



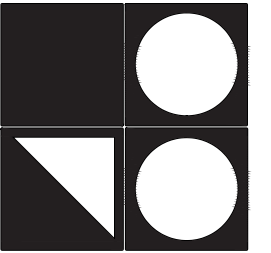




REYNOLDS RESIDENCE

304 BEACON ST UNIT 1
BOSTON MA 02116

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BOSTON MA 02116



John Buckley Architecture & Design
46 Waltham St. Studio 101
Boston MA, 02118
&
373 Broadway, Ste F11
New York NY, 10013

CONSULTANTS / CONTRACTOR

ABBREVIATIONS & SYMBOLS

ARCHITECTURAL ABBREVIATIONS

ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION
&	AND	ENCL	ENCLOSURE; ENCLOSED	OC	ON CENTER
@	AT	ENG	ENGINEER	OD	OVERALL/OUTSIDE DIM
A/C	AIR CONDITIONING	EQ	EQUAL; EQUIVALENT	OPG	OPENING
ACCOM	ACCOMMODATE	EQUIP	EQUIPMENT	OPH	OPPOSITE HAND
ACT	ACOUSTIC CEILING TILE	EX'G	EXISTING	OPP	OPPOSITE
ADJ	ADJACENT	EXP	EXPOSED	PART	PARTITION; PARTIAL
ADJT	ADJUSTABLE	EXP JT	EXPANSION JOINT	PBO	PROVIDED BY OTHER/OWNER
AFF	ABOVE FINISHED FLOOR	EXT	EXTERIOR	PCC	PRE-CAST CONCRETE
ALT	ALTERNATE	FD	FINISH DIMENSION	PL	PLATE
ALUM	ALUMINUM	FDN	FOUNDATION	PLAM	PLASTIC LAMINATE
ANOD	ANODIZED	FF	FINISH FLOOR	PLAS	PLASTER
AP	ACCESS PANEL	FIN	FINISH	PLUMB	PLUMBING
APPROX	APPROXIMATELY	FIX	FIXTURE	PLYWD	PLYWOOD
ARCH	ARCHITECT; ARCHITECTURAL	FLG	FLASHING	PNT	PAINT/PAINTED
ASPH	ASPHALT	FLR	FLOOR (ING)	POL	POLISHED
BB	BASEBOARD	FLUOR	FLUORESCENT	POS	POSITIVE
BC	BUNDLED CABLE	F.O.	FACE OF	PRELIM	PRELIMINARY
BD	BOARD	FP	FIREPROOFING	PVC	POLYVINYL CHLORIDE
BEY	BEYOND	FPSC	FIREPROOF SELF-CLOSING	R	RISER
BIT	BITUMINOUS	FR	FIRE RESISTANT	R/A	RETURN AIR
BLDG	BUILDING	FRS	FINISH SLAB	RAD	RADIUS; RADIATOR
BLK	BLOCK	FT (')	FOOT; FEET	R/C	REFLECTED CEILING PLAN
BLKG	BLOCKING	FTG	FOOTAGE; FOOTING	RD, RND	ROUND
BM	BEAM	GA	GAUGE	RECPT	RECEPTACLE
B.O.	BOTTOM OF	GALV	GALVANIZED	REF	REFER TO; REFRIGERATOR
BRG	BEARING	GC	GENERAL CONTRACTOR	REINF	REINFORCED
BTW	BETWEEN	GD	GROUND	REQD	REQUIRED
CAB	CABINET	GFI	GROUND FAULT INTERRUPTER	RES	RESILIENT
CBB	CEMENTITIOUS BACKER BOARD	GLASS	GLASS	REV	REVEAL
CCR	CEDAR	GWB	GYPSON WALL BOARD	RM	ROOM
CEM	CEMENTITIOUS	HD	HAND; HEAD	RO	ROUGH OPENING
CFM	CUBIC FEET PER MINUTE	HDR	HEADER	SBO	SUPPLIED BY OTHER
CHR	CHROME	HDWR	HARDWARE	SCHED	SCHEDULE
CL	CENTERLINE	HT, HGT	HEIGHT	SEC	SECTION
CIP	CAST-IN-PLACE	HM	HOLLOW METAL	SIM	SIMILAR
CJT	CONTROL JOINT	HORIZ	HORIZONTAL	SOF	SOFFIT
CLG	CEILING	HR	HOUR	SP	SPRINKLER
CLR	CLEARANCE	HVAC	HEATING, VENTILATION & A/C	SPEC	SPECIFICATION; SPECIFIED
CMU	CONCRETE MASONRY UNIT	HW	HOT WATER	SQ	SQUARE
COL	COLUMN	IN (")	INCH	SS	STAINLESS STEEL
COMBO	COMBINATION	INCL	INCLUDED; INCLUDING	STL	STEEL
CONC	CONCRETE	INSUL	INSULATION; INSULATED	STR	STRAIGHT
CONST	CONSTRUCTION	INT	INTERIOR	STOR	STORAGE
CONT	CONTINUOUS	JT	JOINT	STRUCT	STRUCTURE; STRUCTURAL
COORD	COORDINATE	L	LENGTH	SUSP	SUSPENDED
CP	CENTER POINT	LACQ	LACQUER	T	TREAD
CPT	CARPET	LAM	LAMINATED; LAMINATIONS	TEL	TELEPHONE
CT	CERAMIC TILE	LAV	LAVATORY	TEMP	TEMPERATURE/TEMPERED
CTR	CENTER	LIN	LINEAR	T&G	TONGUE & GROOVE
CW	COLD WATER	LCC	LEAD COATED COPPER	THK	THICK; THICKNESS
CWR	CLEAR WESTERN RED CEDAR	LT	LIGHT	TLT	TOILET
D	DEPTH; DEEP	MAS	MASONRY	T.O.	TOP OF
DEG (°)	DEGREE	MAX	MAXIMUM	T.O.S	TOP OF SLAB
DEMO	DEMOLITION	MECH	MECHANICAL	TYP	TYPICAL
DEPT	DEPARTMENT	MEMB	MEMBRANE	UNO	UNLESS NOTED OTHERWISE
DIA	DIAMETER	MFR	MANUFACTURER	VB	VAPOR BARRIER
DIAG	DIAGONAL	MID	MIDDLE	VCT	VINYL COMPOSITION TILE
DIF	DIFFUSER	MIN	MINIMUM	VENEER	VENEER
DIM	DIMENSION	MISC	MISCELLANEOUS	VERT	VERTICAL
DMPR	DAMPER	MLWK	MILLWORK	VIF	VERIFY IN FIELD
DN	DOWN	MGMT	MANAGEMENT	W	WIDTH
DR	DOOR	MO	MASONRY OPENING	WI	WITH
DTL	DETAIL	MGRWB	MOISTURE RESISTANT GWB	WC	WATER CLOSET
DW	DISHWASHER	MTL	METAL	WD	WASHER & DRYER
DWG	DRAWING	NIC	NOT IN CONTRACT	WD	WOOD
EA	EACH	NO (#)	NO (#)	WIN	WINDOW
ELEC	ELECTRICAL	NOM	NOMINAL	WPF	WATERPROOF
ELEV	ELEVATION	NTS	NOT TO SCALE	WPM	WATERPROOF MEMBRANE
EMER	EMERGENCY	OA	OVERALL	W/O	WITHOUT

ARCHITECTURAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ROOM TAG: NAME, NUMBER, & AREA		SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
	EX'G CONSTRUCTION		PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO
	EX'G CONSTRUCTION TO BE REMOVED		INTERIOR ELEVATION REFERENCE: DISPLAYS DWG NO & SHEET NO
	NEW CONSTRUCTION		DOOR TAG: REFERS TO DOOR SCHEDULE
	OVERHEAD		WINDOW TAG: REFERS TO WINDOW SCHEDULE
	HIDDEN BELOW		OBJECT TAG: REFERS TO SCHEDULE
	CENTER LINE		WALL TYPE INDICATOR
	EX'G DOOR		ELEVATION DATUM
	NEW DOOR		SPOT ELEVATION
	DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO		REVISION MARKER
	EXIT LIGHT		STAIR REFERENCE: DISPLAYS RISER & TREAD INFORMATION
	EMERGENCY LIGHT		COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR

NOTES

BUILDING DEPARTMENT NOTES

- ALL REFERENCES TO THE 'BUILDING CODE' OR 'THE CODE' SHALL REFER TO THE BUILDING CODE OF THE CITY OF BOSTON AND/OR MASSACHUSETTS STATE BUILDING CODE 2016 UNLESS OTHERWISE STATED.
- CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF LOCAL BUILDING CODES, STATE LABOR LAW AND ALL REGULATIONS OF THE CITY OF BOSTON AND MASSACHUSETTS STATE. ALL PERMITS SHALL BE PROPERLY DISPLAYED.
- MEANS OF EGRESS SHALL BE KEPT UNOBSTRUCTED AT ALL TIMES AS PER THE CODE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, APPROVALS, TESTING AND INSPECTIONS AS MAY BE REQUIRED BY THE DEPARTMENT OF BUILDINGS, ENVIRONMENTAL PROTECTION AGENCY, AIR RESOURCES AND THE FIRE DEPARTMENT AS PER THE CODE.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEPARTMENT OF BUILDINGS PERMITS PRIOR TO THE START OF WORK.
- ALL MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
A. IT SHALL CONFORM WITH MFBU 'FIRE RESISTANCE RATINGS' DECEMBER 1964.
B. IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E-119-1961 'STANDARD METHOD OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS' AND ACCEPTED BY THE COMMISSIONER.
C. IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.
- ALL CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES OR HOT GASES FROM ONE FLOOR TO ANOTHER SHALL BE PROPERLY FIRESTOPPED AS PER SUB-ART 13. MATERIALS ACCEPTABLE FOR FIRESTOPPING SHALL BE ROCKWOOL, MINERAL WOOL, NON-COMBUSTIBLE MATERIAL, SHEET METAL .022 THICK (MIN.), GYPSUM BOARD TYPE 'X'.
- INTERIOR FINISHES TO HAVE FLAME SPREAD RATINGS AS PRESCRIBED IN ASTM E-84-1961 'STANDARD METHOD TEST FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS'.
- ALL SPACES OCCUPIED AS INDICATED ON PLAN.
- ALL EXIT DOORS TO BE NON-COMBUSTIBLE.
- SUSPENDED CEILING CONSTRUCTION SHALL COMPLY WITH THE IRC & MASSACHUSETTS BUILDING CODE.
- ALL FIRE RATED DOORS SHALL BE 3'-0" X 7'-0" MINIMUM AND SHALL BEAR THE LABEL OF THE BOARD OF STANDARD AND APPEALS OR THE M.E.A. DIVISION.

