



# 54 APPLETON ST

12/07/2021

Prepared by Luis Santana, Consulting Engineer

BOSTON LANDMARKS COMMISSION  
APPLICATION NUMBER 22.061 SE

## Overview

Rear decks, 4 stories, and roof deck replacement and repairs, no changes to location or dimensions.

## Objective

1. Correct unsafe and dangerous conditions by replacing structural components.
2. Minimize visibility and upgrade construction to noncombustible materials

## Specifications

**From:** Bennie Ber

**Proj. Name** 54 Appleton Street South End  
- Rear Decks

Material Specification:

Deck Foundations: Cast-in-place concrete cylindrical piers.

Deck Structure: Steel HSS, painted Black (Benjamin Moore HC-190).

Deck Joists: Steel C-joists, painted Black (Benjamin Moore HC-190).

Decking: Composite, Trex Pebble Gray.

Stairs and Railings: Steel, painted Black (Benjamin Moore HC-190).



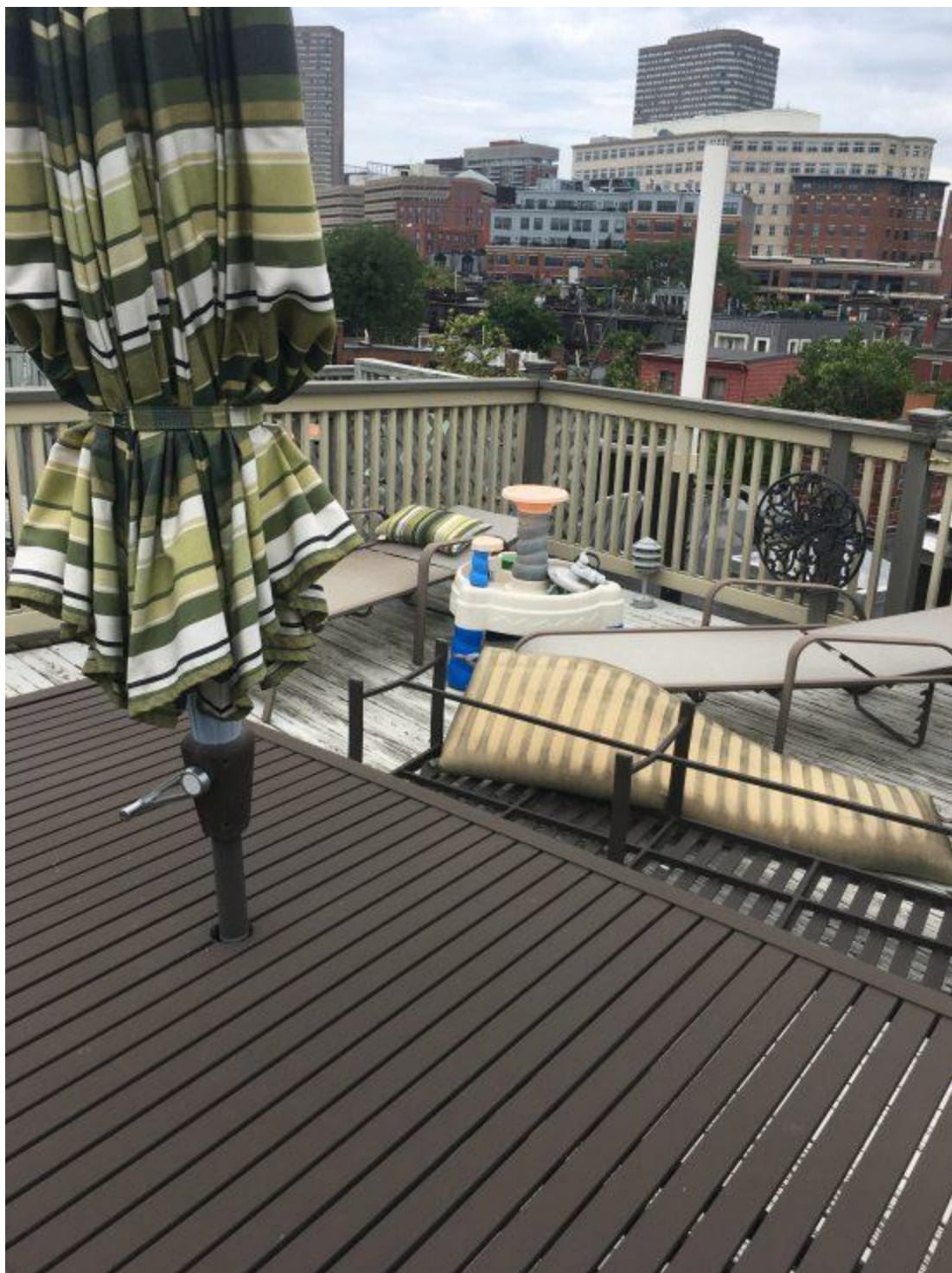
# EXISTING CONDITIONS

PAGES 3-9



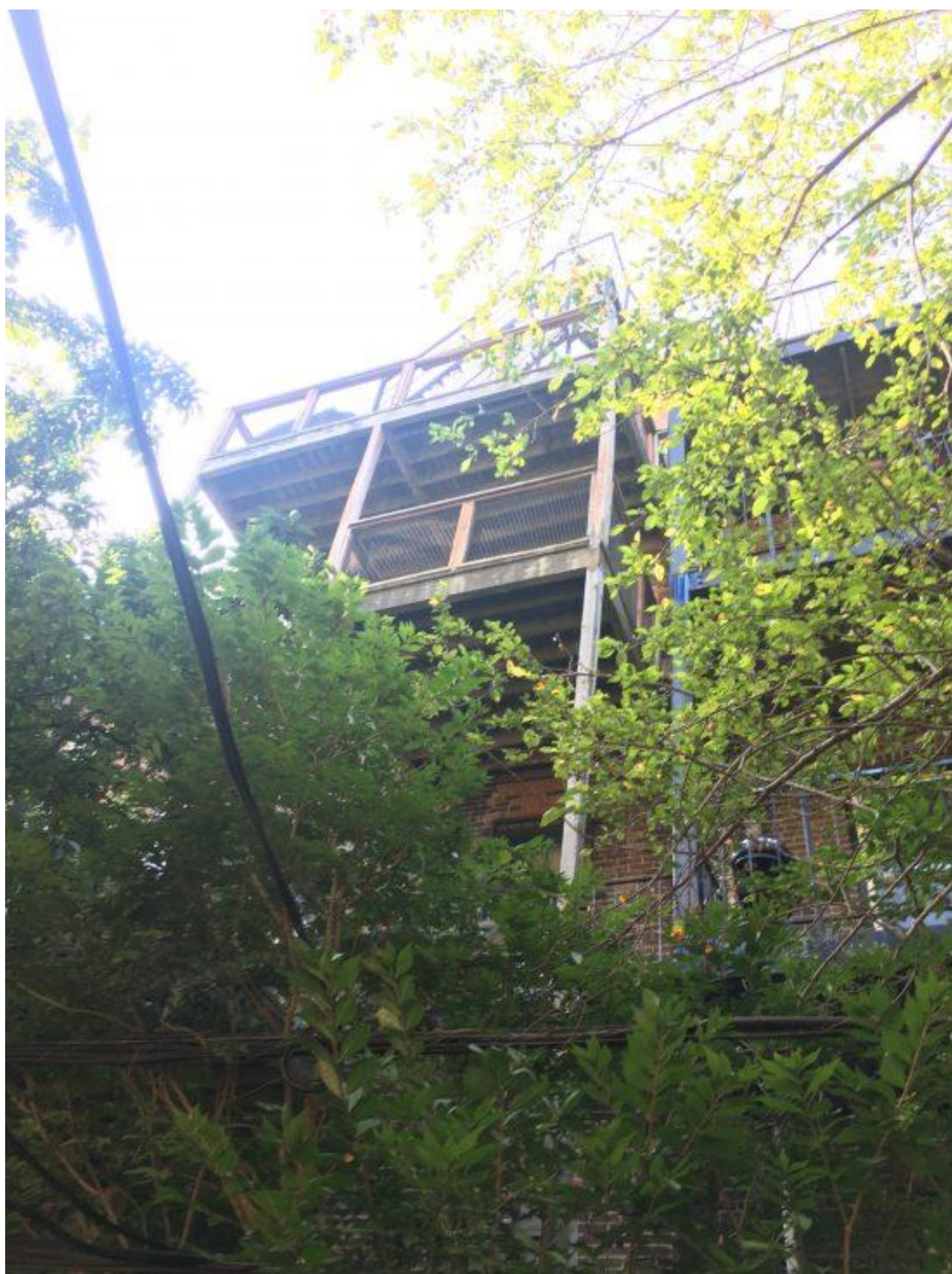


















JUL 5 12 40 PM '88

# SYNOPSIS

CITY OF BOSTON

Location, 54 Appleton Street District, Boston Ward 5  
 Name of owner is? Frank Ribaudo Address, Same  
 Name of architect or engineer is? \_\_\_\_\_ Lic. No. \_\_\_\_\_  
 Material of building is? Brick Style of roof? Flat Construction of roof? T & G  
 Size of building, feet front? 17; feet rear? 17; feet deep? 30; No. of stories? 4  
 No. of feet in height from sidewalk to highest point of roof? 40 Material of foundation? Stone  
 Thickness of external walls? \_\_\_\_\_ Party walls? \_\_\_\_\_

LEGAL OCCUPANCY OR USE (Applicant is not to fill in this box)

Four Apartments 344/1984

Front stairs?  Back stairs? \_\_\_\_\_ Fire escape? \_\_\_\_\_ Con. balconies? \_\_\_\_\_ Any other? \_\_\_\_\_  
 Is building equipped with automatic sprinkler system?   
 Type of construction? \_\_\_\_\_ Group occupancy? \_\_\_\_\_  
 Building to be occupied for 38 Four Apartments after alteration

