



Consulting  
Engineers and  
Scientists

## WETLANDS NOTICE OF INTENT

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March 2022

Project

Shipyards Park Pier 4 Support Pile Repairs  
Eighth Street  
Boston, Massachusetts

Applicant

Boston Planning & Development Agency  
22 Drydock Avenue  
Boston, Massachusetts 02210

Prepared By

GEI Consultants, Inc.  
124 Grove Street, Suite 300  
Franklin, Massachusetts 02038



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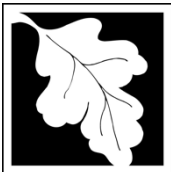
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Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Boston
City/Town

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>Eighth Street</u> a. Street Address	<u>Boston</u> b. City/Town	<u>02129</u> c. Zip Code
<u>Latitude and Longitude:</u>	<u>42.37222</u> d. Latitude	<u>-71.05167</u> e. Longitude
<u>f. Assessors Map/Plat Number</u>	<u>0203505000</u> g. Parcel /Lot Number	

2. Applicant:

<u>William</u> a. First Name	<u>Epperson</u> b. Last Name	
<u>Boston Planning &amp; Development Agency</u> c. Organization		
<u>22 Drydock Avenue</u> d. Street Address		
<u>Boston</u> e. City/Town	<u>MA</u> f. State	<u>02210</u> g. Zip Code
<u>617-918-6202</u> h. Phone Number	<u>william.j.epperson@boston.gov</u> j. Email Address	<u>i. Fax Number</u>

3. Property owner (required if different from applicant):  Check if more than one owner

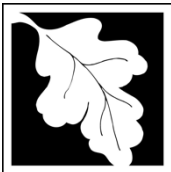
<u>a. First Name</u>	<u>b. Last Name</u>	
<u>c. Organization</u>		
<u>d. Street Address</u>		
<u>e. City/Town</u>	<u>f. State</u>	<u>g. Zip Code</u>
<u>h. Phone Number</u>	<u>i. Fax Number</u>	<u>j. Email address</u>

4. Representative (if any):

<u>Brad</u> a. First Name	<u>Saunders</u> b. Last Name	
<u>GEI Consultants, Inc.</u> c. Company		
<u>124 Grove Street</u> d. Street Address		
<u>Franklin</u> e. City/Town	<u>MA</u> f. State	<u>02038</u> g. Zip Code
<u>774-277-6020</u> h. Phone Number	<u>bsaunders@geiconsultants.com</u> j. Email address	<u>i. Fax Number</u>

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>Exempt</u> a. Total Fee Paid	<u>Exempt</u> b. State Fee Paid	<u>Exempt</u> c. City/Town Fee Paid
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## A. General Information (continued)

6. General Project Description:

The project consists of the installation of concrete pile jackets onto the support piles of Pier 4 at Shipyard Park (see attached Project Narrative).

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk	
a. County	b. Certificate # (if registered land)
61590	283
c. Book	d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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### B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

25 ft. - Designated Densely Developed Areas only

100 ft. - New agricultural projects only

200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet \_\_\_\_\_ b. square feet within 100 ft. \_\_\_\_\_ c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input checked="" type="checkbox"/> Land Under the Ocean	115 permanent / 537 temporary (Alt. 1) 995 temporary (Alt. 2) 1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	1,127 (displacement due to pile jackets above MLW) 1. square feet	

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5.  Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings





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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

- 8/1/21  
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:
  - (a) within wetland Resource Area \_\_\_\_\_ percentage/acreage
  - (b) outside Resource Area \_\_\_\_\_ percentage/acreage
2.  Assessor's Map or right-of-way plan of site

2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*
  - (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
  - (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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**C. Other Applicable Standards and Requirements (cont'd)**

(c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).  
 Make check payable to “Commonwealth of Massachusetts - NHESP” and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d)  Vegetation cover type map of site
- (e)  Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

1.  Project is exempt from MESA review.  
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed.  
 Include copy of NHESP “no Take” determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
 Southeast Marine Fisheries Station  
 Attn: Environmental Reviewer  
 836 South Rodney French Blvd.  
 New Bedford, MA 02744  
 Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

Division of Marine Fisheries -  
 North Shore Office  
 Attn: Environmental Reviewer  
 30 Emerson Avenue  
 Gloucester, MA 01930  
 Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP’s Boston Office. For coastal towns in the Southeast Region, please contact MassDEP’s Southeast Regional Office.