GENERAL PROJECT NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MASSACHUSETTS AND CITY OF BOSTON, FIRE DEPT. REGULATIONS, UTILITY CO. REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING CITY OF BOSTON AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE PLANS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.

CONSTRUCTION NOTES

- ALL WALL TYPES ARE AS LISTED.
- ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
- PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING STRUCTURE UNLESS OTHERWISE NOTED. ALL EXISTING CORNER BEADS SHALL BE REMOVED AND JOINTS TAPED AND SPACKLED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- FRAMING OF ALL OPENINGS FOR DUCT WORK, RETURN AIR OPENINGS AND GRILLE OPENINGS ABOVE AND BELOW SUSPENDED CEILINGS SHALL BE COORDINATED WITH HVAC SHOP DRAWINGS. ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUND AND VIBRATION CONTROL.
- WHERE DUCTS, PIPES OR CABLES PENETRATE RATED PARTITIONS, PROVIDE FIRESTOP MATERIAL TO INSURE CONTINUITY OF RATING.
- REFERENCE DOOR SCHEDULE FOR DOOR TYPES AND DOOR HARDWARE.
- DETAILED DOOR AND HARDWARE SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. FABRICATION OF MATERIAL SHALL NOT BEGIN UNTIL SUCH APPROVALS HAVE BEEN RECEIVED FROM THE ARCHITECT.
- ALL DOORS IN DRYWALL PARTITION SHALL BE SET 4" FROM CLEAR OPENING OF FRAME TO IMMEDIATE ADJACENT WALL, UNLESS OTHERWISE NOTED.
- ALL DOORS SHALL BE UNDERCUT, TO CLEAR FINISH FLOOR OR THRESHOLD BY 1/4", UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL REQUIREMENTS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE DRAWINGS.
- CONTRACTORS MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE CONSTRUCTION FLOORS DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
- WHERE CLEAR DIMENSIONS ARE INDICATED FOR FILE NICHE, CORRIDORS, ETC. DIMENSIONS INDICATED MUST BE MAINTAINED.
- CONTRACTOR SHALL COMPLY WITH ALL BASE BUILDING STANDARDS FOR ALTERATIONS ESTABLISHED BY BUILDING MANAGEMENT.
- CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED FOR ALL EXISTING HEATING SHUT OFF VALVES IN GYP. BD. WALLS OR NEW RADIATOR COVERS WHERE REQUIRED.

DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED EITHER BY TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS, GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPT. OF BUILDINGS RULES AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPT. OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS, AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

TENANTS SAFETY PLAN

- GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF BOSTON AND THE STATE OF MASSACHUSETTS BUILDING CODE, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- STRUCTURAL: CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR PERSONS IN THE BUILDING SHALL BE MAINTAINED CLEAR & FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- DUST CONTROL: DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA, AND TO BE CLEANED UP AND CLEARED FROM THE BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE LIMITED TO NORMAL WORKING HOURS, TYPICALLY 8AM TO 5PM M-F, EXCEPT LEGAL HOLIDAYS.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING.
- CONSTRUCTION WORK WILL BE CONFINED TO THE PROPOSED CONSTRUCTION FLOOR. CONTRACTOR WILL LIMIT TO A MINIMUM THE AMOUNT OF DUST, DIRT OR OTHER SUCH INCONVENIENCES CREATED TO ALL OTHER AREAS OF THE BUILDING.
- THERE WILL BE NO ONE OCCUPYING THE PROPOSED CONSTRUCTION FLOOR TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.

FILING/INDEXES



G.I.S. OF PROPOSED
N.T.S.

1

ZONING NOTES - SEE Z001

304 BEACON ST. UNIT 1
BOSTON MA 02116

NOTE:
SEE DRAWING Z001 FOR FULL ZONING ANALYSIS & SUMMARY

SHEET INDEX

NO	TITLE
T-001.02	TITLE PAGE, GIS LOCATION, DRAWING INDEX, PROJECT NOTES
Z-001.02	ZONING NOTES AND SUMMARY
EX-101.02	EXISTING PLANS AND AREAS OF WORK
EX-301.02	EXISTING EXTERIOR ELEVATIONS AND AREAS OF WORK
A-101.02	GARDEN AND PARLOR FLOOR PLANS
A-301.02	EXTERIOR ELEVATIONS
A-302.02	CONTEXTUAL REAR EXTERIOR ELEVATIONS