IF EXTENDED ON ANY SIDE OR VERTICALLY

Size of extension, No. of feet long? \_\_\_\_\_; No. of feet wide? \_\_\_\_\_; No. of feet high above sidewalk? \_\_\_\_\_  
 No. of stories high? \_\_\_\_\_; style of roof? \_\_\_\_\_; material of roofing? \_\_\_\_\_  
 Of what material will the extension be built? \_\_\_\_\_ Foundation? \_\_\_\_\_  
 How will the extension be occupied? \_\_\_\_\_ Type of Construction \_\_\_\_\_

GENERAL DESCRIPTION OF THE PROPOSED WORK AND ITS LOCATION.  
(ALL STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL BE INCLUDED)

**Install roof deck as per plans filed  
and stairs up to roof deck**

**NO CHANGE IN EXTERIOR ARCHITECTURAL  
FEATURES VISIBLE FROM A PUBLIC WAY.** 7/5/88

BOSTON  
LANDMARKS  
COMMISSION  
WG

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

**PLAN FILED WITH REGISTER**

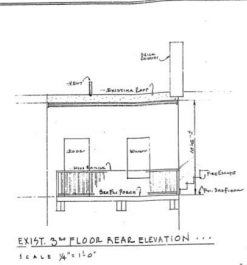
Date 7/5 19 88 Estimated Cost, \$ 8,000  
 Owner's Phone 387-3163  
 The facts I have set forth above in this application and accompanying plans are a true statement to the best of my knowledge and belief.

Signature of Owner: William Evans  
 Type Name of Person Signing: Paul Ledoux  
 (Address): 7 Hesston Terrace, Dorchester  
412 SUMNER ST EAST BOSTON

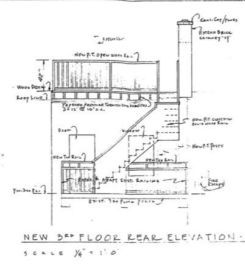
Signature of Architect: Keith Feast  
 Type Name of Person Signing: Keith Feast  
 (Address): William Evans

SS.

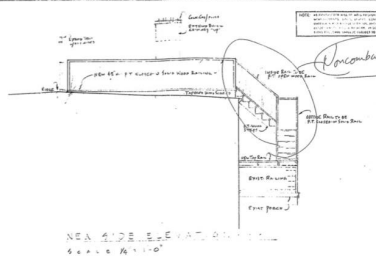
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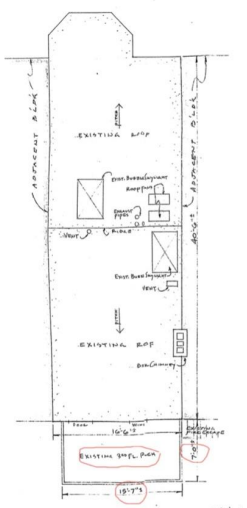
EXIST 3rd FLOOR REAR ELEVATION  
SCALE 1/8" = 1'-0"



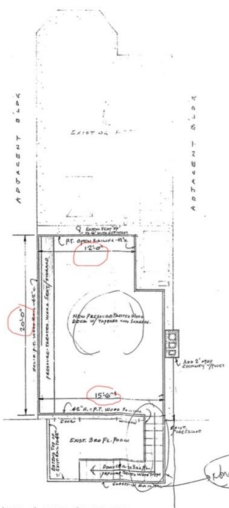
NEW 3rd FLOOR REAR ELEVATION  
SCALE 1/8" = 1'-0"



NEW 3rd FLOOR REAR ELEVATION  
SCALE 1/8" = 1'-0"



EXISTING ROOF PLAN  
SCALE 1/8" = 1'-0"



NEW ROOF PLAN  
SCALE 1/8" = 1'-0"

**GENERAL NOTES:**  
 ALL WORK SHALL CONFORM TO THE STATE BUILDING CODES AND LOCAL ORDINANCES. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE BOOKS AND THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE BOOKS AND THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK.  
 ALL JOINTS SHALL BE TYPE 3, TYPED JOINTS, COMPLETELY FILLED WITH MARIKAL FR-10 FIBER GLASS CONCRETE JOINT FILLER. WHEN JOINT WORK IS COMPLETED, EXPOSED SURFACES TO BE FINISHED WITH CLEAR WATER AND VISE FINISH.  
 WOOD CONSTRUCTION: FRAMING LUMBER SHALL BE PRESSURE-TREATED 20% AS PER #1, 4x12 BOARDS OUT AND FRAMING THE STRUCTURE. THE BEST WORKMANSHIP MANNER, USING GOOD PRACTICES FOR THIS TYPE WORK.  
 ROOF WATER AND SURFACE DRAINS TO BE ASSURED TO COMPLY TO THE SECTION DRAINS, AS REQUIRED BY LAW.

Handwritten notes and a table:  
 Table with columns: Details, Approved, Status.  
 Table with columns: Date, Revisions, By.  
 Handwritten address: 54 Appleton St, W. 5, 4/30/19.  
 Handwritten signature: J. V. Nuccio.

