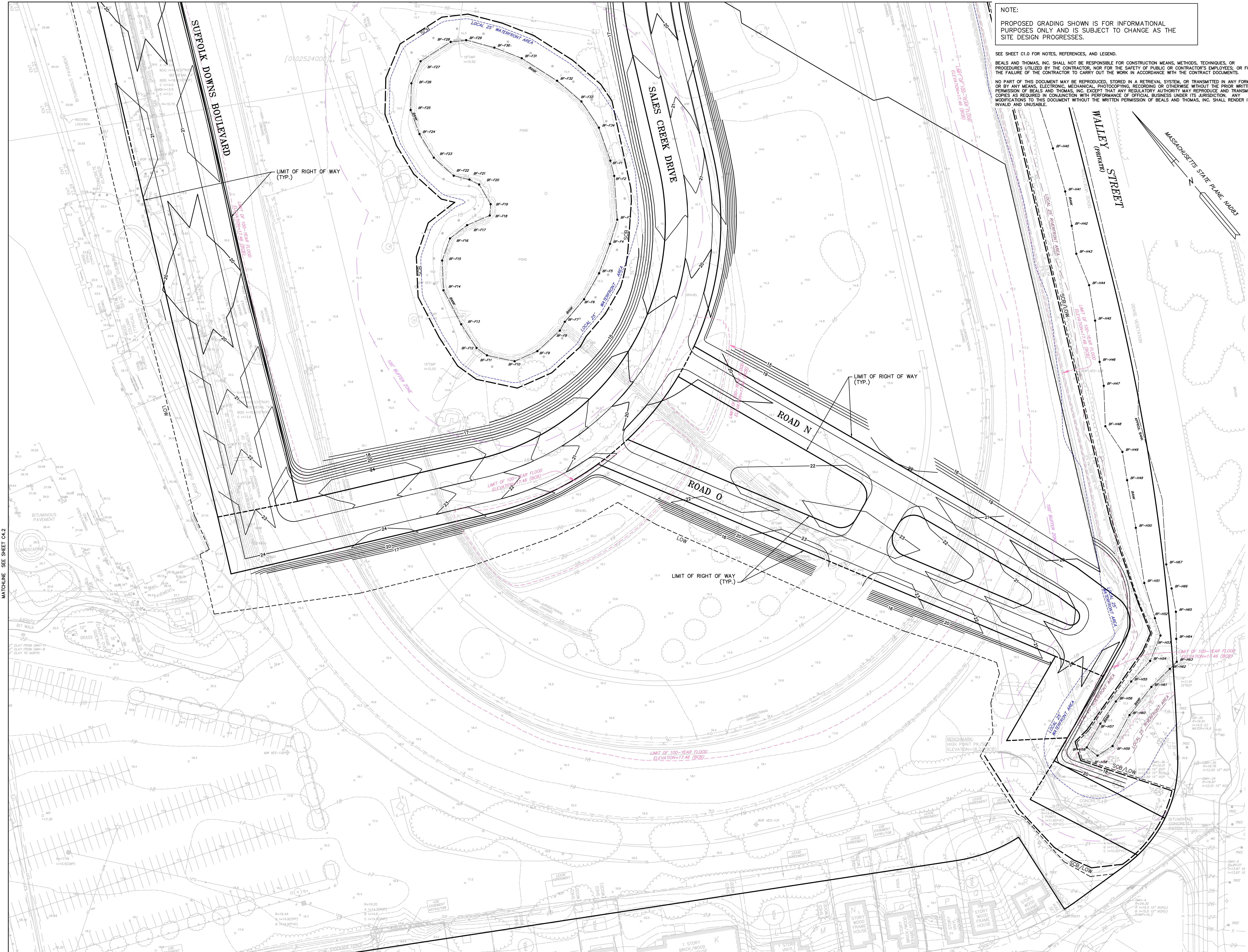
PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021
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FEET
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GRADING AND DRAINAGE PLAN

B+T JOB NO. 2854.28
B+T PLAN NO. 285428P393A-009
C4.2

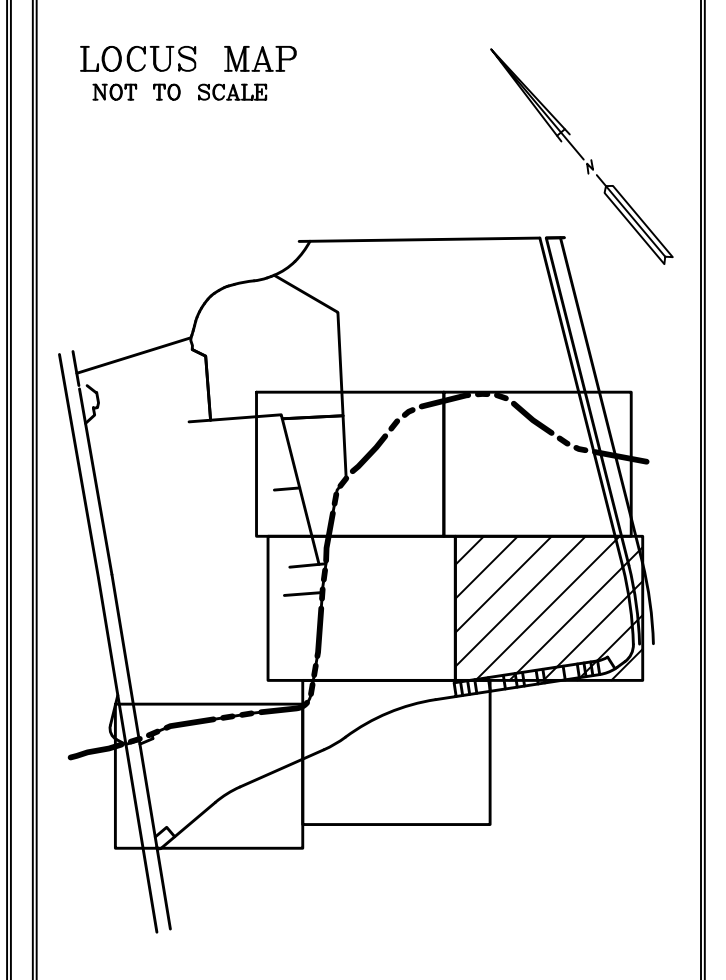
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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

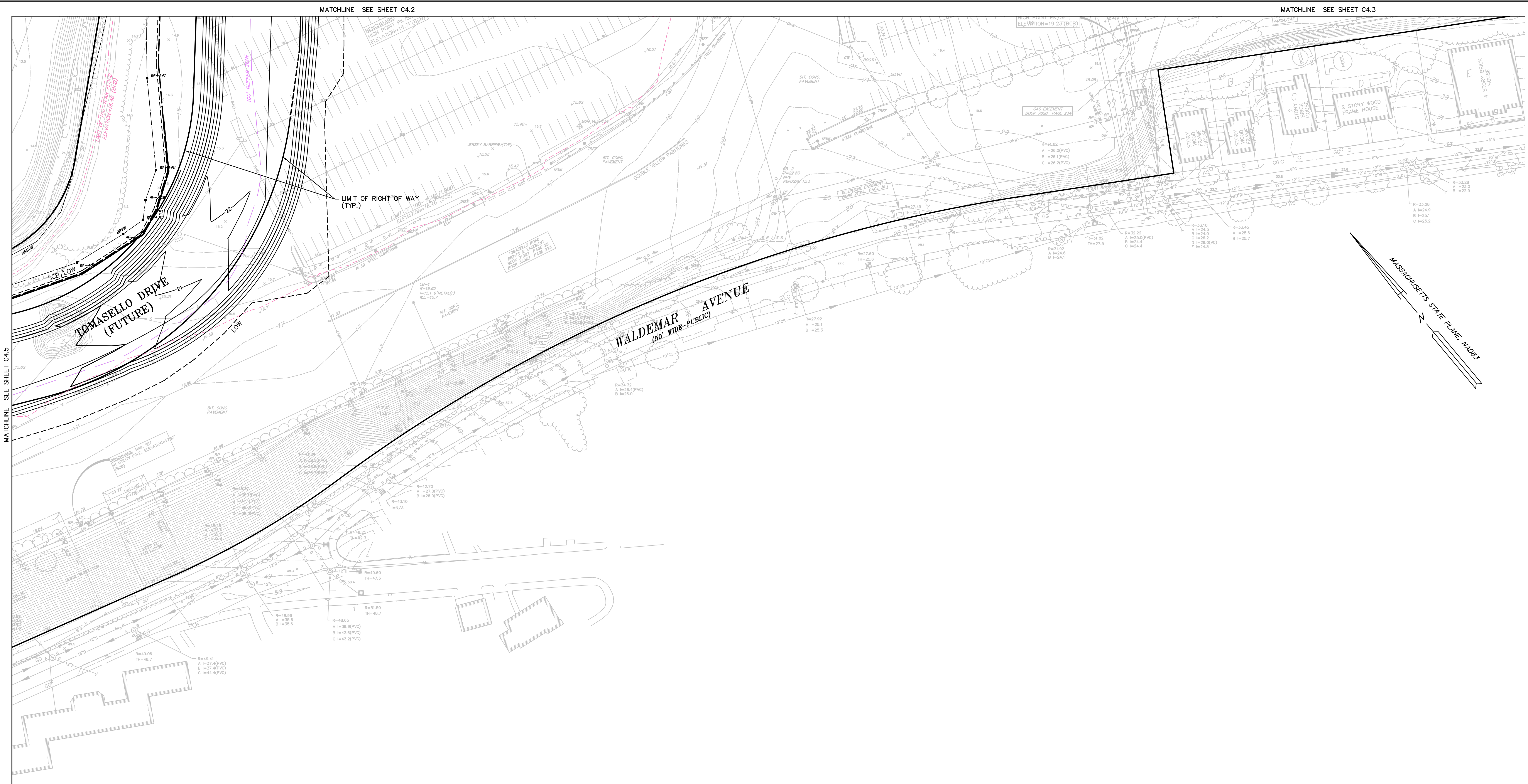
SCALE: 1" = 40' DATE: JULY 21, 2021

GRADING AND DRAINAGE PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P393A-010 **C4.3**