ISSUE / REV NO	DATE	ISSUED TO
02	01.19.22	BACKBAY HISTORIC COMMISSION
01	09.21.21	BACKBAY HISTORIC COMMISSION

REYNOLDS RESIDENCE
304 BEACON ST UNIT 1
BOSTON MA 02116

TITLE PAGE

SEAL AND SIGNATURE	JOB AND PROJECT NUMBER
	#2102
	DRAWN BY: JTB
	REVIEWED BY: JTB
	SHEET: JTB

SHEET NUMBER

T001.02

SECTION 13-5

TABLE B - DIMENSIONAL REGULATIONS

DISTRICT	TYPE OF USE	LOT SIZE minimum sq. ft.	LOT AREA minimum sq. ft. for each add'l dwell. unit	LOT WIDTH minimum feet	FLOOR AREA RATIO maximum (1)	HEIGHT OF BUILDINGS stories feet	USABLE OPEN SPACE minimum sq. ft. per dwell. unit	FRONT YARD minimum depth feet ⁽¹⁴⁾	SIDE YARD minimum width feet	REAR YARD minimum depth feet	SETBACK OF PARAPET minimum distance from lot line	REAR YARD maximum % occup. by accessory buildings	
H-3-65	Any dwelling	none	none	none	3.0	-	65(9)	50	(10)	(4)	25% of lot depth	H±L.1 ¹ (9) 6	40
	Other use	none	none	none	3.0	-	65(9)	none	(10)	(4)	all uses	all uses	40
H-3	Any dwelling	none	none	none	3.0	none	none ⁽¹⁵⁾	100	15	(4)	10 + L.(6) 20	H±L.1 ¹ 6	35
	Other use	none	none	none	3.0	none	none ⁽¹⁵⁾	none	15	(4)	all uses	all uses	35
H-4	Any dwelling	none	none	none	4.0	none	none	50	15	(4)	10 + L.(6) 20	H±L.1 ¹ (6)	40
	Other use	none	none	none	4.0	none	none	none	15	(4)	all uses	all uses	40
H-5	Any dwelling	none	none	none	5.0	none	none ^{(13), (15)}	50	15	(4)	10 + L.(6) 20	H±L.1 ¹ 6	40
											all uses	all uses	

ZONING NOTES

304 BEACON ST UNIT 1
BOSTON MA 02116

PARCEL ID: 0503280002
ZONE: H-3-65
STATE CLASS CODE: 102

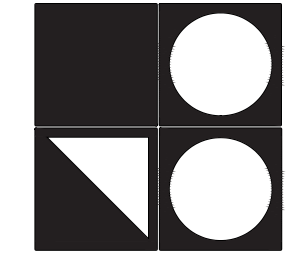
USE GROUP EXISTING: RESIDENTIAL
USE GROUP PROPOSED: RESIDENTIAL (NO CHANGE)

MAX FAR: 3.0 (LOT AREA)
LOT AREA: 2850 S.F. (10'x150')
ALLOWABLE FAR: 8550 S.F.
EXISTING FAR: 4735 S.F. - (CONFORMING)
PROPOSED FAR: 4824 S.F. - (CONFORMING)

EXISTING S.F.
BASEMENT / GARDEN FLOOR: 1284 S.F.
1ST FLOOR: 1081 S.F.
2ND FLOOR: 1195 S.F.
3RD FLOOR: 1184 S.F.
PENT HOUSE: 439 S.F.
TOTAL S.F.: 5173 S.F. (CONFORMING)

PROPOSED S.F.
BASEMENT / GARDEN FLOOR: 1330 S.F.
1ST FLOOR: 1081 S.F.
2ND FLOOR: 1195 S.F. (NO CHANGE)
3RD FLOOR: 1184 S.F. (NO CHANGE)
PENT HOUSE: 439 S.F. (NO CHANGE)
TOTAL S.F.: 5239 S.F. (CONFORMING)

NOTE:
NO CHANGE IN USE UNDER THIS APPLICATION
CHANGE IN NUMBER OF DWELLING UNITS
CHANGE IN BULK TO BUILDING



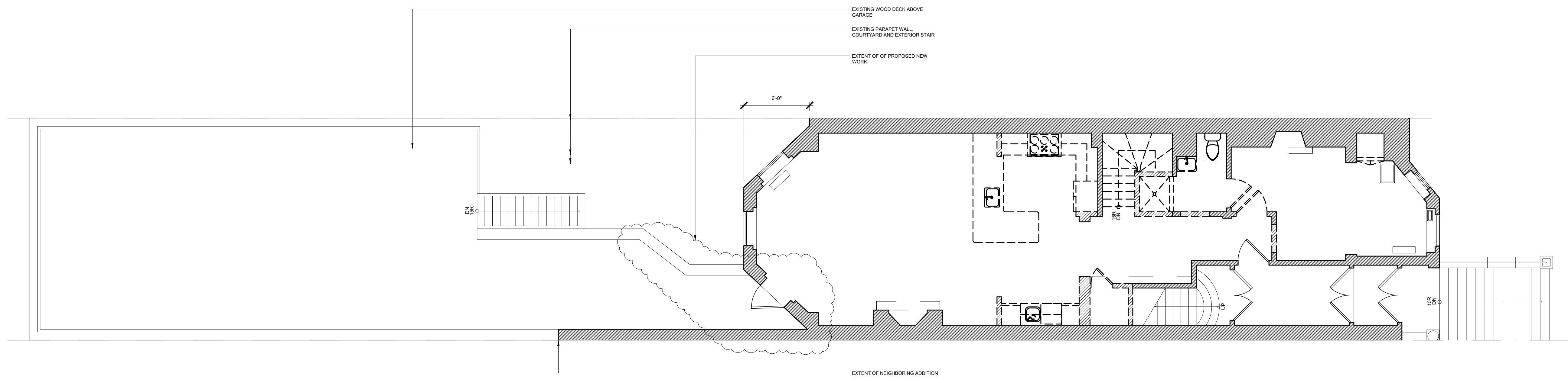
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Boston MA, 02118
&
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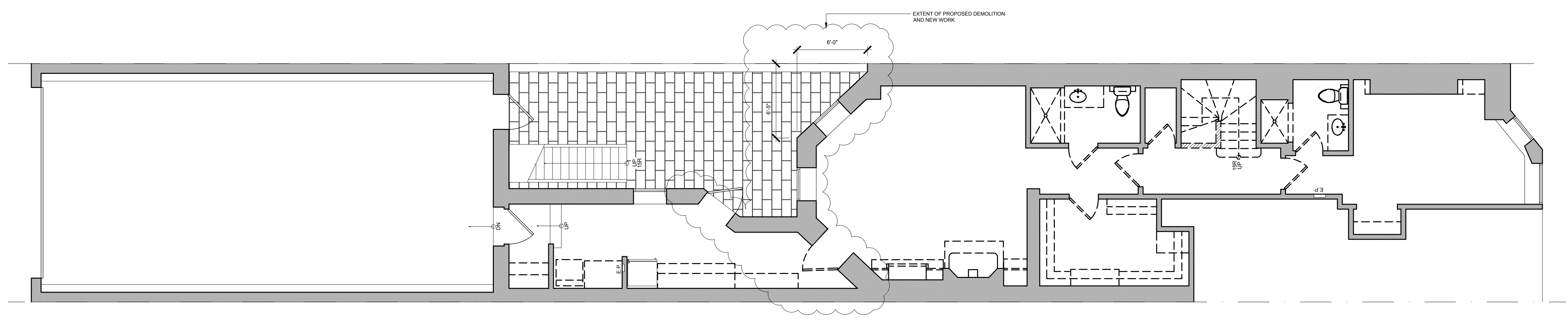
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ISSUE / REV NO	DATE	ISSUED TO