DATE	REVISIONS	BY
04/30/19	NEW WOOD DECK - EXISTING ROOF - 54 APPLETON STREET, BOSTON, MASS. FRANK RIBBATO, OWNER.	J. V. NUCCIO
04/30/19	EXIST. ROOF PLAN - REAR ELEVATION	J. V. NUCCIO
04/30/19	NEW ROOF PLAN - 3rd FL. REAR ELEVATION	J. V. NUCCIO
04/30/19	NEW 3rd FLOOR REAR ELEVATION	J. V. NUCCIO

OK \$ 70,000 =



344

APPLICANT MUST USE TYPEWRITER IN FILLING IN THIS APPLICATION

CITY OF BOSTON INSPECTORIAL SERVICES DEPARTMENT

BD 1 Certified Street Numbers 540 Appleton Street Street Numbering Inspector.

Application to the Commissioner for Permit for Alterations, Repairs or Change of Occupancy

Description of Present Building

Location, 54 Appleton St. District, So. End Ward 5 Name of owner is? Frank Rabordo Address, same Name of architect or engineer is? Lic. No. Material of building is? brick Style of roof? flat Construction of roof? T&G Size of building, feet front? 16; feet rear? 16; feet deep? 38; No. of stories? 4 No. of feet in height from sidewalk to highest point of roof? 40 Material of foundation? stone Thickness of external walls? 8" Party walls? 8"

LEGAL OCCUPANCY OR USE (Applicant is not to fill in this box) NO RESIDENTIAL OCCUPANCY

Front stairs? X Back stairs? Fire escape? X Con. balconies? X Any other? X Is building equipped with automatic sprinkler system? no Type of construction? brick Group occupancy? Building to be occupied for 4 family after alteration

Description of Proposed Extension

IF EXTENDED ON ANY SIDE OR VERTICALLY Size of extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk? No. of stories high?; style of roof?; material of roofing? Of what material will the extension be built? Foundation? How will the extension be occupied? Type of Construction

GENERAL DESCRIPTION OF THE PROPOSED WORK AND ITS LOCATION. (ALL STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL BE INCLUDED)

Install new bathroom kitchen, electrical, plumbing Legalize as 1/2 family. Each apartment has required sanitary facilities required for habitation which includes toilet, lavatory, tub or shower, kitchen sink and provisions for washing clothes, proper means of ventilation, and means of heating and domestic hot water.

TAKEN DOWN REAR PORCHES, REBUILD TWO EXISTING MEASUREMENTS.

CORRECTION AUTHORIZED THIS DATE 8/6/84

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Date July 25 19 84

Estimated cost, \$ 70,000.00 Phone 242-5113

The facts I have set forth above in this application and accompanying plans are a true statement to the best of my knowledge and belief.

Signature of Owner

Type Name of Person Signing

(Address)

Signature of Licensed Builder

Type Name of Person Signing

(Name of Contractor)

(Address) 20 Rosawood Rd. Lic. No. 03767 Class B & C My license expires 2/2/85

(Address)

SEP-16-11 10:45 AM FROM ENVIRONMENT DEPT 130 P.01

CERT. OF DESIGN APPROVAL/APPROPRIATENESS

CERT. OF EXEMPTION/NON-APPLICABILITY

NO EXTERIOR WORK

DESIGN REVIEW # 95, 239

DATE 9.16.94 AUTH. EP

*[Handwritten signatures and initials]*

**NO 08143**

**CITY OF BOSTON -- INSPECTIONAL SERVICES DEPARTMENT**  
 1010 Massachusetts Avenue, Boston, MA 02118

**SPECIAL FORM APPLICATION No. .... for Permit for**  
 Demolition, Ordinary Repairs and Minor Alterations Not Involving Vital  
 Structural Changes.

This form **NOT TO BE USED** for ADDITIONS or CHANGES OF OCCUPANCY

The undersigned hereby applies to the Commissioner, Inspectional Services,  
 for a permit to perform the work described herein:

DATE .....

Street and No. 54 Appleton Street ..... Boston ..... Historic District/Ward 5

Name of Owner Frank Ribaud ..... Address Same .....  
 Zone ..... Fire Limit .....

Material of Building Brick ..... Group Occupancy and Division .....

Size of building, feet front 17 ; feet rear 17 ; feet deep 30 ; No. of stories 4 .....

How is building NOW occupied? Four Apartments ..... 34-1989 .....

Check all means of egress from this building:  
 Main stairs ..... Back stairs ..... Fire escapes ..... Con. balconies ..... Any other .....

Is this work being done to remove Building Code Violations? Yes ..... No .....

Detail of proposed work -- STATE EXACTLY WHAT IS TO BE DONE:  
Remove deck (existing) on roof... install new roof  
and replace deck same dimensions

Estimated Cost, \$ 13,576 .....

The facts set forth in this application and in the accompanying plans (if any) are true statements made  
 under penalty of perjury. The applicant also attests that he has read the statement printed on the reverse  
 side and abides by its requirements

Address .....  
 Phone .....