- c.  Is this an aquaculture project?      d.  Yes     No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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**C. Other Applicable Standards and Requirements (cont'd)**

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
 a.  Yes  No      If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
 b. ACEC

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- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
 a.  Yes  No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
 a.  Yes  No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
 a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
  - 1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  - 2.  A portion of the site constitutes redevelopment
  - 3.  Proprietary BMPs are included in the Stormwater Management System.
 b.  No. Check why the project is exempt: **See Project Description**
  - 1.  Single-family house
  - 2.  Emergency road repair
  - 3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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**D. Additional Information (cont'd)**

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

See attached List of Attachments

a. Plan Title

b. Prepared By

c. Signed and Stamped by

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

**E. Fees**

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

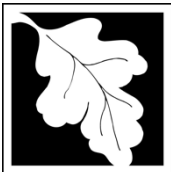
3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



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## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

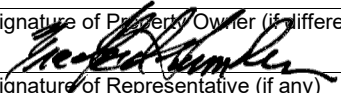


1. Signature of Applicant

3/22/2022

2. Date

3. Signature of Property Owner (if different)



4. Date

3/22/2022

5. Signature of Representative (if any)

6. Date

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

## **Checklist for Filing a Notice of Intent with Boston Conservation Commission**

In order for the Boston Conservation Commission to effectively process your Notice of Intent, BCC requests that you complete the checklist below and include it with your submission. If you should need assistance please contact Commission Staff: 617-635-3850 ([cc@boston.gov](mailto:cc@boston.gov)).

Please Submit the Following to the Conservation Commission:

- Two copies (a signed original and 1 copy) of a completed Notice of Intent (WPA Form 3)
- Two copies (a signed original and 1 copy) of a completed Boston Notice of Intent (Local Form)
- Two copies of plans (reduced to 11" X 17") in their final form with engineer's stamp affixed supporting calculations and other documentation necessary to completely describe the proposed work and mitigating measures. Plans must include existing conditions, the proposed project, erosion controls and mitigation measures, grading and spot elevations and all wetland resource areas and associated buffer zones. Some projects may require both an aerial view of the plans along with a profile view of plans depending on the scope of work.
- Two copies of an 8 ½" x 11" section of the [USGS quadrangle map](#) of the area, containing sufficient information for the Conservation Commission and the Department to locate the site of the work.
- (If applicable) Two copies the Federal Emergency Management Agency Flood Insurance Rate Map for the project site. FEMA Flood Maps: <https://msc.fema.gov/portal>.
- Two copies of the determination regarding the Natural Heritage and Endangered Species Program: Review Section C. Other Applicable Standards and Requirements of the Notice of Intent, page 4 of 8, pertaining to wildlife habitat. The Conservation Commission and the [Natural Heritage & Endangered Species Program](#) have the maps necessary to make this determination. **Not Applicable**
- (If applicable) Two hard copies of a Stormwater Report to document compliance with the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q), including associated drainage calculations for rooftops, parking lots, driveways, etc., for the required design storm events. **Not Applicable**
- (If applicable) A narrative detailing best management practices for stormwater management as set forth in the Stormwater Management Standards of the Massachusetts Department of Environmental Protection and any separate standards and guidelines prepared by the City and the Boston Water and Sewer Commission. **Not Applicable**
- (If applicable) Two hard copies of the Checklist for Stormwater Report **Not Applicable**
- Details of the stormwater management system, including: catch basins, oil separating tanks, detention basins, outfalls, sewer connections, etc. **Not Applicable**
- Any photographs related to the project representing the wetland resource areas.
- Two copies of a detailed project narrative describing the following: an overview of the entire project, the work proposed within wetland resource areas and/or buffer zones; how the performance standards specific to the wetland resource areas will be met (listing out each performance standard); a consideration of the effect that projected sea level rise, changes in storm intensity and frequency, and other consequences of climate change may have on the resource areas and proposed activities; construction equipment and material involved; and measures to protect wetland resource areas and mitigate impacts. The applicant shall also include narrative on how they plan to integrate climate change and adaptation planning considerations into their project to promote climate resilience to protect and promote Resource Area Values and functions into the future.
- Two copies of an Abutters List, Affidavit of Service and [Abutter Notification](#), filed concurrently with the Notice of Intent. Abutter notices shall be sent in both English and the second most commonly spoken language(s) in the neighborhood(s) where the project is proposed. Notices shall also include Babel notice cards for additional translation and language access services. [All abutters within 300' of the project](#)