MATCHLINE SEE SHEET C4.2

MATCHLINE SEE SHEET C4.4



MATCHLINE SEE SHEET C4.5

MATCHLINE SEE SHEET C4.2

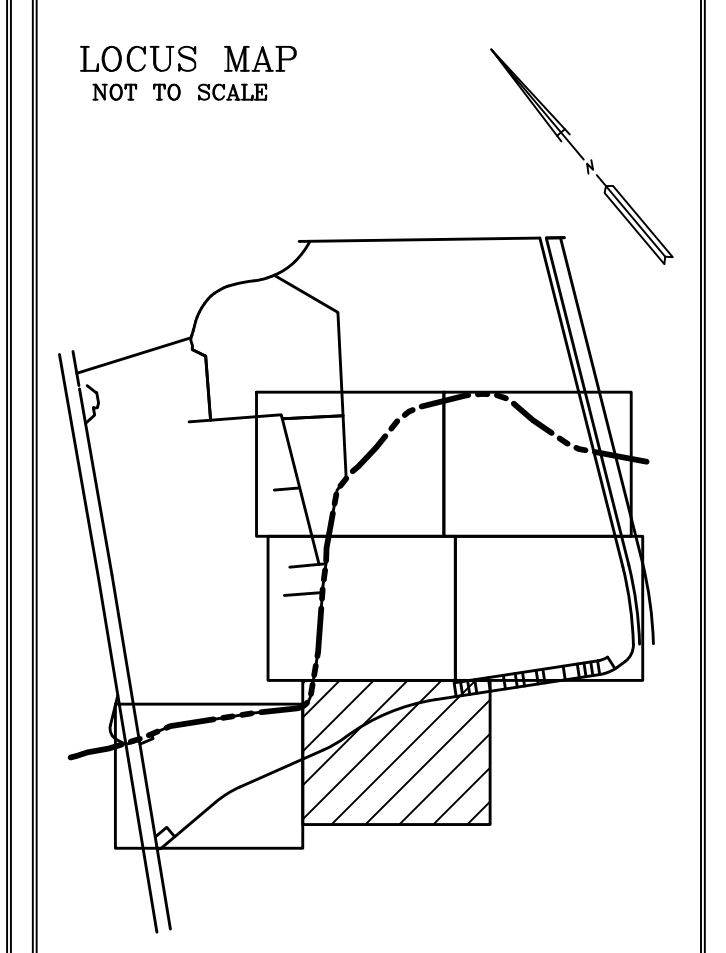
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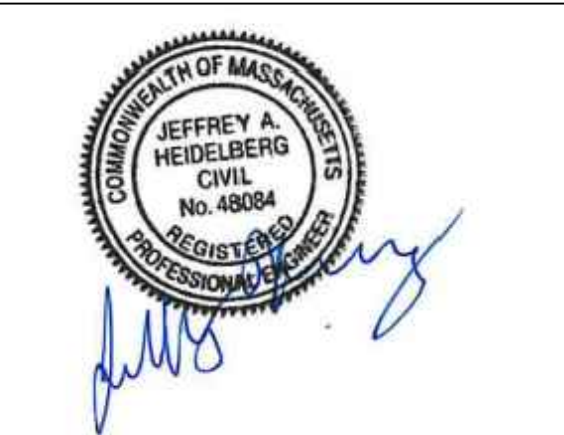
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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021

GRADING AND DRAINAGE PLAN

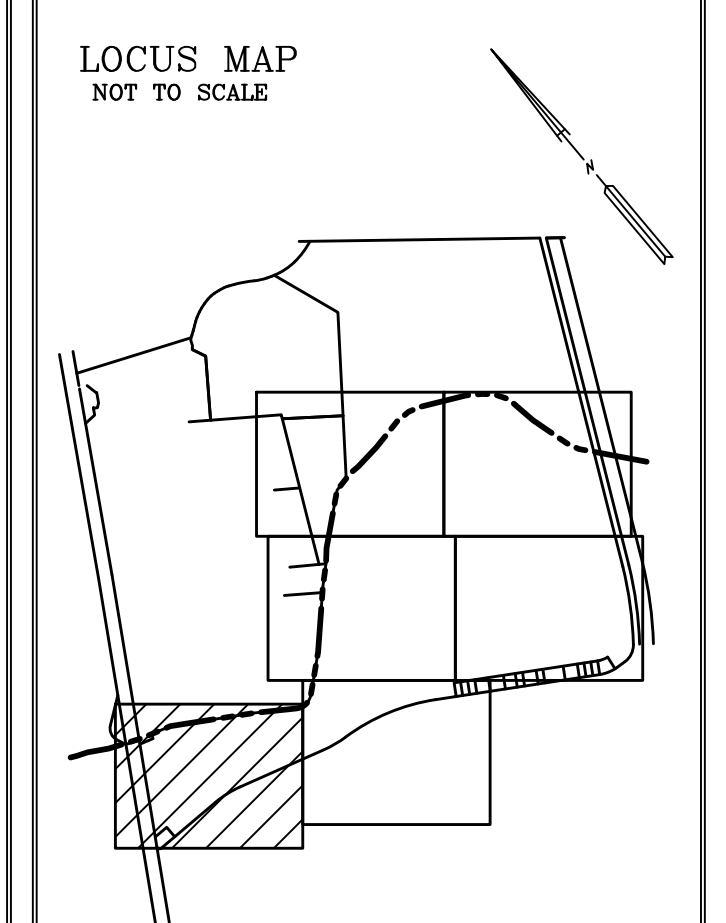
B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P393A-011 **C4.4**