SHEET TITLE
ZONING ANALYSIS

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	#2102
	DRAWN BY
	JTB
	REVIEWED BY
JTB	
SHEET	JTB
SHEET NUMBER	



PARLOR FLOOR PLAN
 SCALE 3/16" = 1'-0" 2

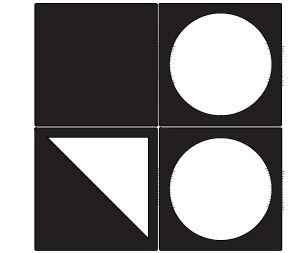


GARDEN FLOOR PLAN
 SCALE 3/16" = 1'-0" 1

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01	09.21.21	BACKBAY HISTORIC COMMISSION

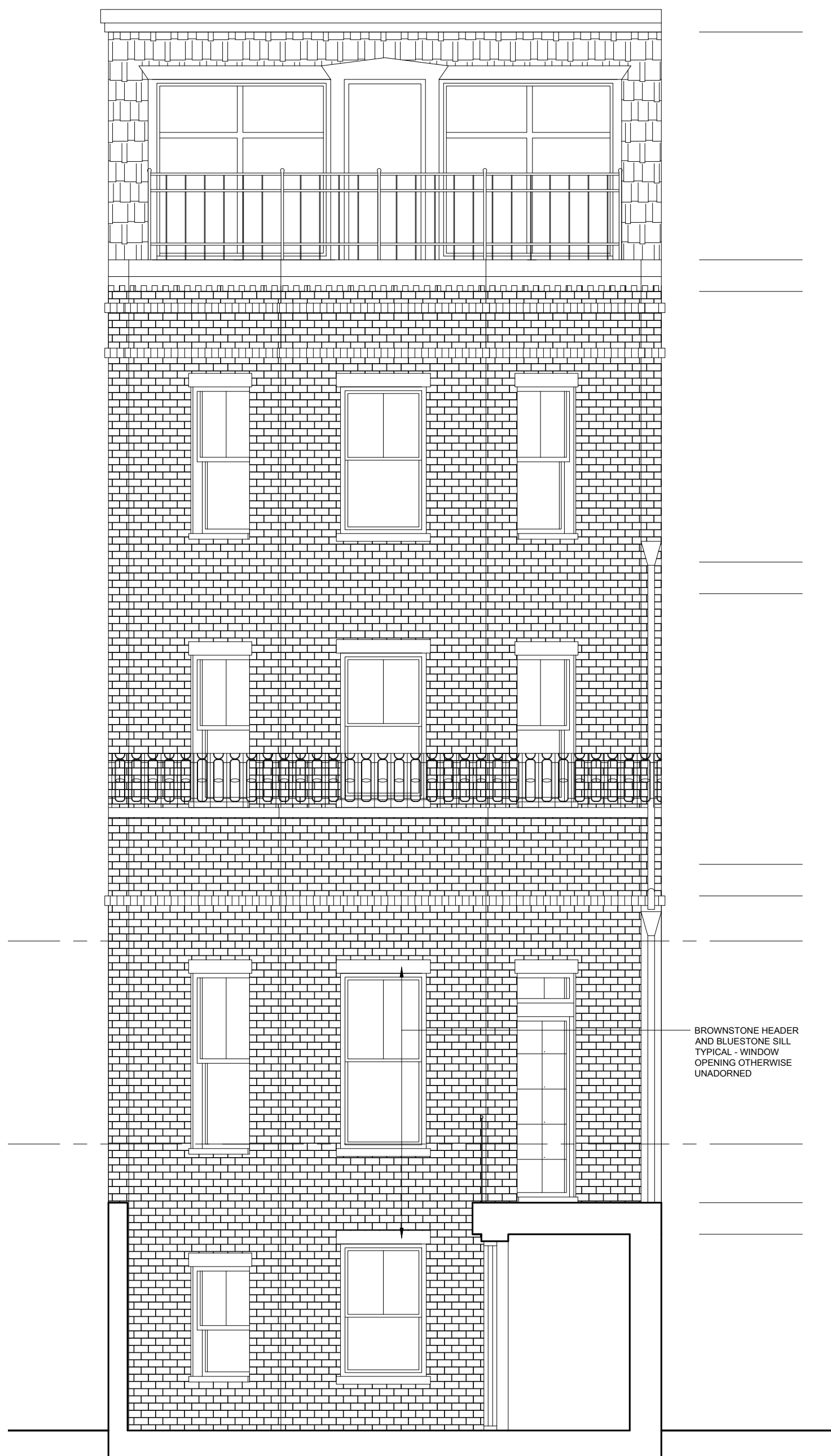
SHEET TITLE
EXISTING PLAN 1ST & 2ND FLOORS