## **Checklist for Filing a Notice of Intent with Boston Conservation Commission**

[property line](#) must be notified including those in a neighboring municipality. In such an instance, a copy of the filing must also be sent to the local Conservation Commission of the neighboring municipality.  
EXCEPTION: When work is in land under water bodies and waterways or on a tract of land greater than 50 acres, written notification must only be given to abutters within 300 feet of the “project site.”

- Two copies of the BPDA Climate Resiliency Checklist (for new buildings). This can be completed online at <http://www.bostonplans.org/planning/planning-initiatives/article-37-green-building-guidelines>. Please print the pdf that you will receive via email after completion and include it in your submission. **Not Applicable**
- Electronic copies.** Documents may be submitted via email, or via an email link to downloadable documents.



To minimize the use of non-recyclable materials ***please do not include vinyl or plastic binders, bindings, folders or covers with the filing.*** Staples and binder clips are good choices.



## INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

### INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

### INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, “state-listed” vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm) or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581-3336  
508.792.7270





**A. GENERAL INFORMATION**

1. Project Location

<u>Eighth Street</u>	<u>Boston</u>	<u>02129</u>
a. Street Address	b. City/Town	c. Zip Code
<u>0203505000</u>	<u>0203505000</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant

<u>William</u>	<u>Epperson</u>	<u>Boston Planning &amp; Development Agency</u>
a. First Name	b. Last Name	c. Company
<u>22 Drydock Avenue</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02210</u>
e. City/Town	f. State	g. Zip Code
<u>617-918-6202</u>	<u>william.j.epperson@boston.gov</u>	
h. Phone Number	i. Fax Number	j. Email address

3. Property Owner

<u></u>	<u></u>	<u></u>
a. First Name	b. Last Name	c. Company
<u></u>		
d. Mailing Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

<u>Brad</u>	<u>Saunders</u>	<u>GEI Consultants, Inc.</u>
a. First Name	b. Last Name	c. Company
<u>124 Grove Street, Suite 300</u>		
d. Mailing Address		
<u>Franklin</u>	<u>MA</u>	<u>02038</u>
e. City/Town	f. State	g. Zip Code
<u>774-277-6020</u>	<u>bsaunders@geiconsultants.com</u>	
h. Phone Number	i. Fax Number	j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes  No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

Project consists of the installation of concrete jacket repairs to a total of 490 support piles beneath Pier 4 at Shipyard Park and the temporary relocation of a concrete float (see Project Narrative).

7. Project Type Checklist

- a.  Single Family Home
- b.  Residential Subdivision
- c.  Limited Project Driveway Crossing
- d.  Commercial/Industrial
- e.  Dock/Pier
- f.  Utilities
- g.  Coastal Engineering Structure
- h.  Agriculture – cranberries, forestry
- i.  Transportation
- j.  Other

8. Property recorded at the Registry of Deeds

Suffolk

a. County

283

b. Page Number

61590

c. Book

d. Certificate # (if registered land)