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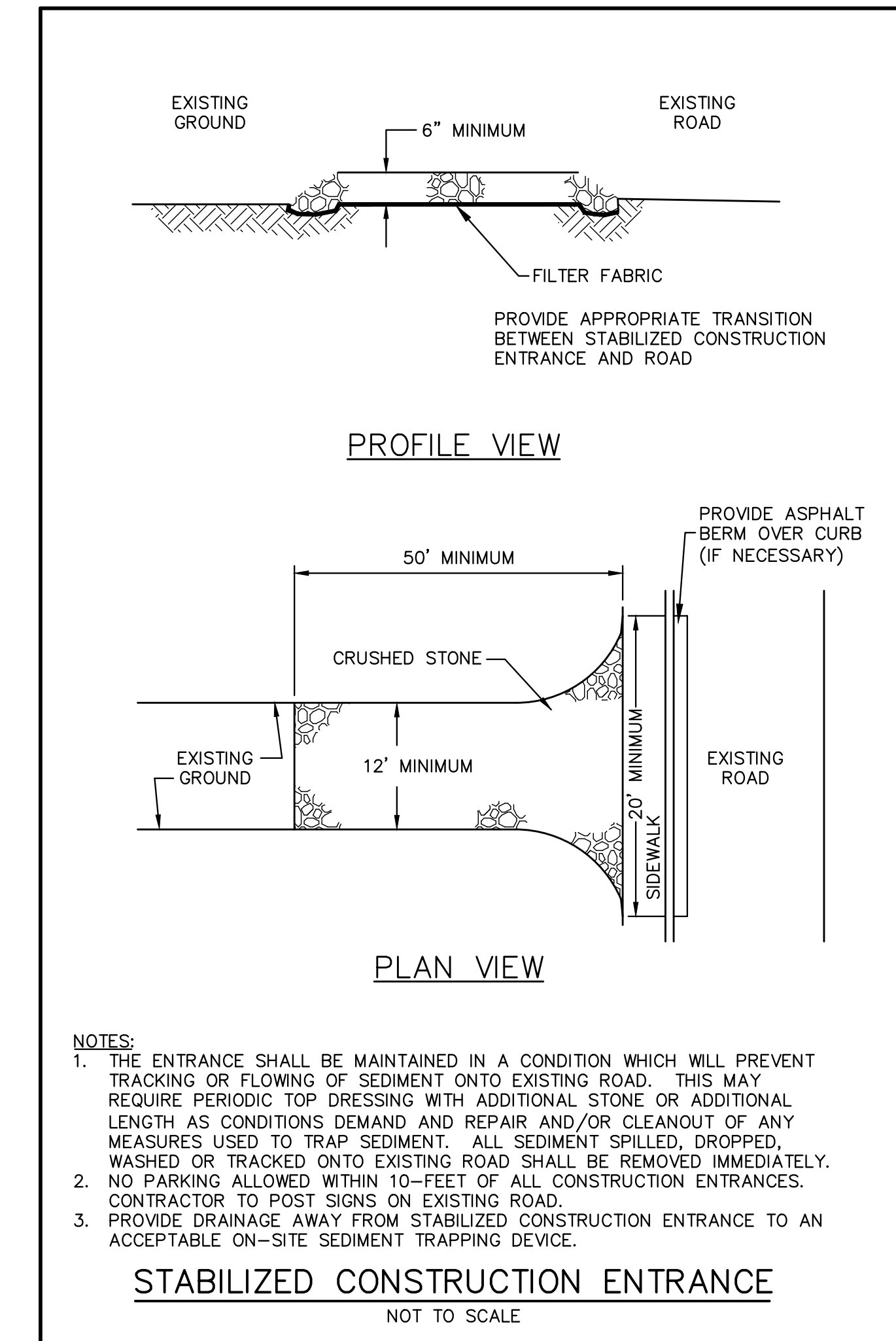
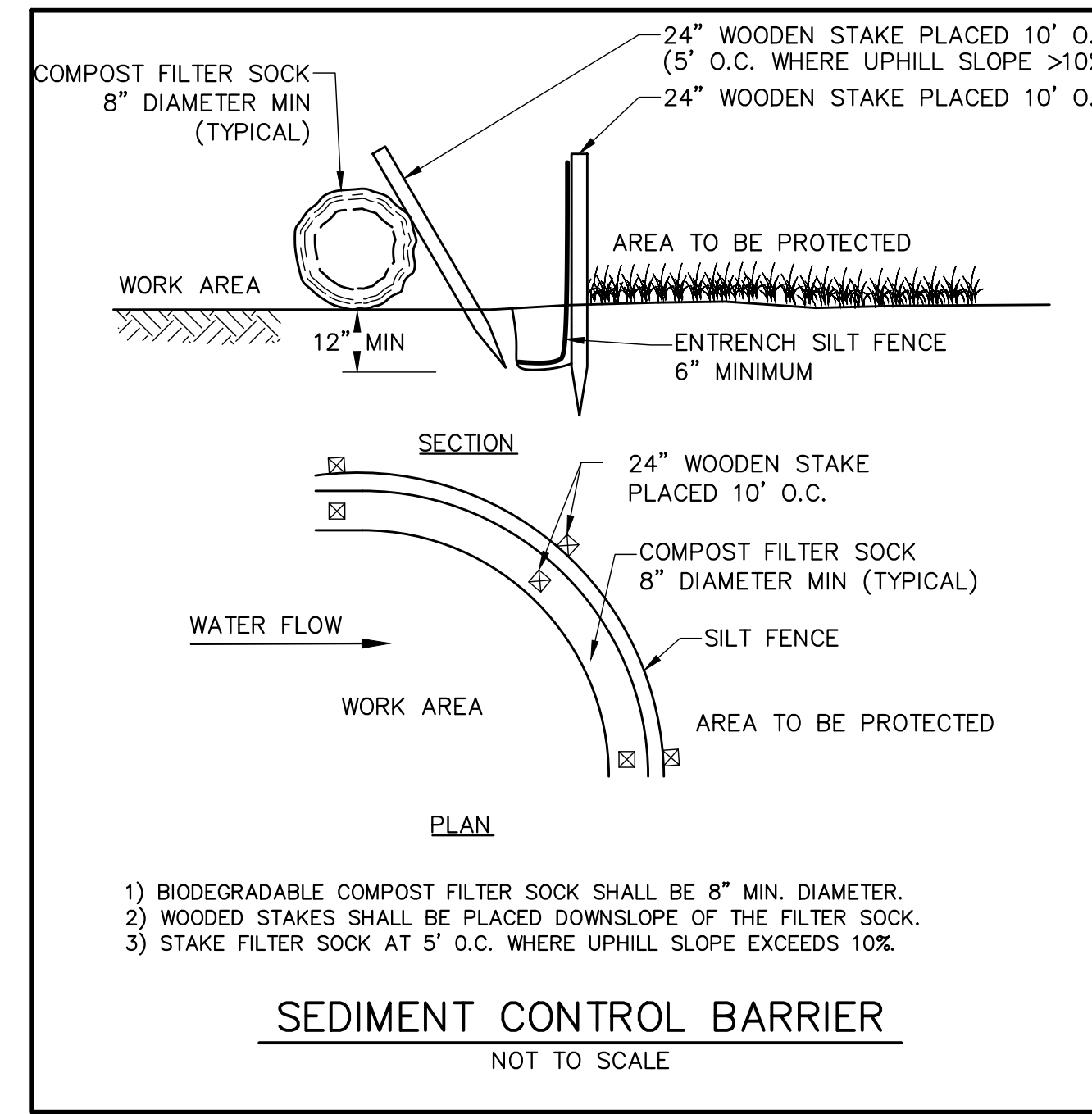
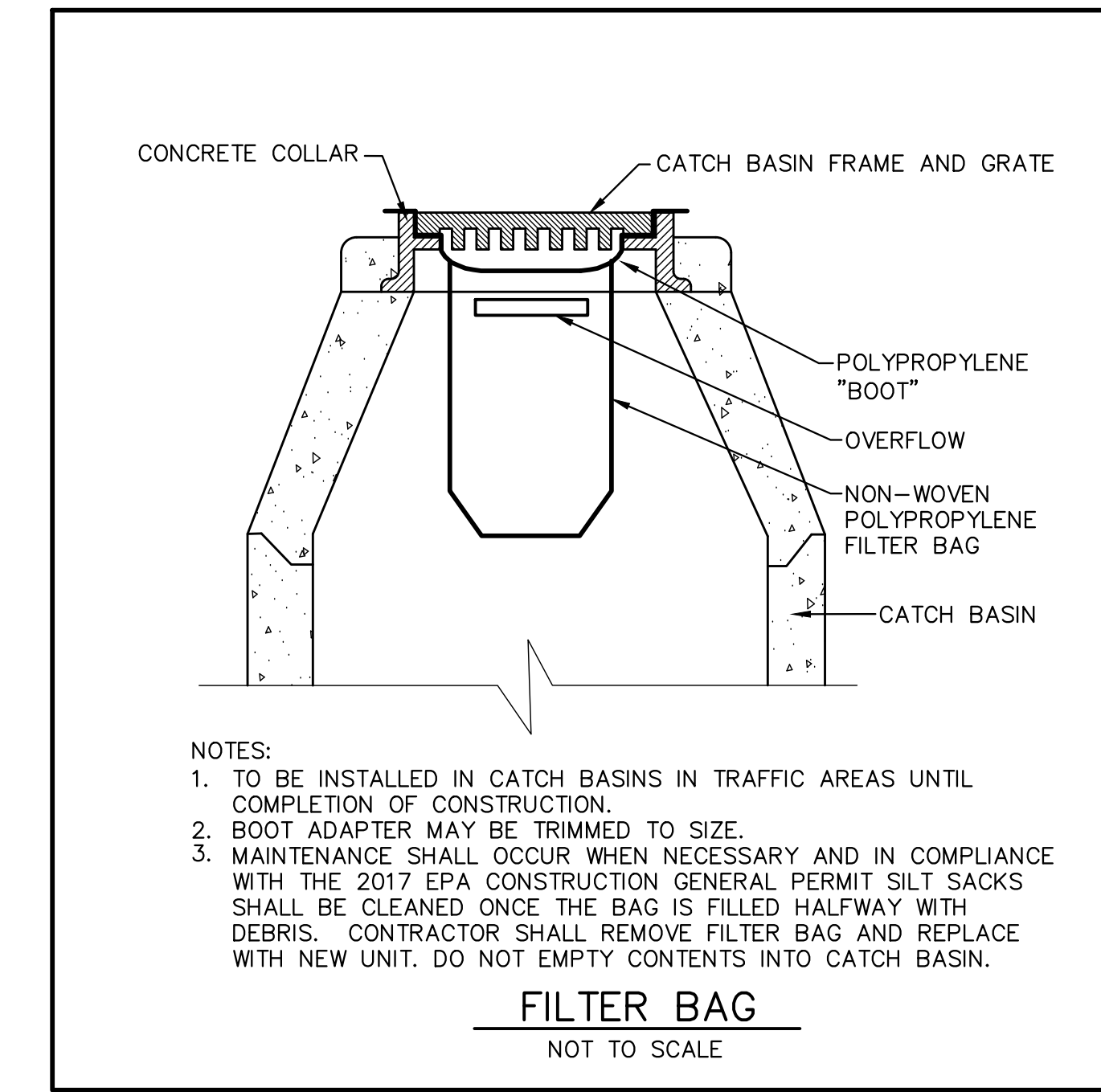
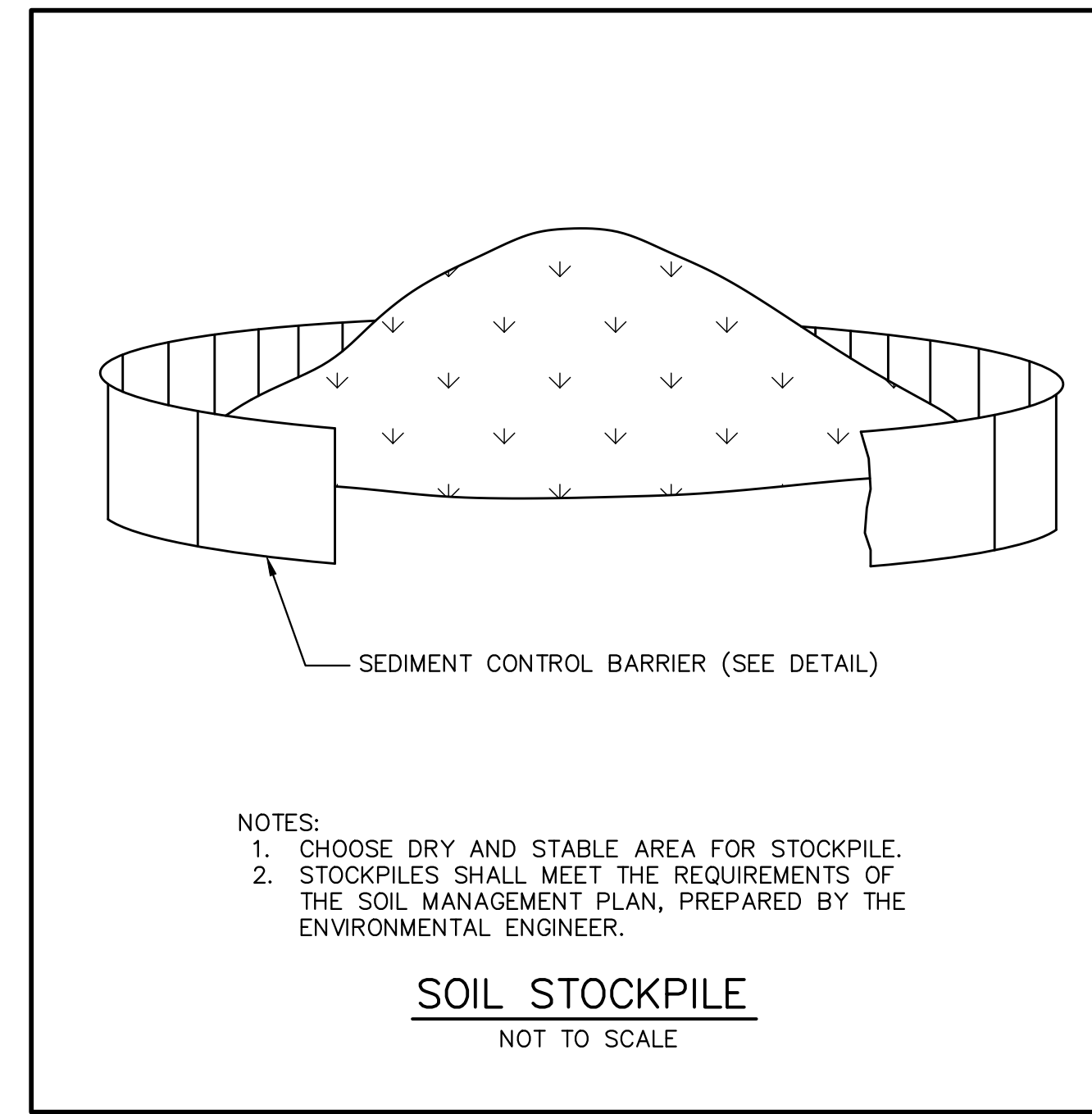
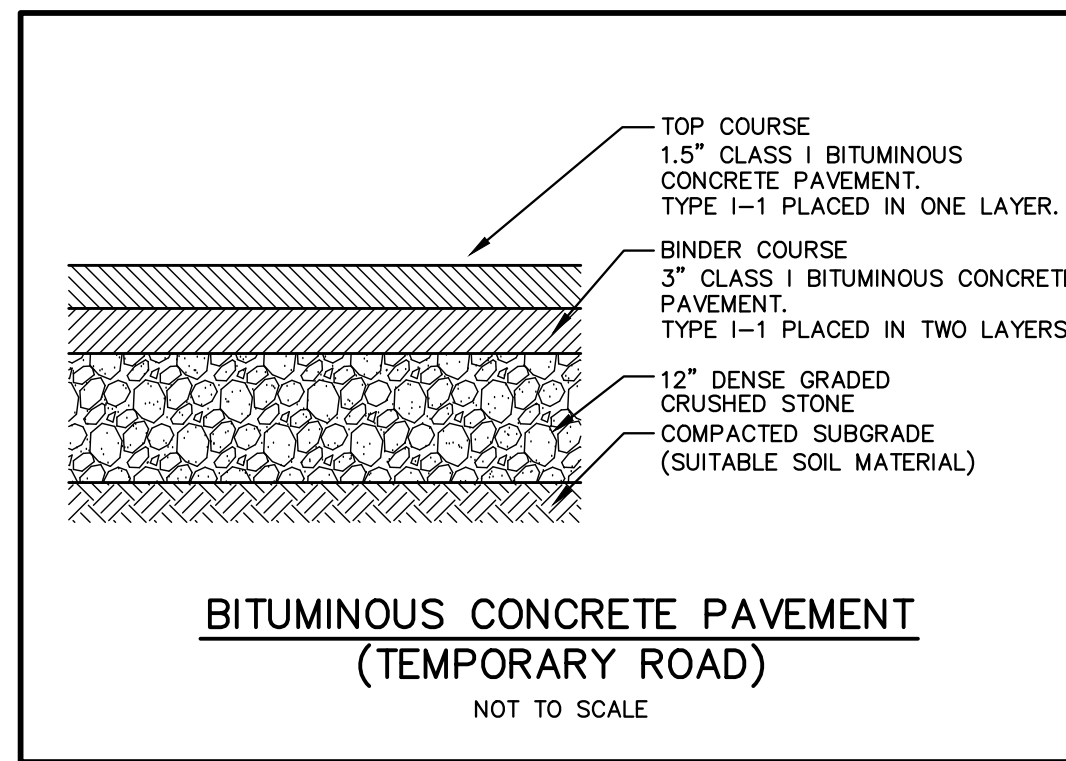
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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