SEAL AND SIGNATURE	JIB-AD PROJECT NUMBER
	#2102
	JTB
	JTB



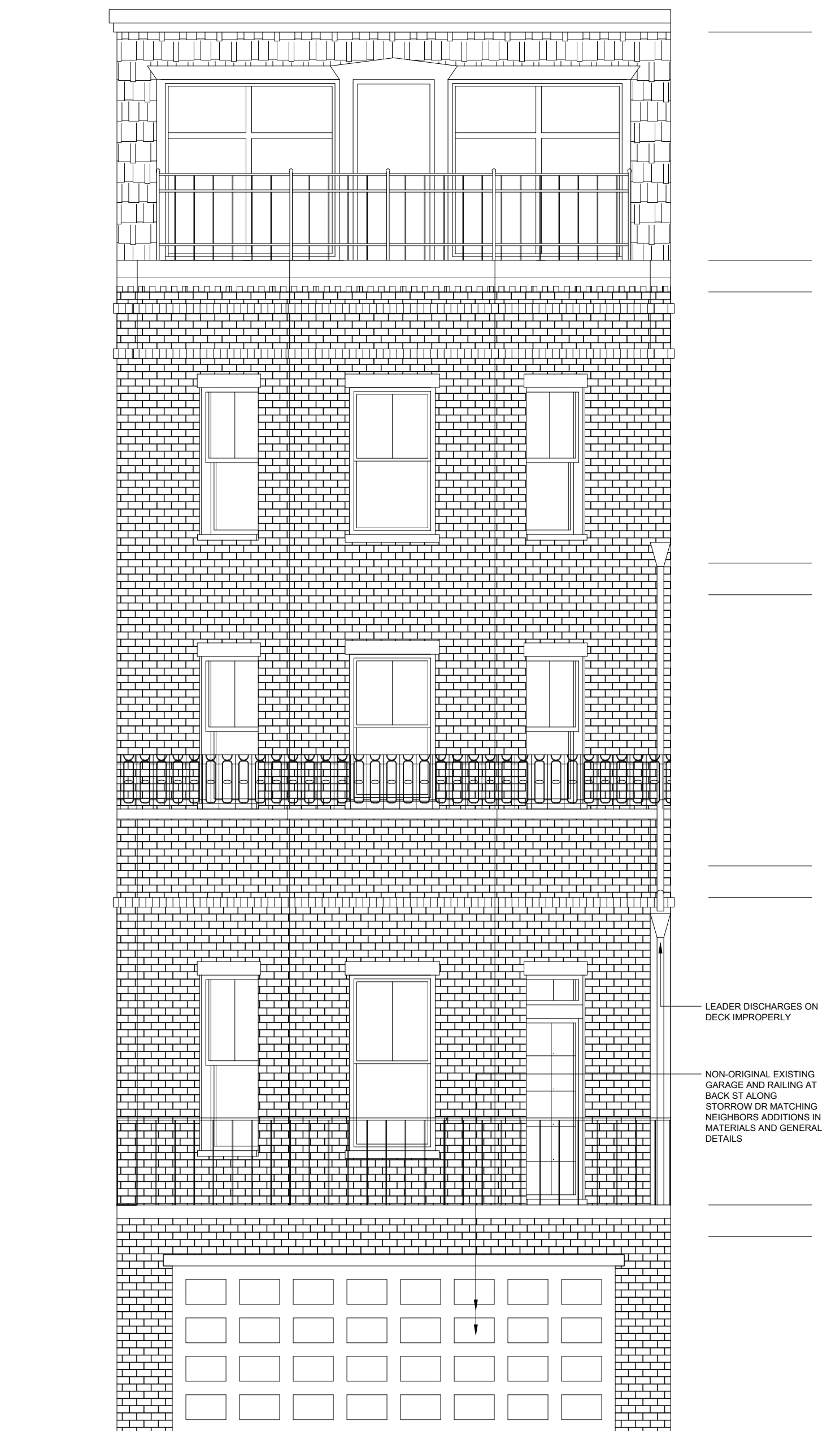
CONSULTANTS / CONTRACTOR

NOTE:
 NO WORK PROPOSED AT
 FRONT FACADE



BROWNSTONE HEADER
 AND BUAESTONE SILL
 TYPICAL WINDOW
 OPENING OTHERWISE
 UNADORNED

EXISTING REAR FACADE AT SECTION THRU GARDEN
 SCALE 1/4" = 1'-0" 3



LEADER DISCHARGES ON
 DECK IMPROPERLY

NON ORIGINAL EXISTING
 GARAGE AND RAILING AT
 BACK ST ALONG
 STOREY OR MATCHING
 NEIGHBORS ADDITIONS IN
 MATERIALS AND GENERAL
 DETAILS