9. Total Fee Paid

EXEMPT

a. Total Fee Paid

EXEMPT

b. State Fee Paid

EXEMPT

c. City Fee Paid

**B. BUFFER ZONE & RESOURCE AREA IMPACTS**

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes  No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Isolated Wetlands	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

**C. OTHER APPLICABLE STANDARDS & REQUIREMENTS**

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

N/A

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2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.
- Yes  No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

**A. Submit Supplemental Information for Endangered Species Review**

- Percentage/acreage of property to be altered:
- (1) within wetland Resource Area \_\_\_\_\_ percentage/acreage
- (2) outside Resource Area \_\_\_\_\_ percentage/acreage
- Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?
- Yes  No

If yes, provide the name of the ACEC: \_\_\_\_\_

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?
- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
    - Applying for a Low Impact Development (LID) site design credits
    - A portion of the site constitutes redevelopment
    - Proprietary BMPs are included in the Stormwater Management System
  - No. Check below & include a narrative as to why the project is exempt (See Project Narrative)
    - Single-family house
    - Emergency road repair
    - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas
5. Is the proposed project subject to Boston Water and Sewer Commission Review?
- Yes  No



**D. SIGNATURES AND SUBMITTAL REQUIREMENTS**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

\_\_\_\_\_  
Signature of Applicant

3/22/2022

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Property Owner (if different)

\_\_\_\_\_  
Signature of Representative (if any)

\_\_\_\_\_  
Date

3/22/2022

\_\_\_\_\_  
Date

# **Shipyard Park Pier 4 Support Pile Repairs Wetlands Notice of Intent – List of Attachments**

Project Narrative (pages 1 – 5)

Drawings and Figures

Figure A. Locus Plan

- Prepared by: GEI Consultants, Inc.
- Date: 3/22/22
- Scale: 1" = 2,000'

Sheet S-101. Pile Repair Plan and Sections Bents 1 – 25

- Prepared by: GEI Consultants, Inc.
- Signed and Stamped by: Russell Titmuss
- Date: 3/22/22
- Scale: 1" = 10'

Sheet S-102. Pile Repair Plan and Sections Bents 26 – 50

- Prepared by: GEI Consultants, Inc.
- Signed and Stamped by: Russell Titmuss
- Date: 3/22/22
- Scale: 1" = 10'

Sheet S-103. Pile Repair Plan and Sections Bents 51 – 73

- Prepared by: GEI Consultants, Inc.
- Signed and Stamped by: Russell Titmuss
- Date: 3/22/22
- Scale: 1" = 10'

Sheet S-301. Pier 4 Cross Sections

- Prepared by: GEI Consultants, Inc.
- Signed and Stamped by: Russell Titmuss
- Date: 3/22/22
- Scale: varies

Sheet S-501. Pile Repair Details

- Prepared by: GEI Consultants, Inc.
- Signed and Stamped by: Russell Titmuss
- Date: 3/22/22
- Scale: varies

Sheet S-502. Representative Photos

- Prepared by: GEI Consultants, Inc.

Sheet C-101. Site Plan and Section (Temporary Relocation of Floating Dock)

- Prepared by: GEI Consultants, Inc.
- Date: 3/22/22
- Scale: varies

Miscellaneous Documents

- NOI Wetland Fee Transmittal Form
- City of Boston Notice of Intent
- Boston Conservation Commission Filing Checklist
- Affidavit of Service – Abutter Notification
- Notification to Abutters (English and Chinese)
- List of Abutters
- FEMA FIRMette (City of Boston Panel 25025C0081J) – dated 3/16/16

# **Shipyard Park Pier 4 Support Pile Repairs**

## ***Wetlands Notice of Intent – Project Narrative***

### **Existing Conditions**

Pier 4 within the historic Charlestown Navy Yard was constructed in 1957 by the Department of the Navy and is currently owned by the the City of Boston and operated by the Boston Planning and Development Agency (BPDA). The pier is approximately 712-feet-long and 60-feet-wide and is supported by approximately 490, 16-inch diameter steel pipe piles filled with unreinforced concrete. Attached to the eastern side of the pier is a 607-foot-long by 8-foot-wide concrete floating dock which is secured by steel guide brackets attached to the pier's timber fender system and concrete superstructure. This float serves as the docking structure for the Courageous Sailing Center, an important community asset operated by a nonprofit organization that provides free and low-cost programs in sailing, environmental education, job skills development, and leadership training to Boston area youth of diverse backgrounds.