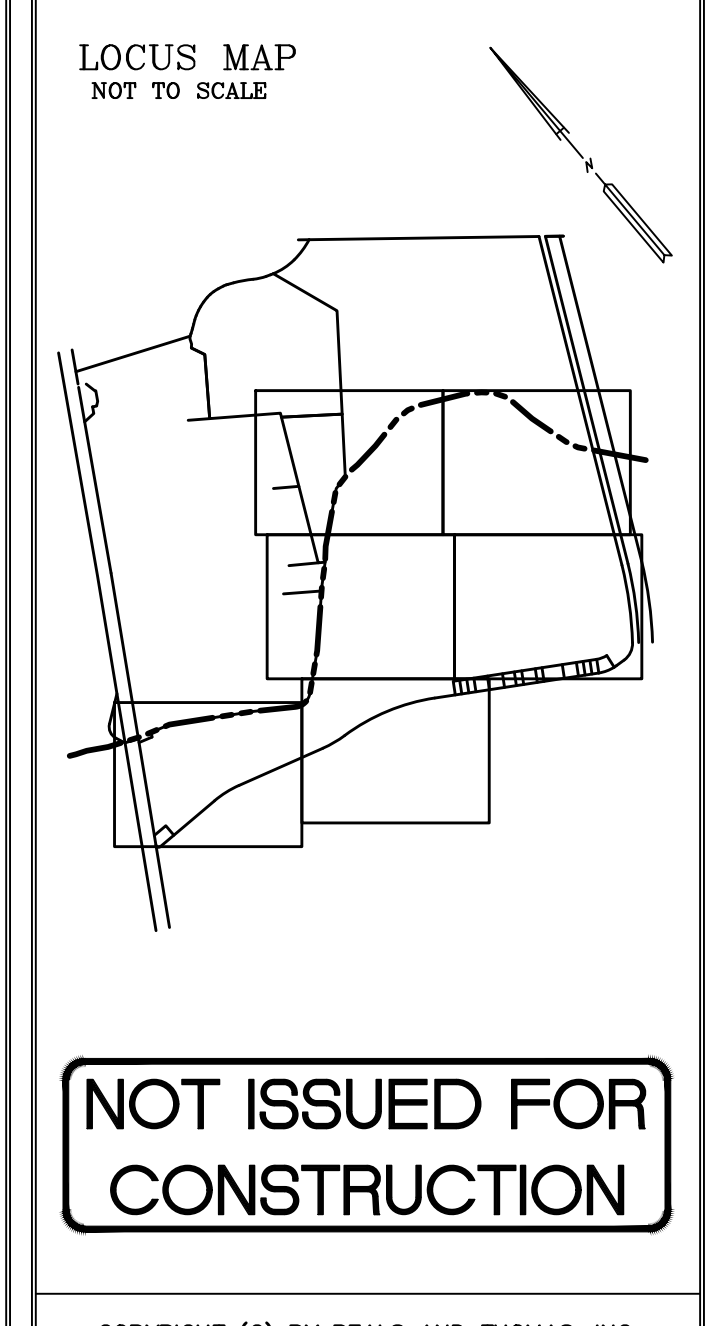
SCALE: 1" = 40' DATE: JULY 21, 2021

GRADING AND DRAINAGE PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P393A-012 **C4.5**



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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS
 SCALE: AS SHOWN DATE: JULY 21, 2021

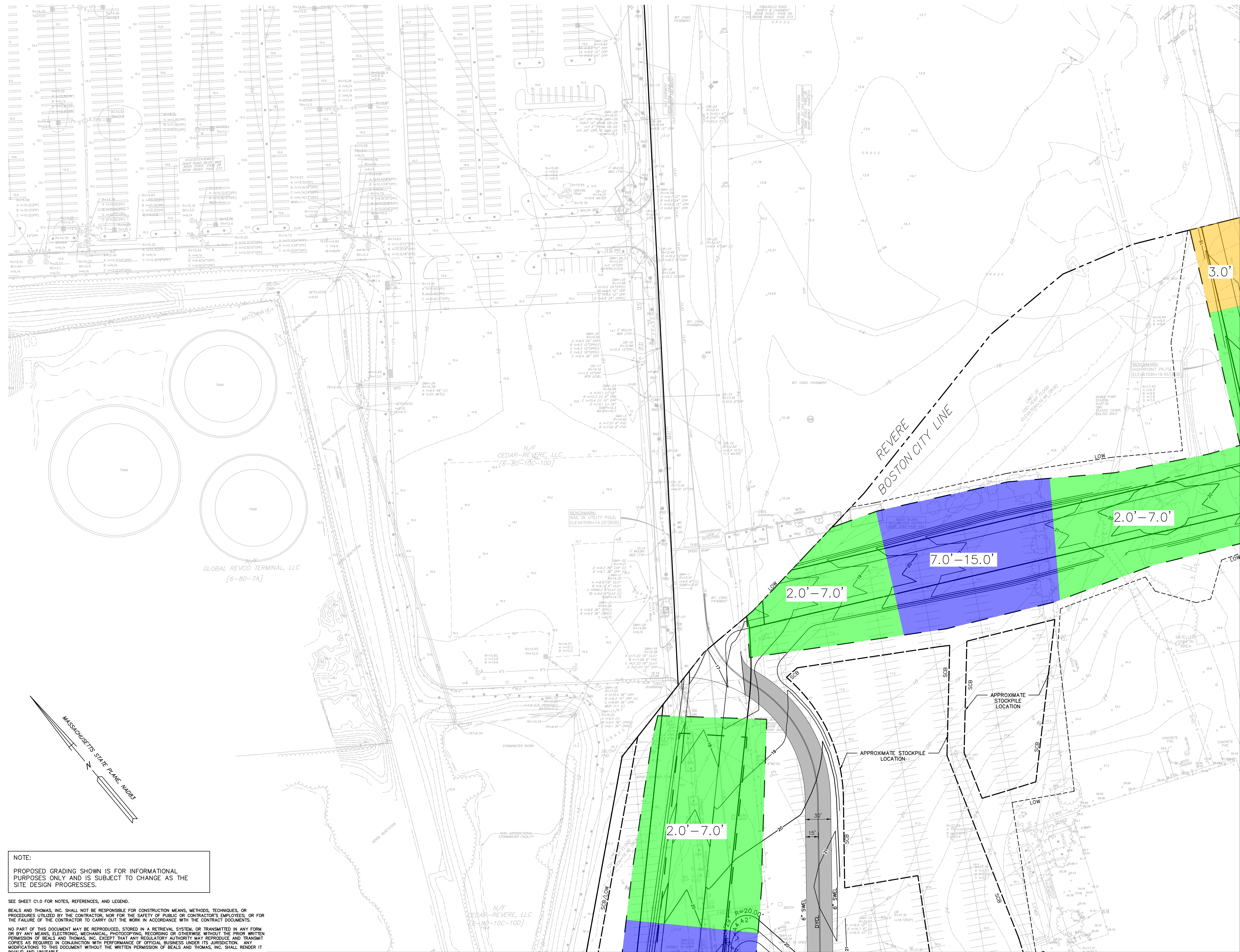
SITE DETAILS

B+T JOB NO.	2854.28
B+T PLAN NO.	285428P391A-003
	C5.0

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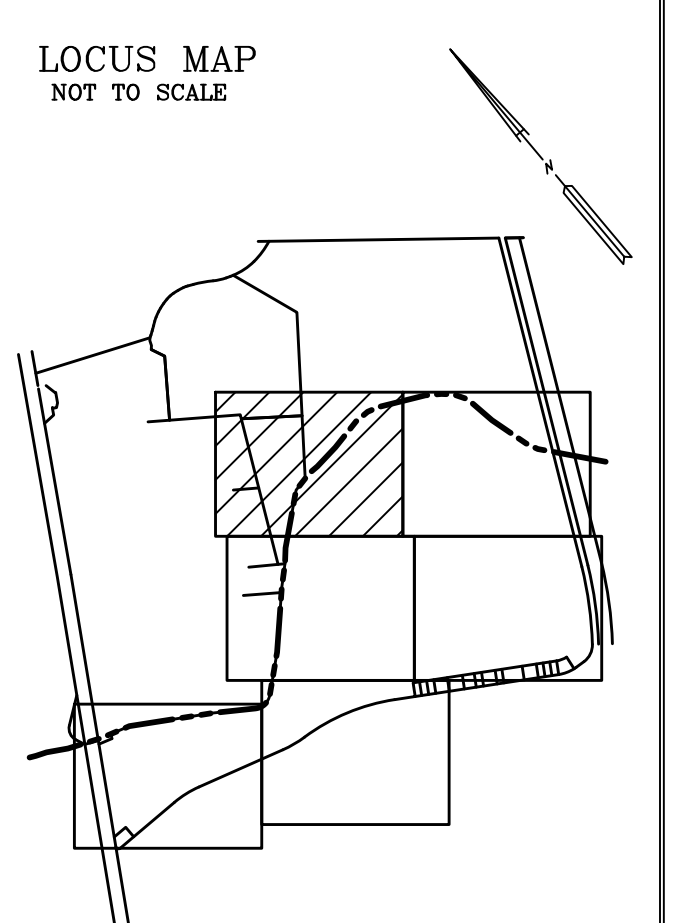


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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