(Signature of Owner or Authorized Agent) .....

Address 443 Albany St. Boston .....  
 Lic. No. R00394 Class C .....

My license expires 6/29/95 .....

Address Sharp Construction .....  
 Phone .....

(Name of Contractor)

Approved (date) .....  
 By .....

Permit granted .....  
 By .....



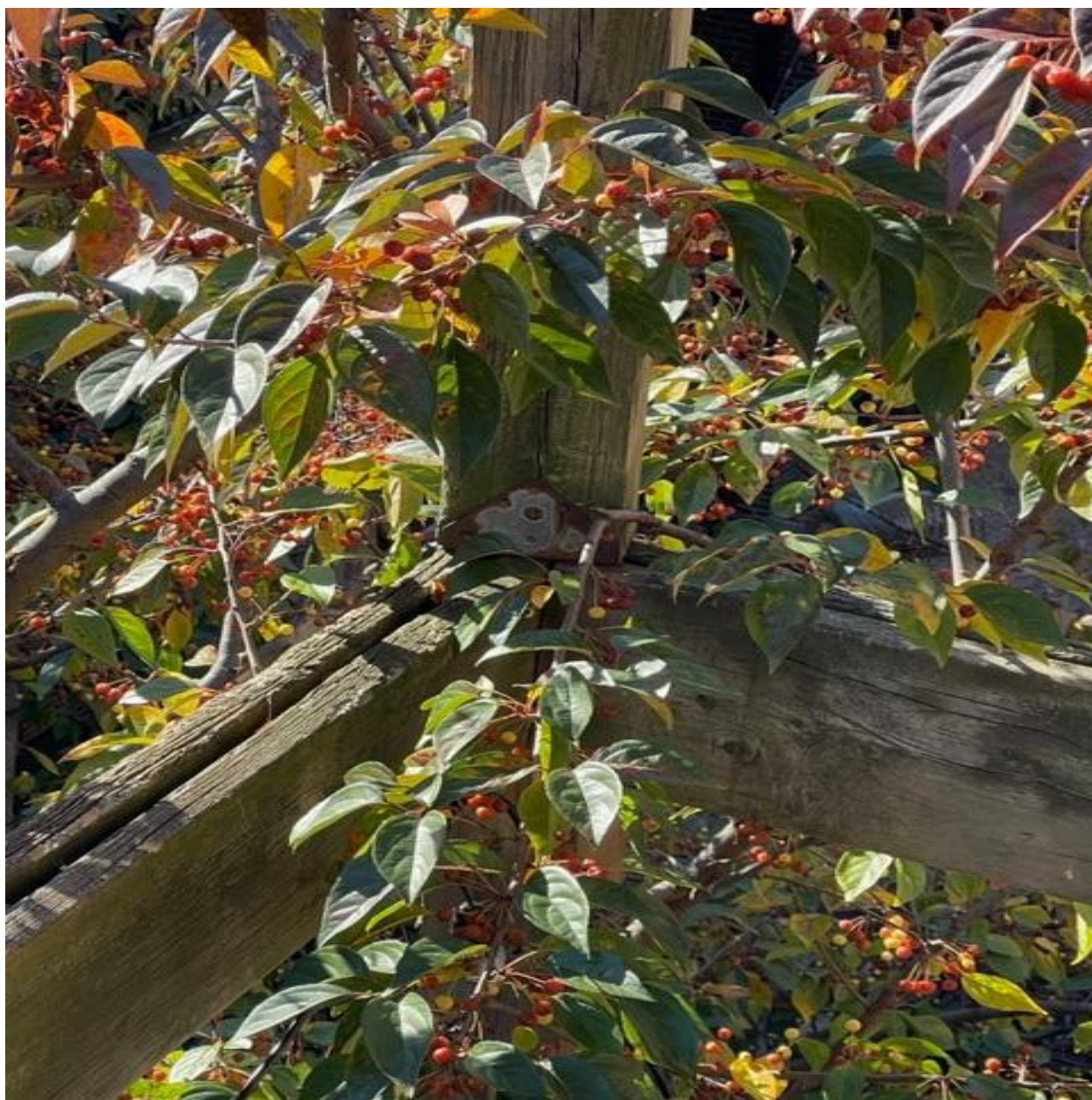
# **DETERIORATED COMPONENTS**

**PAGES 14-21**



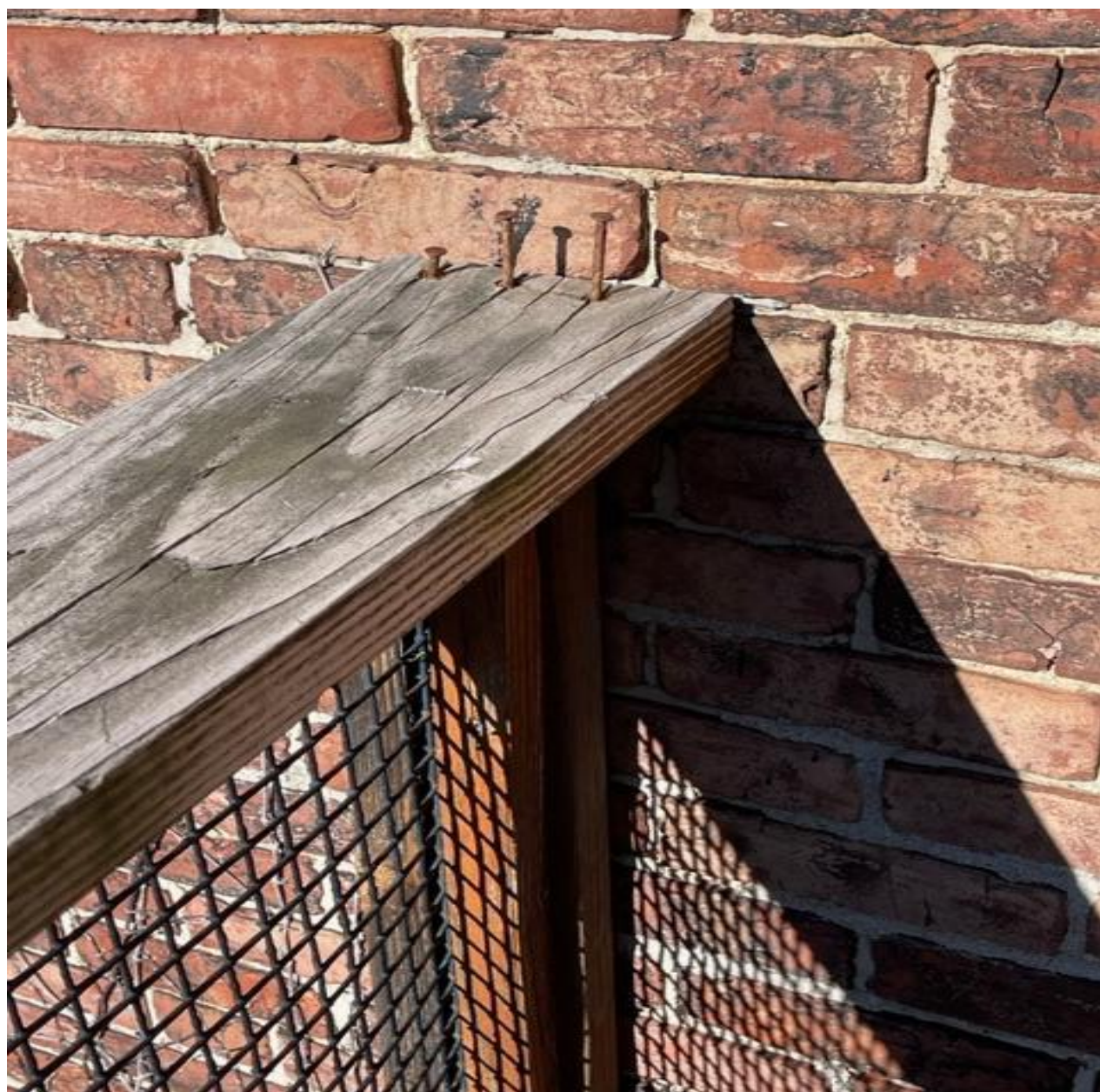
















# **EXISTING CONDITIONS PLANS**

**PAGES 22-24**







# PROPOSED PLANS

PAGES 25-31

19021 - AS 101.pdf  