A recent investigation of the structure found that the piles supporting Pier 4 exhibit extensive and advanced, low water corrosion. The piles have up to 100% section loss of steel from approximately +4.0 feet to -2.0 feet, MLW and are now only supported by the unreinforced concrete pile infill. Without the steel, the piles lack lateral capacity to support the pier structure. Repairs to these piles are required immediately.

The FEMA Flood Insurance Rate Map (FIRM) Panel #25025C0081J, dated 3/16/2016, depicts the entire site as being within the flood hazard AE Zone with a base flood elevation of 10 feet, NAVD88 and within a VE Zone with velocity effects to elevation 11 feet (see attached FEMA FIRMette). This site is not mapped as estimated habitat for rare wildlife species nor is it mapped as being an area suitable for shellfish (source: MassGIS, MassMapper)

### **Proposed Action**

The proposed pile repairs consist of the installation of 26-inch diameter reinforced concrete pile jackets with leave-in-place FRP formwork. The pile jacket repairs will extend from the bottom of the pile cap to approximately -5 feet MLW, as depicted in Details C and D of Sheet S-301 and Sheet S-501. For all but approximately 50 of the piles, the depth to bottom is sufficient to allow for all work to be conducted above the mud line. For the approximately 50 piles located nearest the shore (see Sheet S-101), it is anticipated that the jackets will extend to two-feet below the mudline. The expanded footprint of these 50 piles will result in a permanent loss of approximately 115 square feet of Land Under the Ocean resource area. The process of installation of the pile jacket below the mudline will temporarily disturb approximately 515 square feet of Land Under the Ocean, assuming a disturbance footprint extending a total of one foot around the base of the pile.

The BPDA proposes to decouple and temporarily relocate the concrete floating dock to remove the imparted load on the pier, allow access for the Pier 4 pile repairs, and allow for its continued



use by the Courageous Sailing Center while the Pier 4 repairs are implemented. Two alternatives are proposed for the relocation of this dock. Alternative 1 consists of relocating the entire floating dock to the northeast (between Pier 4 and Pier 5). The floating dock would be secured in position with a total of 20, 14-inch diameter timber piles. The installation of these timber piles would result in the temporary loss of approximately 22 square feet of Land Under the Ocean resource area. Alternative 2 would split the dock for relocation to two areas. Approximately 240 linear feet of the dock would be relocated to the area considered for relocation under alternative 1 and be accessed by a new temporary gangway secured to the adjacent steel sheet pile bulkhead. The remaining 360 linear feet would be relocated to Pier 3 and accessed from the existing Pier 3 gangway and floating dock. Both segments of dock would be secured in position with a total of 30 mooring blocks (four-foot concrete cubes) and chains. The installation of these mooring blocks will result in the temporary loss of approximately 480 square feet of Land Under the Ocean resource area. While alternative 1 will allow for the temporary relocation of the float with minimal direct impact to Land Under the Ocean, it does not accommodate the Courageous Sailing Center's need for off-dock support space, space currently provided on Pier 4. Under alternative 1, the Center's support space needs will have to be met at a more remote location. This will present a hardship to the Center's operations to the detriment of its programs. Under alternative 2, the Center's off-dock support needs can be accommodated on Pier 3 in close proximity to the majority of the relocated dock space. For this reason, alternative 2 is the preferred of the two alternatives.

It is anticipated that the Pier 4 work will be conducted using equipment staged on a work barge and on floating work platforms beneath the pier. The proposed means, methods, and sequencing for this work are as follows.