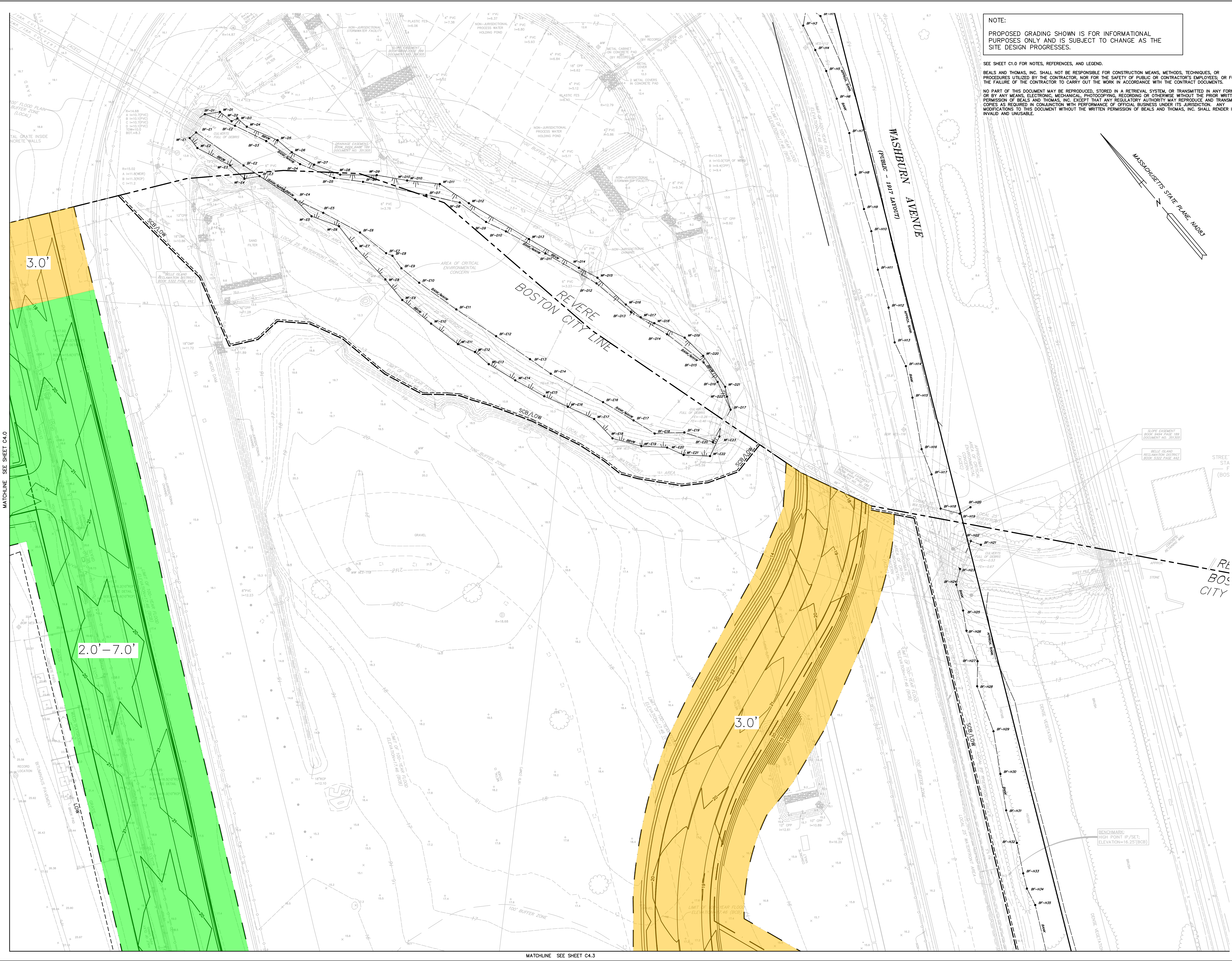
SCALE: 1" = 40' DATE: JULY 21, 2021

SURCHARGE GRADING PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P396A-002 **GT1.0**

MATCHLINE SEE SHEET C4.2

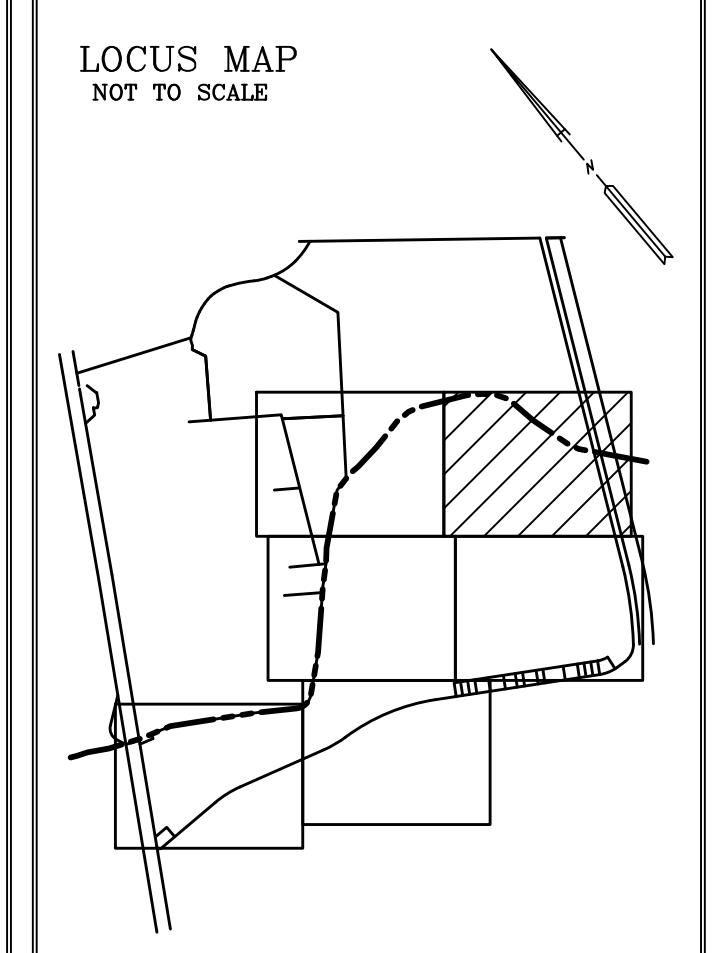
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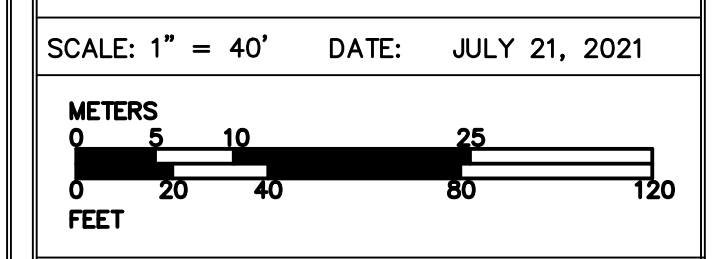
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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021



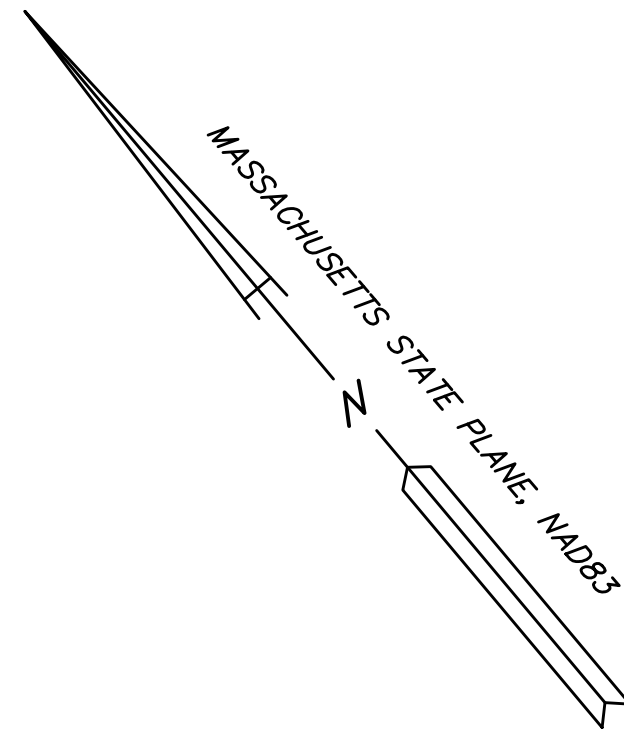
SURCHARGE GRADING PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P396A-003
GT11

MATCHLINE SEE SHEET C4.0

MATCHLINE SEE SHEET C4.3

MATCHLINE SEE SHEET C4.0



N/F
GLOBAL COMPANIES LLC
[6-80-5A]

N/F
GLOBAL COMPANIES LLC
[6-80-4]

N/F
IRVING OIL TERMINALS INC.
[6-80-3]

N/F
IRVING OIL TERMINALS INC.
[6-80-2]

7.0'-15.0'

APPROXIMATE
STOCKPILE
LOCATION

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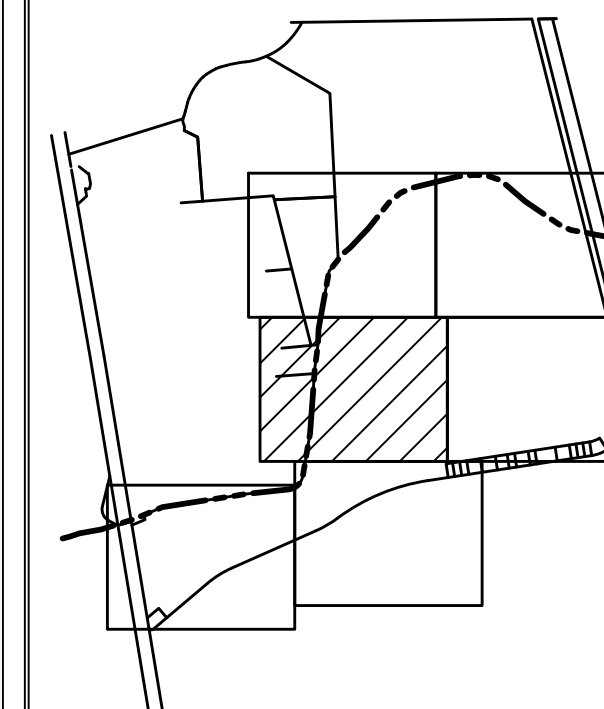
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ONE CONGRESS STREET
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LOCUS MAP
NOT TO SCALE

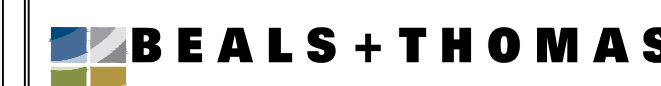


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PROJECT:
**SUFFOLK DOWNS
REDEVELOPMENT,
EARLY RELEASE
SITE WORK - BOSTON**
BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021