1 page

Search

No.	Date	Author	Revised Notes

A. 10/20/2021 Periodic Review

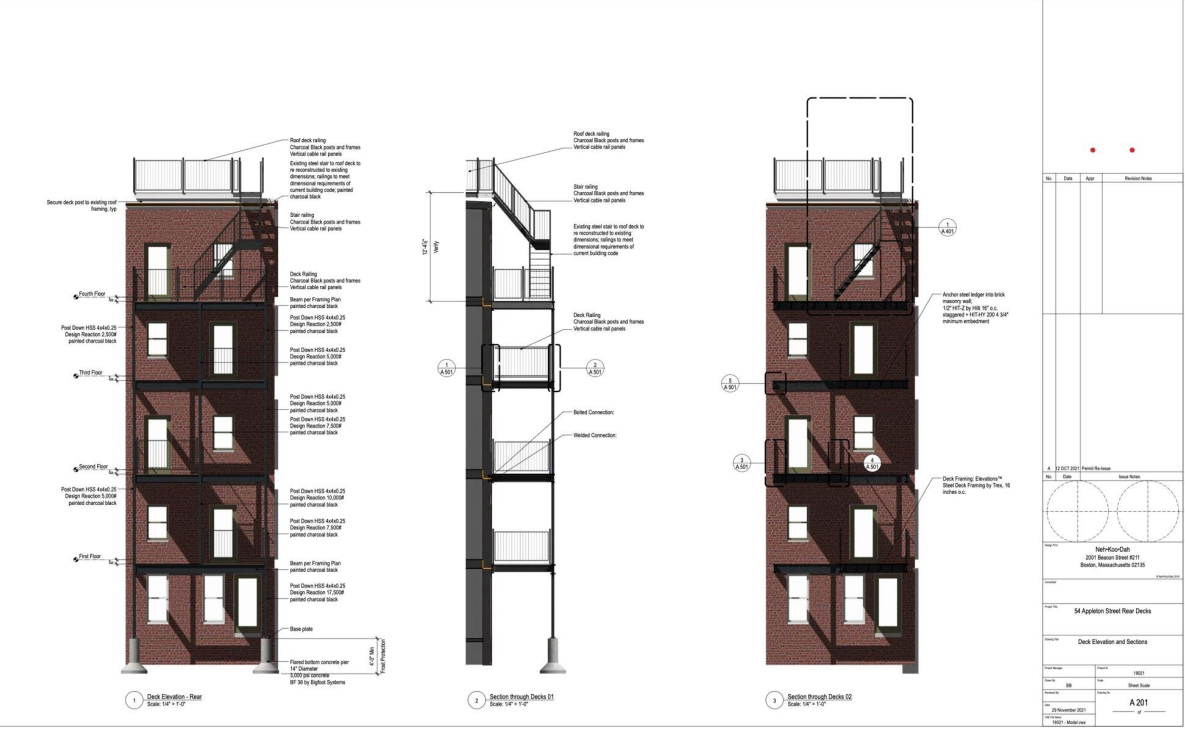
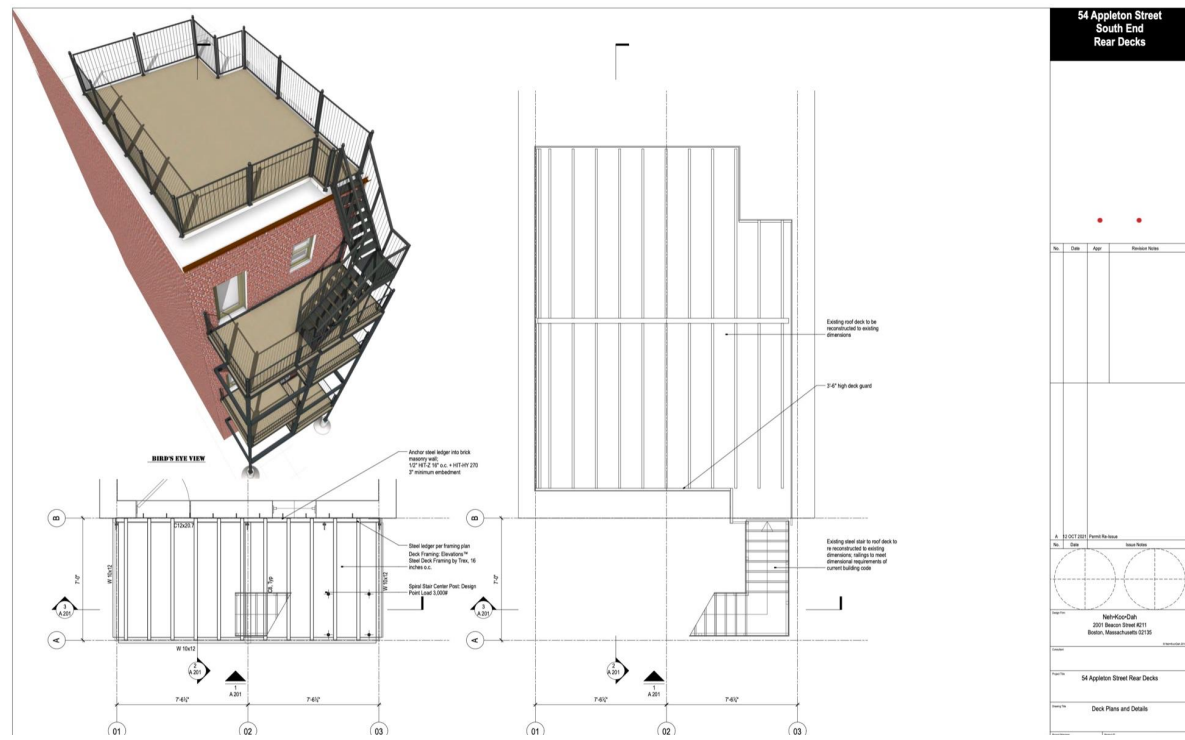
No.	Date	Author	Revised Notes

19021 - AS 101  
High-Rise Club  
2007 Beacon Street #C11  
Boston, Massachusetts 02135