EXISTING REAR FACADE AT BACK STREET
 SCALE 1/4" = 1'-0" 2

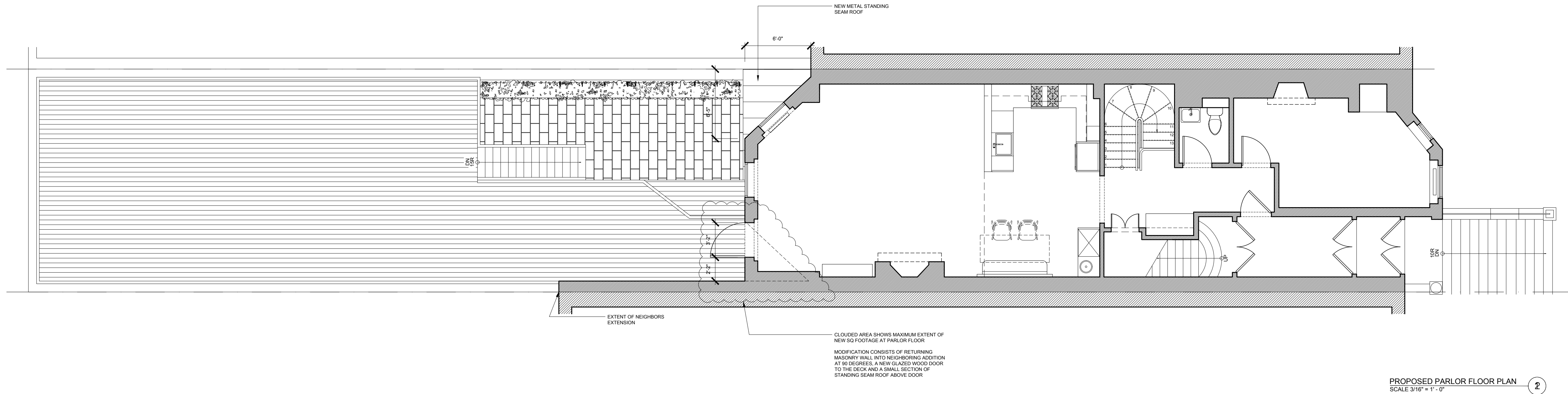


EXISTING FRONT FACADE AT BEACON ST
 SCALE 1/4" = 1'-0" 1

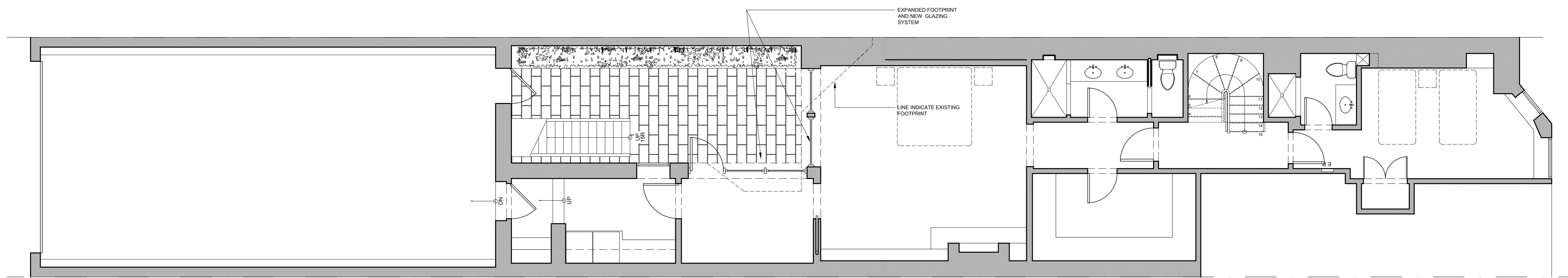
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SHEET TITLE
**EXISTING EXTERIOR
 ELEVATIONS**

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	#2102
	DRAWN BY
	JTB
REVIEWED BY	JTB
SHEET	JTB



PROPOSED PARLOR FLOOR PLAN 2
 SCALE 3/16" = 1'-0"

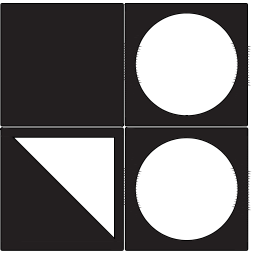


PROPOSED GARDEN FLOOR PLAN 1
 SCALE 3/16" = 1'-0"

ISSUE / REV NO	DATE	ISSUED TO
02	01.19.22	BACKBAY HISTORIC COMMISSION
01	09.21.21	BACKBAY HISTORIC COMMISSION

SHEET TITLE
PROPOSED 1ST & 2ND FLOOR PLANS

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	#2102
	DRAWN BY: JTB
	REVIEWED BY: JTB
	SHEET: JTB