**SURCHARGE
GRADING PLAN**

B+T JOB NO. 2854.28

B+T PLAN NO.
285428P396A-004

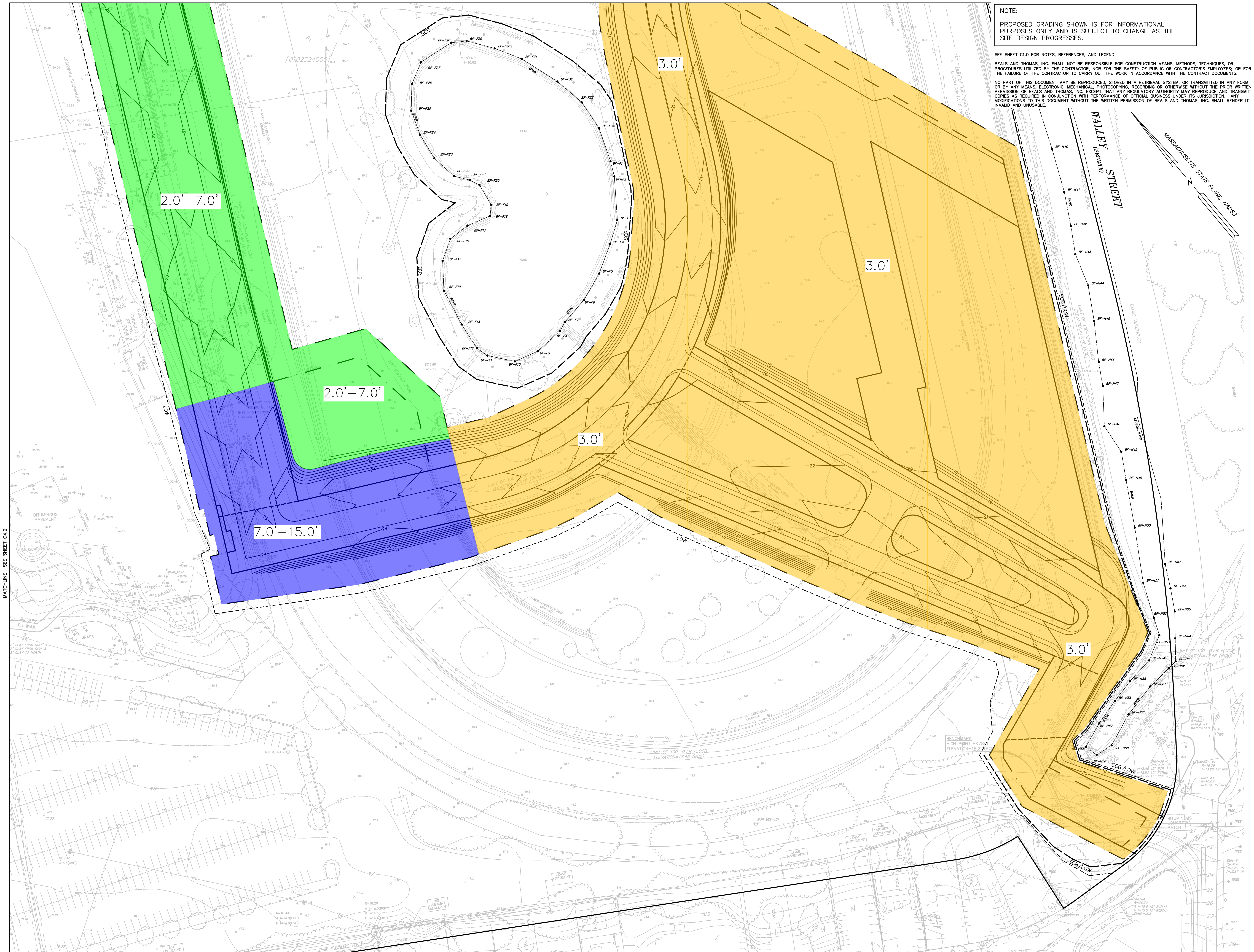
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7.0'-15.0'

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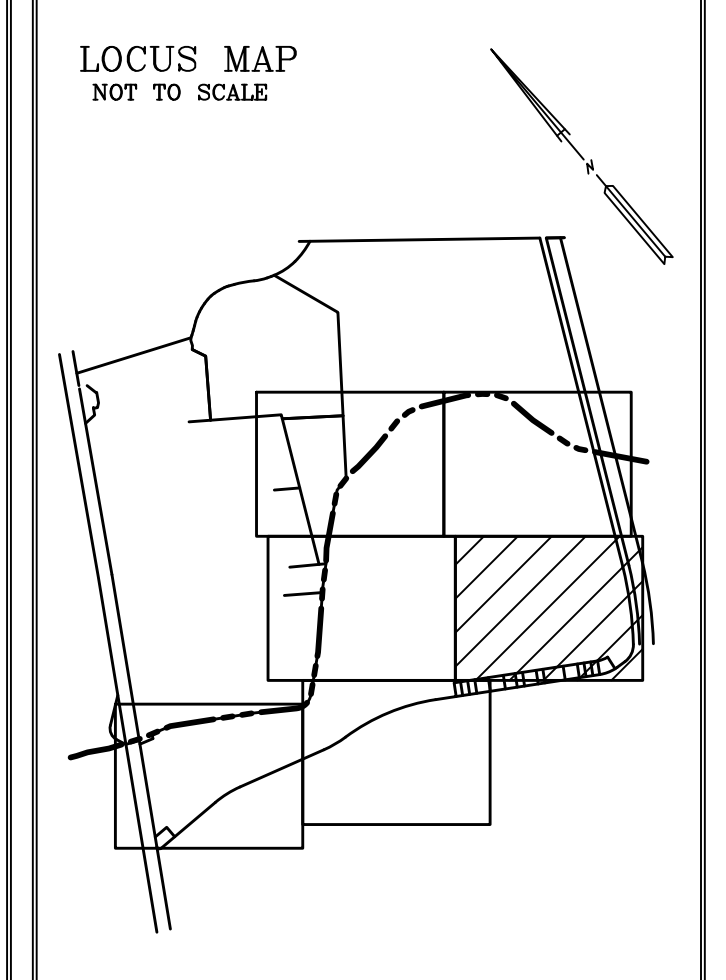
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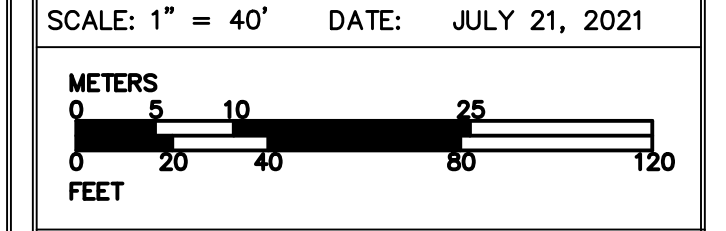
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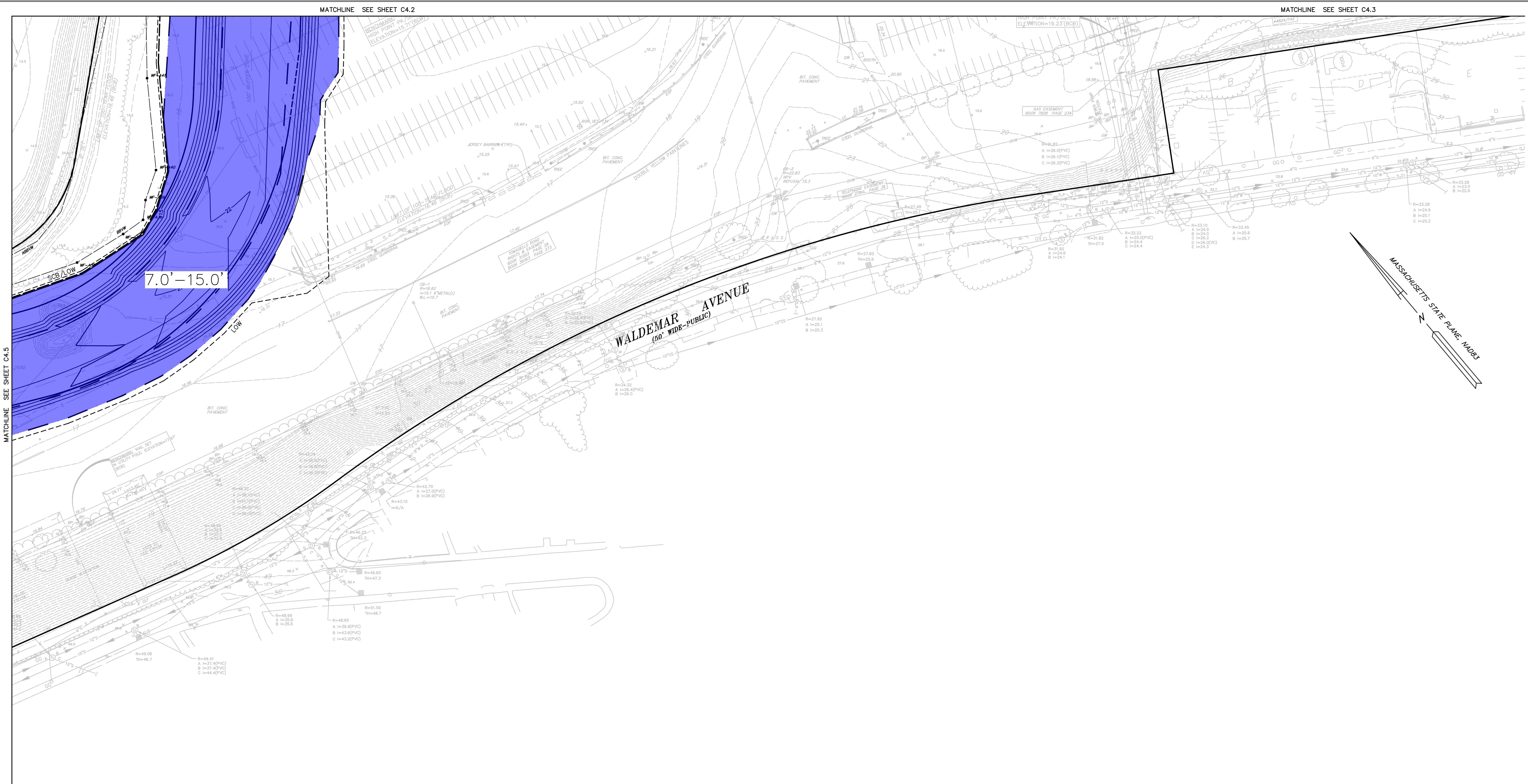
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ISSUE DATE	DESCRIPTION		
DES	DWN	CHK'D	APP'D

PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
BOSTON, MASSACHUSETTS
SCALE: 1" = 40' DATE: JULY 21, 2021