54 Appleton Street Rear Deck

Street Sightline Section

19021

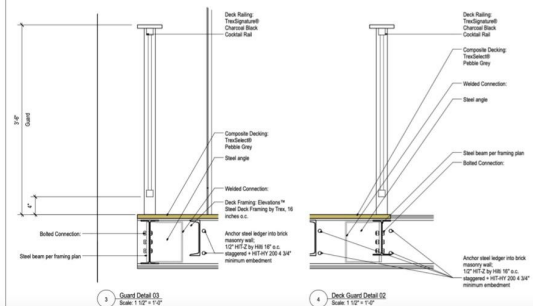
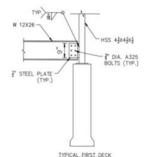
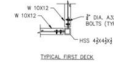
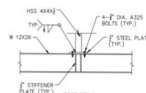
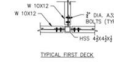
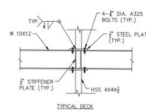
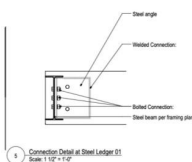
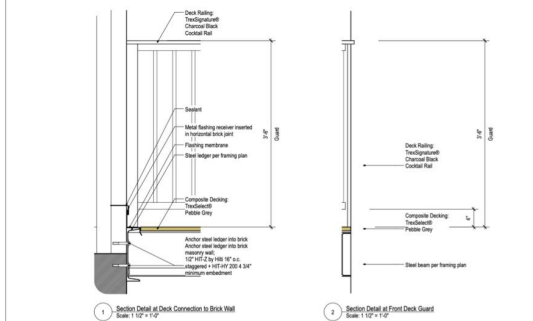




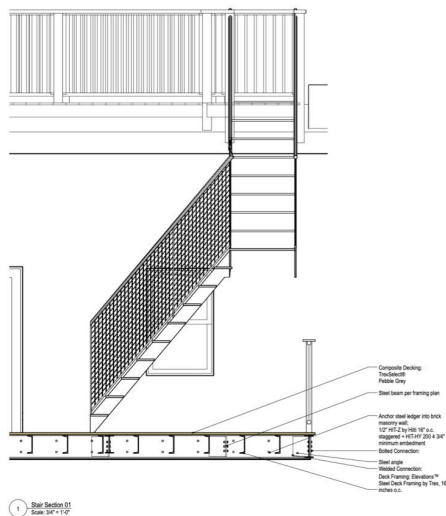








Rear Decks			
No.	Date	Appr.	Revision Notes
<p>A. 10/07/2021 (Permit/Revised)</p> <p>No. Date Appr. Revision Notes</p> <p></p> <p>Nath-Kor-Cyfr 300 Beacon Street #211 Boston, Massachusetts 02130</p>			
<p>54 Appleton Street Rear Decks</p> <p>Details Interior Elevations</p> <p>Scale: 1/8" = 1'-0"</p> <p>10 October 2021</p>			



Rear Decks			
No.	Date	Appr.	Revision Notes
<p>A. 10/07/2021 (Permit/Revised)</p> <p>No. Date Appr. Revision Notes</p> <p></p> <p>Nath-Kor-Cyfr 300 Beacon Street #211 Boston, Massachusetts 02130</p>			
<p>54 Appleton Street Rear Decks</p> <p>Stair Plans, Sections, and Details Interior Elevations</p> <p>Scale: 1/8" = 1'-0"</p> <p>10 October 2021</p>			



## SUMMARY

Other alternatives to minimize visibility of replacement for existing rear decks and access such as eliminating access from 4th rear deck to roof deck (most protuberant element), and replacing with interior stairs and access hatch were explored and it was determined not feasible. This approach, although optimal to comply with Landmarks' criterias, will cause an unduly hardship due to the zoning and building code implications. Application process will have to be initiated again and potential relief may be required. In addition, this process will extend the relative unsafe conditions of the existing structure (affidavit from RA included demonstrating urgency of replacement).

In order to achieve significant decreased visibility, replacement proposal includes, elimination of all decayed pressure treated construction and replace all framing/structural members for rear decks with steel columns/posts, steel beams and channels, all guards and railings will be replaced for rear and roof decks with TrexSignature metal charcoal black, all new elements will be opaque.

Please note, existing decks are legal non conforming structures (both zoning and building code, permitting history included\*). Any deviation from existing footprint, dimensions or access components will require relief from **Article 9 Section 9-1** Extension and Reconstruction of Non conforming Structures.

Proposed project is subject and complies with **IEBC Chapter 5 Section 502 Repairs** which includes “the restoration or replacement of damaged materials, elements or equipment for the purpose of maintaining such components in good and sound condition with respect to existing loads or performance requirements”.

In addition, in accordance with **IEBC Chapter 5 Section 502.3 Related Work**, “work on non damaged components that is required for the repair of damaged components shall be considered part of the repair and not subject to the provisions of Chapter 7, 8, 9, 10 or 11”.

In addition to proposed mitigation, the owner and contractor will incorporate any recommendations by the Commission within regulations' parameters included herein.

\*In accordance with previously approved plans by ISD, rear decks were in existence preceding permit applications number 344 (7/30/1984), “Take down rear porches rebuild to existing measurements” (permit issued August 10, 1984), permit application number 34 (7/5/1988), “install roof deck and stairs to roof deck” (permit issued on September 13, 1988). These building permits and plans approved by ISD (included with submittal) reflecting dimensions of 7'x 15.8' for rear decks and 20'x12'x 15.5' for roof deck, are consistent with renovations and replacement of proposed project under current permit application ALT1190770