- Install using vibratory methods the 20 timber piles to serve as mooring piles or install 30 mooring blocks using barge mounted crane for the temporary relocation of the concrete float.
- Decouple the concrete float from the pier structure, relocate it, and attach it to the temporary mooring piles.
- Deploy a floating boom around the section of piles to be repaired within a defined period of time, creating a controlled/contained work area. This boom will be relocated as each section of pile repairs is completed.
- Install work platforms and floats beneath the pier to support the under-pier work activities.
- Clean marine growth and loose corrosion byproduct from the piles by mechanical and pressure washing.
- Weld steel sheer studs to the steel piles above and below the area of corrosion and install reinforcing steel cages within the diameter of the jackets.
- Install a fiberglass shell around the reinforcing steel cages and seal the base of the jackets to ensure retention of the concrete during the pour. Note: for those pile jackets designed to extend below the mudline, a bottom seal will not be installed. For those piles the harbor bottom will be excavated around each pile by divers to facilitate the

installation of the reinforcing steel cages and fiberglass shells. Once the shells have been installed, the excavated bottom will be backfilled around the shell to seal the base.

- Fill the annular space between the fiberglass shell and the existing pile with concrete grout using tremie pour methods.
- Remove all work platforms and floats from beneath the pier and remove the floating boom from the project site.
- Decouple the concrete float from its temporary mooring piles and reattach it to the pier.
- Remove the temporary timber mooring piles or mooring blocks from the site.

### **Proposed Mitigation Measures**

Mitigation measures to be incorporated into the work plan include the following best practical measures.

1. A floating boom will be installed around the localized work activity sites to prevent the accidental release of materials from the immediate work site to the harbor.
2. A complete spill containment kit will be maintained at the project site at all times. The spill containment kit will include “Speedy Dry”, or equivalent, and an oil sorbent boom for use in the event of a petroleum-based fluid spill or leak from the equipment employed in the work.
3. Project-related debris, material, and equipment, entering the water will be removed each day. The contractor will have a boat at the work site to facilitate the collection of any debris.
4. All vessels working at this site will be maintained in seaworthy condition. Should any vessel or barge associated with the project sink the Boston Conservation Commission will be informed immediately.
5. All deck gear and equipment stored on project-related vessels will be secured at the end of each workday and inspected for any leakage. All material stored on project related vessels will be contained so as not to enter the resource area. Petroleum product and hydraulic fluids will be stored within leak-proof lockers secured to the deck of the vessel.
6. Work below the mudline will require localized excavation of bottom sediments to accommodate the installation of the jackets as depicted in Detail G of Sheet S-501. This excavation will be conducted by divers to minimize the extent of bottom disturbance and resuspension of sediments into the water column.
7. The temporary mooring piles will be installed using vibratory methods following a “soft start procedure”, building up power slowly from a low energy start-up over a period of 20 to 40 minutes. By adhering to a “soft-start” protocol the potential impacts to fish in the vicinity of the work can be minimized.

## **Schedule**

It is anticipated that this project will be conducted during the Spring, Summer, and Fall and will be completed by the end of 2022.

## **Impacts to Wetland Resource Areas**

### ***Land Under the Ocean***

#### **Definition and Existing Conditions**

Land Under the Ocean (LUTO) consists of land extending from the mean low water line seaward to the boundary of the municipality's jurisdiction and includes land under estuaries. At the project site, LUTO consists of approximately 48,790 square feet of the bed of Boston Harbor. This area includes both the area beneath Pier 4 and the area to be used for the temporary relocation of the concrete float.

#### **Compliance with Performance Standards**

Applicable performance standards for activities conducted within this resource area are defined at 310 CMR 10.25(5, 6, and 7). The performance standards at 310 CMR 10.25(3) and (4) are specific to dredging activities and are not applicable to the proposed action.

#### **Performance Standard 5**

Performance Standard 5 states that projects which affect nearshore areas of land under the ocean shall not cause adverse effects by altering the bottom topography so as to increase storm damage or erosion of coastal beaches, coastal banks, coastal dunes, or salt marshes.