SURCHARGE GRADING PLAN

B+T JOB NO. 2854.28
B+T PLAN NO. 285428P396A-005 **GT.13**



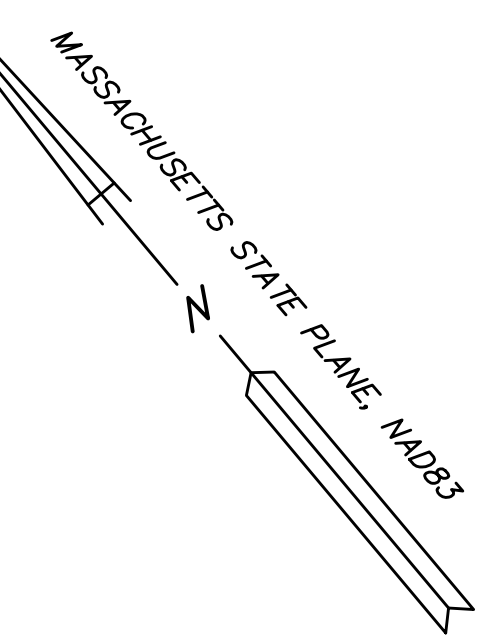
MATCHLINE SEE SHEET C4.5

MATCHLINE SEE SHEET C4.2

MATCHLINE SEE SHEET C4.3

7.0' - 15.0'

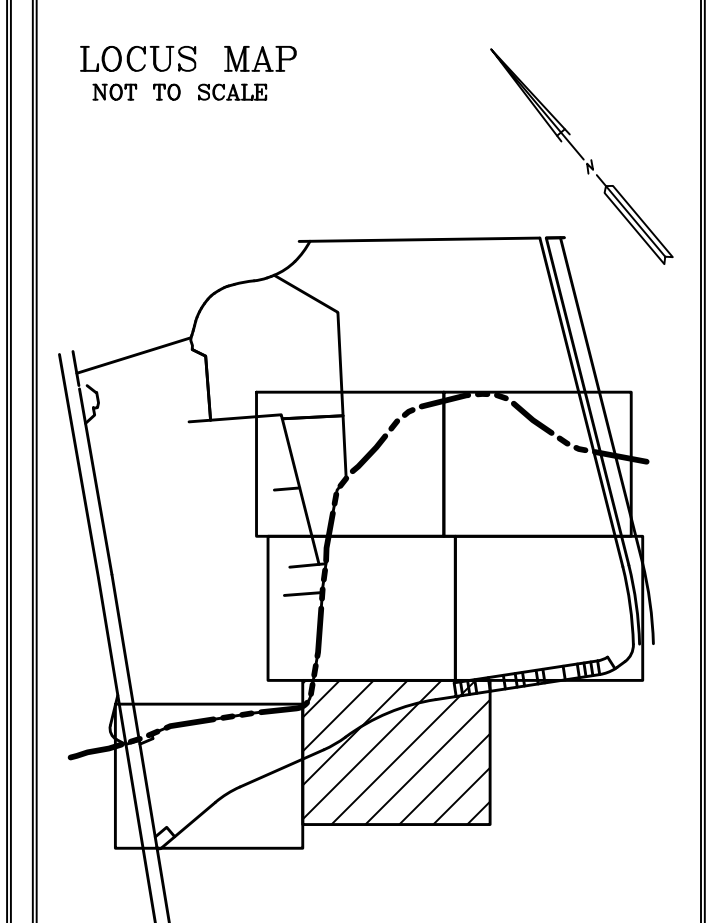
WALDEMAR AVENUE
(60' WIDE - PUBLIC)



NOTE:
PROPOSED GRADING SHOWN IS FOR INFORMATIONAL PURPOSES ONLY AND IS SUBJECT TO CHANGE AS THE SITE DESIGN PROGRESSES.

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PREPARED FOR:
The McClellan Highway Development Company, LLC
c/o The HYM Investment Group, LLC
ONE CONGRESS STREET
BOSTON, MASSACHUSETTS 02114



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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021

SURCHARGE GRADING PLAN

B+T JOB NO. 2854.28
B+T PLAN NO. 285428P396-006
GT14

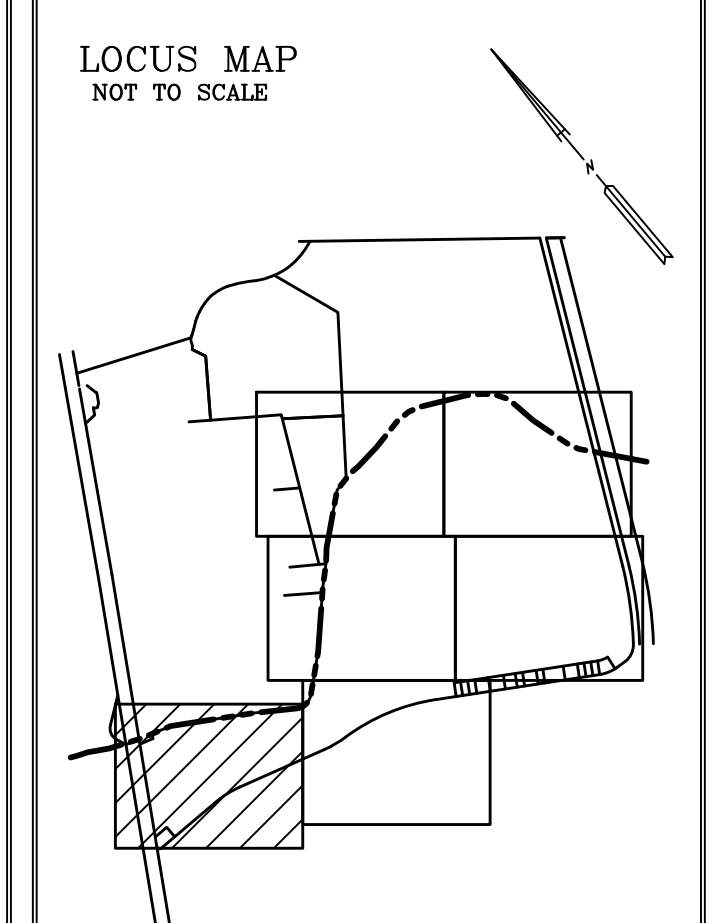


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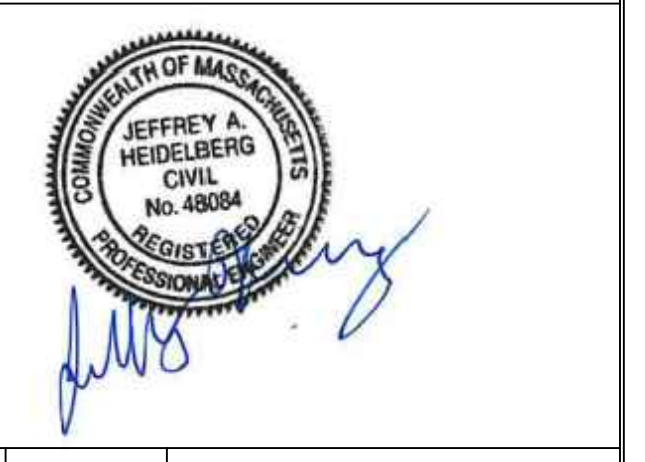
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PROJECT:
SUFFOLK DOWNS REDEVELOPMENT, EARLY RELEASE SITE WORK - BOSTON
 BOSTON, MASSACHUSETTS

SCALE: 1" = 40' DATE: JULY 21, 2021

SURCHARGE GRADING PLAN

B+T JOB NO. 2854.28
 B+T PLAN NO. 285428P396A-007
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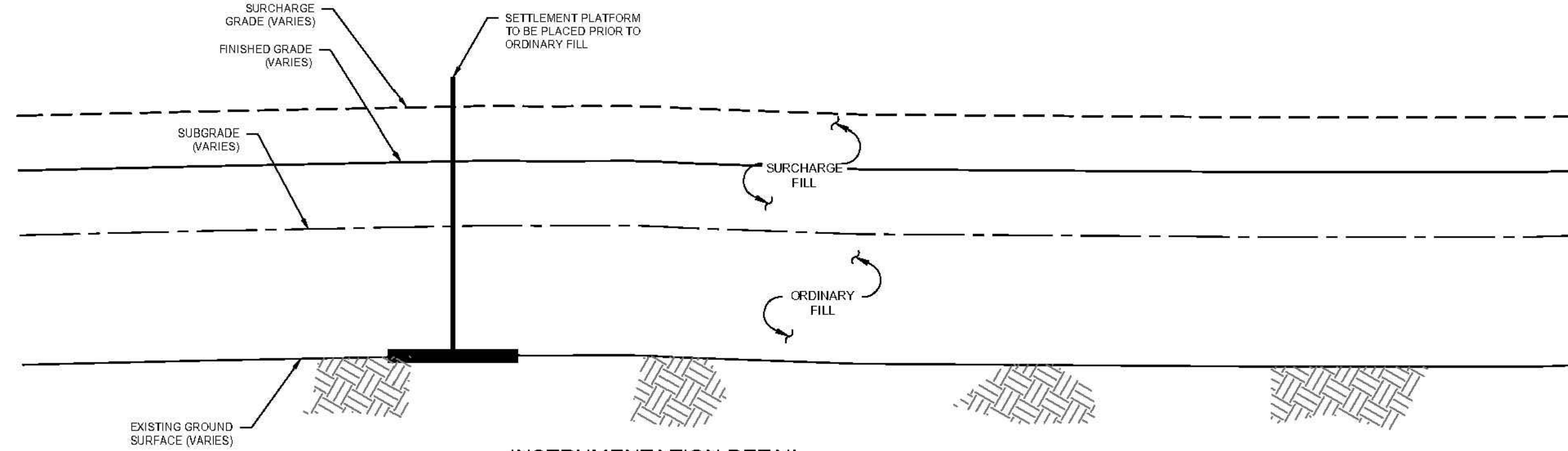