CONSULTANTS / CONTRACTOR



PROPOSED REAR FACADE AT SECTION THRU GARDEN
 SCALE 1/4" = 1'-0" 3

PROPOSED REAR FACADE AT STREET
 SCALE 1/4" = 1'-0" 2

EXISTING FRONT FACADE
 SCALE 1/4" = 1'-0" 1

02	01.19.22	BACKBAY HISTORIC COMMISSION
01	09.21.21	BACKBAY HISTORIC COMMISSION
ISSUE / REV NO	DATE	ISSUED TO

REYNOLDS RESIDENCE
 304 BEACON ST UNIT 1
 BOSTON MA 02116

SHEET TITLE
PROPOSED REAR EXTERIOR ELEVATION

SEAL AND SIGNATURE



JOB-AD PROJECT NUMBER

#2102

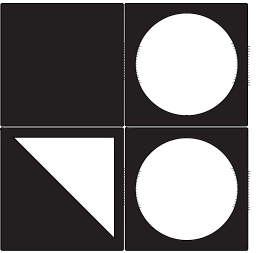
DRAWN BY JTB

REVIEWED BY JTB

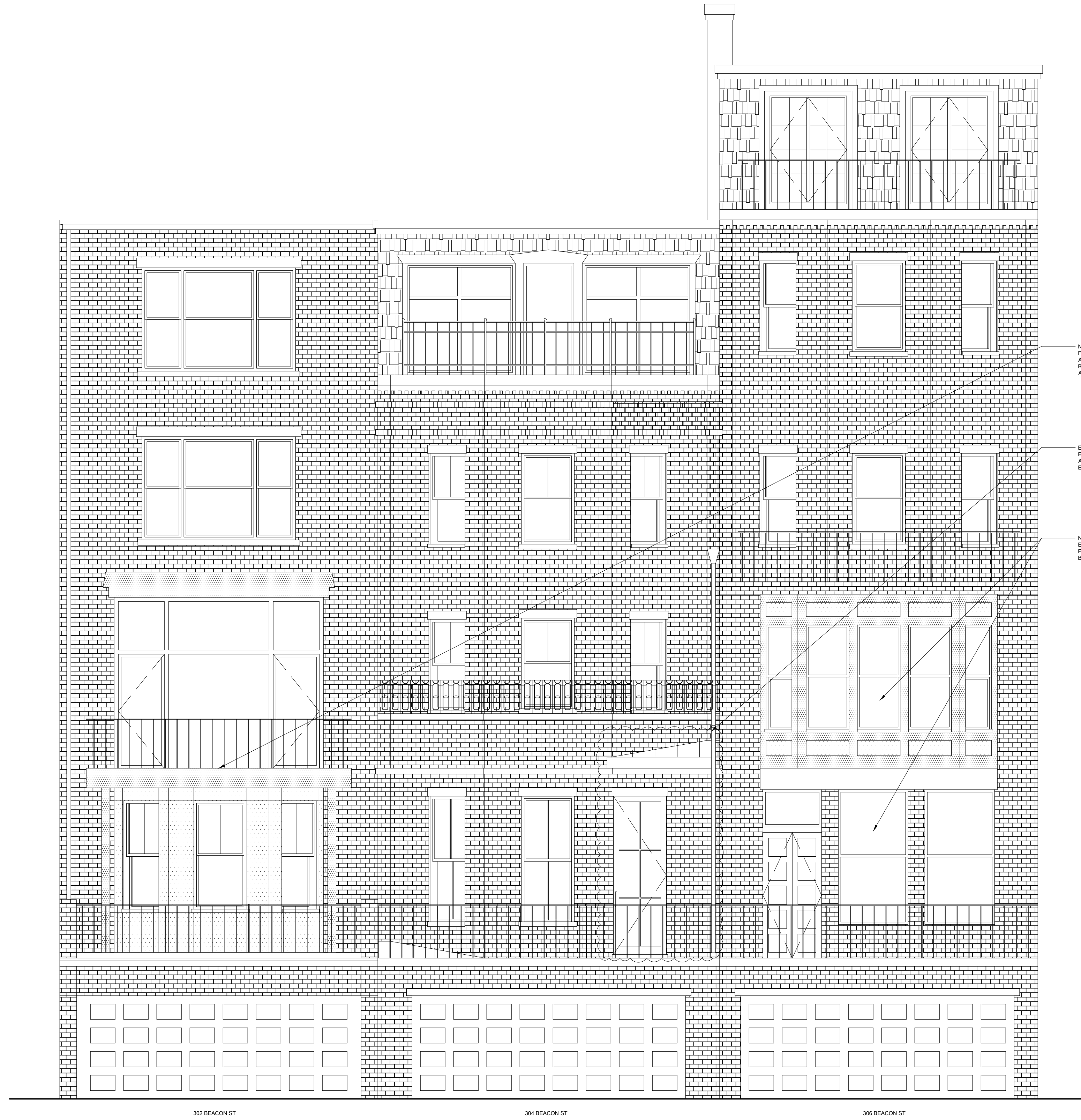
SHEET JTB

SHEET NUMBER

A301.02



CONSULTANTS / CONTRACTOR



NON ORIGINAL REAR
 FACADE RENOVATION AT
 ALL FLOORS INCLUDING
 BLACK STEEL BALCONY
 AND LARGE WINDOWS

EXTENT OF NEW
 EXPANDED FOOTPRINT
 AND BRICKWORK
 EXPOSED TO PUBLIC WAY

NON ORIGINAL NEIGHBOR
 EXTENSION EXTENDS
 PAST PROPOSED WORK
 BY 15"

02	01.19.22	BACKBAY HISTORIC COMMISSION
01	09.21.21	BACKBAY HISTORIC COMMISSION

ISSUE / REV NO DATE ISSUED TO

SHEET TITLE
**NEIGHBORING BUILDING
 CONTEXTUAL EXTERIOR
 ELEVATION**

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	DRAWN BY #2102
	REVIEWED BY JTB
	SHEET JTB

SHEET NUMBER

A302.02

REAR EXTERIOR ELEVATION W/ NEIGHBORING PROPERTIES 1
 SCALE 1/4" = 1' - 0"