#### **Compliance with Performance Standard 5**

The proposed action will not alter the bottom topography of Boston Harbor at the project site. All work will be limited to the installation of structural support sleeves around existing piles. Accordingly, the proposed action is in compliance with the terms and conditions of Performance Standard 5.

#### **Performance Standard 6**

Performance Standard 6 states that projects which affect land under the ocean shall if water-dependent be designed and constructed, using best available measures, so as to minimize adverse effects.

#### **Compliance with Performance Standard 6**

The proposed repairs to existing support piles beneath pier 4 is a maintenance activity to be conducted on a water-dependent structure. This work will be conducted using the best available measures to minimize adverse effects, such as the suspension or transport of pollutants, increases in turbidity, the smothering of bottom organisms, the accumulation of

pollutants by organisms, or the destruction of fisheries habitat or nutrient source areas. For the project site, the best practical measures include the use of a floating boom to contain any material released to the water surface and the use of divers to excavate sediment around the base of any pile on which the jacket must be placed below the mudline. This hand excavation and backfilling will minimize the generation of resuspended sediments in the conduct of the work.

Additional best available measures to be implemented include the maintenance of a complete spill containment kit on the dredge barge at all times. The spill containment kit will include "Speedy Dry", or equivalent, and an oil sorbent boom for use in the event of a petroleum-based fluid spill or leak. Further, the equipment operating from a work barge will be staffed at all times while operational and will be inspected daily for leakage.

#### Performance Standard 7

Performance Standard 7 states that, notwithstanding the provisions of 310 CMR 10.25(3) through (6), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.

#### Compliance with Performance Standard 7

A review of maps prepared by the Massachusetts Natural Heritage and Endangered Species Program (updated August 1, 2021) has revealed that the project area is not a specified habitat for rare vertebrate or invertebrate species. Accordingly, this performance standard is not applicable to the proposed action.

#### **Land Subject to Coastal Storm Flowage**

##### Definition and Existing Conditions

Land Subject to Coastal Storm Flowage (LSCSF) consists of land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater. At the project site the FEMA base flood elevation is defined as being 10', NAVD88 (see attached FEMA FIRMette of Community Panel 25025C0081J). Although the proposed project, being conducted entirely below, within, or over the Boston Harbor watershed, will not require work to be performed on LSCSF, the applicant has been advised that the two-dimensional area of pile jackets extending above the elevation of mean low water is considered by the Boston Conservation Commission to represent a displacement of LSCSF.

##### Compliance with Performance Standards

There are no specific performance standards specified in the Massachusetts Wetlands Regulations (310 CMR 10.00) concerning work to be conducted within this resource area; nevertheless, it is understood that such work should not result in increased flooding or damage due to inundation by flood waters. The proposed pile jackets will occupy a total area of

approximately 1,127 square feet above the elevation of MLW. This level of displacement, dispersed among 490 widely-spaced (i.e., generally in excess of 10 feet) piles, will have no measurable impact on the LSCSF resource area. Being entirely within or over a tidal watersheet, the impact on area of inundation during flooding will be de minimis. The wide spacing of the piles ensures that the jackets will not constrict flows in a way that will increase the velocity of flood waters or redirect high energy waves onto adjacent shorelines.

### **Compliance with Massachusetts Stormwater Standards**

The proposed action does not include construction or post-construction activities that generate stormwater runoff. Accordingly, the provisions of 310 CMR 10.05(6)(k) regarding the use of stormwater best practices consistent with the Massachusetts Stormwater Management Standards are not applicable.

### **Compliance with City of Boston (BPDA) Climate Change Resiliency Standards**

The proposed action does not include construction of a structure or implementation of a land use upon the surface of land. Accordingly, the City of Boston's Climate Change Resiliency Standards are not applicable to this work.