GALVANIZED STEEL FLANGE FOR
THREADED ROD (TYP.) ATTACH FLANGE TO
PLYWOOD WITH 4 WOOD SCREWS

1 SETTLEMENT PLATFORM - PLAN VIEW

NOT TO SCALE

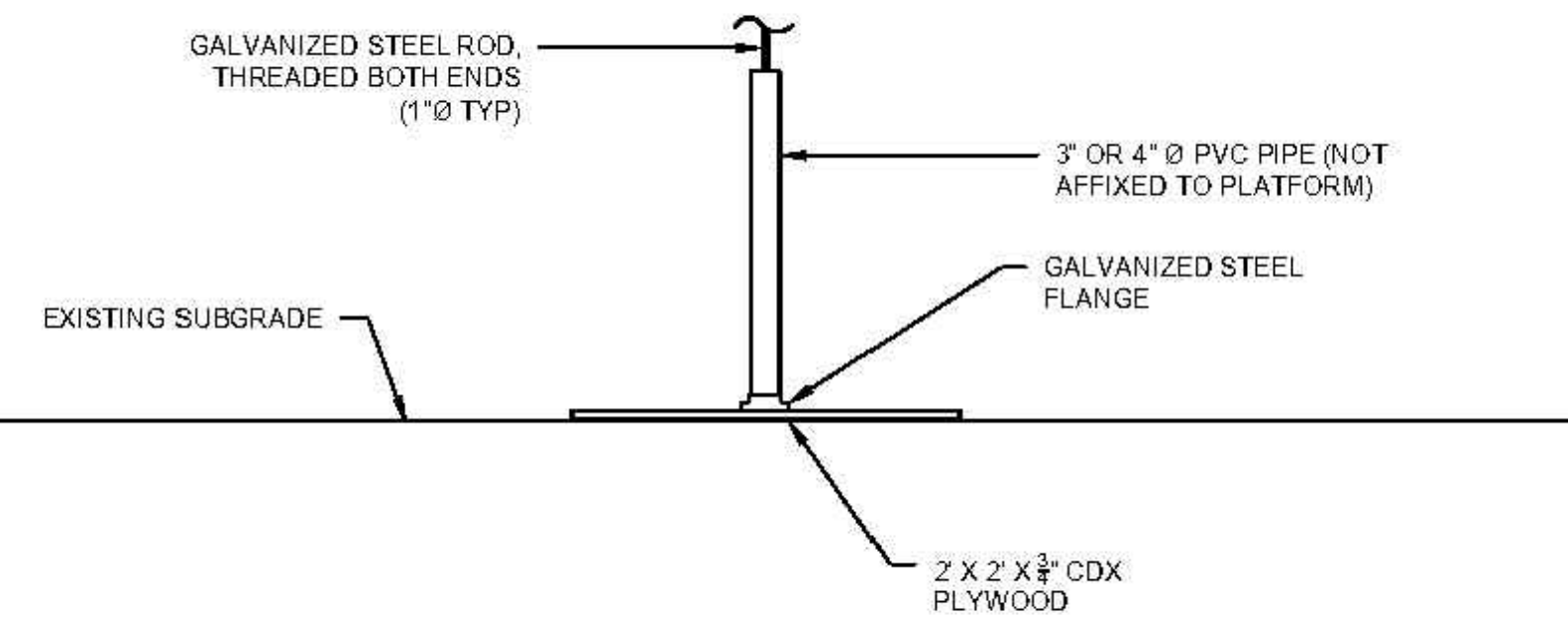
NOTE: SETTLEMENT PLATFORMS TO BE PROVIDED BY THE
GEOTECHNICAL ENGINEER. DETAIL PROVIDED FOR REFERENCE ONLY.



3 INSTRUMENTATION DETAIL

NOT TO SCALE

NOTE: SETTLEMENT PLATFORMS TO BE PROVIDED BY THE
GEOTECHNICAL ENGINEER. DETAIL PROVIDED FOR
REFERENCE ONLY.

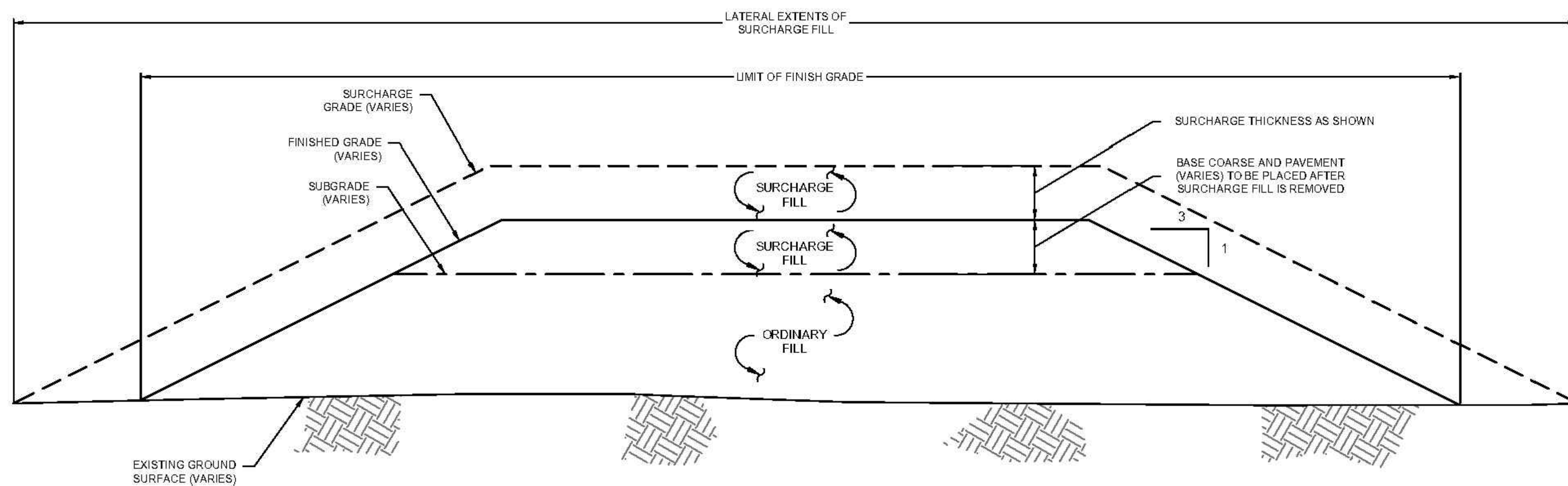


2 SETTLEMENT PLATFORM - ELEVATION VIEW

NOT TO SCALE

NOTES:

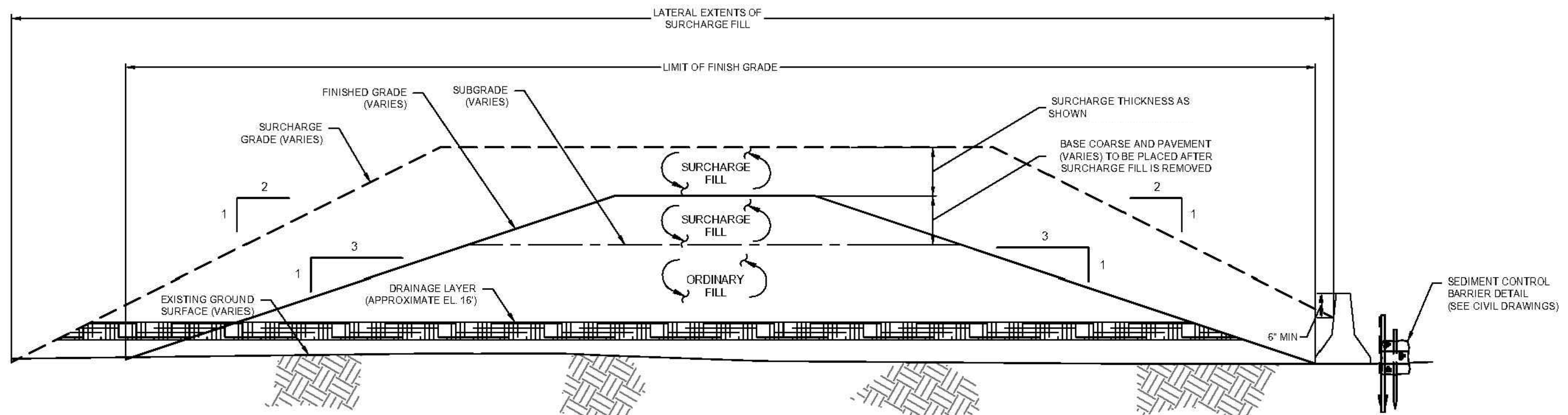
1. THE SETTLEMENT PLATFORMS TO BE PROVIDED BY THE GEOTECHNICAL ENGINEER. THE DETAIL IS PROVIDED FOR REFERENCE ONLY.
2. THE CONTRACTOR SHALL PROVIDE A SMOOTH AND FLAT EXISTING SUBGRADE FOR THE INSTALLATION OF THE SETTLEMENT PLATFORM. TOPSOIL SHALL BE REMOVED PRIOR TO PREPARATION OF THE SETTLEMENT PLATFORM SUBGRADE.
3. WHERE SOFT OR ORGANIC MATERIAL IS PRESENT AT THE SETTLEMENT PLATFORM SUBGRADE, THE CONTRACTOR SHALL PROVIDE SIX (6) INCHES OF 3/4\"/>



4 TYPICAL SURCHARGE CROSS SECTION

NOT TO SCALE

NOTE:
1. THE THICKNESS OF THE BASE COURSE AND PAVEMENT AS SPECIFIED
IN THE CIVIL ENGINEERING DRAWINGS.



6 TYPICAL SURCHARGE CROSS SECTION WITH JERSEY BARRIER

NOT TO SCALE

NOTE:
1. THE THICKNESS OF THE BASE COURSE AND PAVEMENT AS SPECIFIED
IN THE CIVIL ENGINEERING DRAWINGS.

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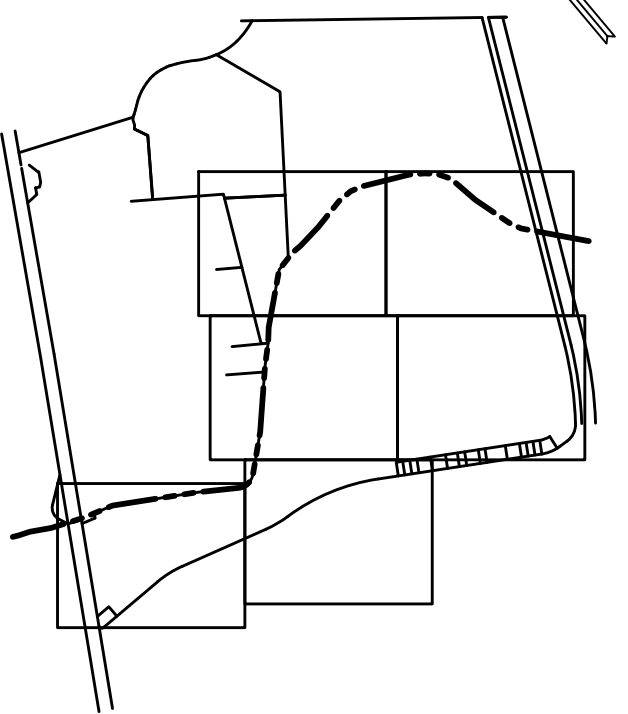
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LOCUS MAP
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BOSTON, MASSACHUSETTS

SCALE: AS SHOWN DATE: JULY 21, 2021

**SURCHARGE
DETAILS**

B+T JOB NO. 2854.28

B+T PLAN NO.
285428P396A-008

GT.20