### **Effect of Projected Sea Level Rise, Changes in Storm Intensity and Frequency, and Other Consequences of Climate Change on Resource Areas and the Proposed Activity**

The proposed activity consists solely of the maintenance of existing support piles beneath a pier structure. The proposed repairs have a projected life expectancy of 20 to 30 years and will not be affected by sea level rise or changes in storm intensity and frequency. The repairs, consisting of support sleeves installed on existing piles, will neither increase nor decrease the effects of climate change on wetland resource areas. These repairs will, however, ensure that the existing pier 4 structure will remain useable and resilient to storm impacts over the life span of the repairs.

### ***Alternatives to the Proposed Repairs***

Alternatives to the proposed jacket repairs include the no-action alternative, the use of steel pile jackets, and installation of supplemental support piles.

#### **No-action Alternative**

The current condition at this site is one in which the support piles have corroded to the extent that access to, and use of, the pier must be halted in the interest of public safety. This prohibition on access and use will continue until the underlying supports are repaired or replaced. As Pier 4 serves as the main support site for the Courageous Sailing Center, its continued closure will force a relocation of this important community sailing and youth development organization. For 25 years, the Courageous Sailing Center has provided free and low-cost out-of-school time programs in sailing, environmental education, job skills development, and leadership training to Boston area children of all economic and ethnic

backgrounds. The loss of this facility will represent a significant impact to the Boston area in general and Environmental Justice communities in particular.

### Steel Pile Jackets Alternative

Under the steel pile jackets alternative, two half sections of steel pile with connecting flanges would be brought to the site, lowered into position around the existing deteriorated pile sections and bolted together with assistance of barge-mounted cranes, winches, and lifting jigs. As with the proposed concrete pile jacket alternative, grout would be pumped into the annular cavity between the pile jacket and existing pile using tremie methods. This alternative will have a service life of approximately 10 to 15 years, a service life that is 15 to 20 years less than the proposed alternative. This alternative was rejected due to the inferior service life, extended lead production time required for the manufacture of the jackets, and the anticipated difficulties associated with the installation of heavy, 15-foot long, steel jackets at the project site.

### Installation of Supplemental Support Piles

The Supplemental Support Piles alternative consists of the installation of 490 new concrete-filled, steel pipe piles through the existing concrete deck of the pier to relieve all structural demands on the existing piles. Installation would require coring large diameter holes through the concrete deck, driving piles to required depth into the harbor bottom, doweling in concrete reinforcement within the pile caps, forming secondary pile caps, pumping concrete to connect the new driven piles to the concrete superstructure, and final restoration of the pier deck. This alternative would provide the greatest service life, at 50 to 75 years, of all the alternatives considered, but was rejected due to issues of cost, increased impact to Land Under the Ocean and Land Subject to Coastal Storm Flowage resource areas, and construction complications that would require removal of above deck structures and have secondary effects on the superstructure due to cutting of reinforcing steel.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

<u>Eighth Street</u> a. Street Address	<u>Boston</u> b. City/Town
<u></u> c. Check number	<u></u> d. Fee amount

2. Applicant Mailing Address:

<u>William</u> a. First Name	<u>Epperson</u> b. Last Name	
<u>Boston Planning &amp; Development Agency</u> c. Organization		
<u>22 Drydock Avenue</u> d. Mailing Address		
<u>Boston</u> e. City/Town	<u>MA</u> f. State	<u>02210</u> g. Zip Code
<u>617-918-6202</u> h. Phone Number	<u></u> i. Fax Number	<u>william.j.epperson@boston.gov</u> j. Email Address

3. Property Owner (if different):

<u></u> a. First Name	<u></u> b. Last Name	
<u></u> c. Organization		
<u></u> d. Mailing Address		
<u></u> e. City/Town	<u></u> f. State	<u></u> g. Zip Code
<u></u> h. Phone Number	<u></u> i. Fax Number	<u></u> j. Email Address

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee

**Step 5/Total Project Fee:** \_\_\_\_\_

**Step 6/Fee Payments:**

Total Project Fee: Exempt  
 a. Total Fee from Step 5

State share of filing Fee: b. 1/2 Total Fee less \$12.50

City/Town share of filing Fee: c. 1/2 Total Fee plus \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)





**AFFIDAVIT OF SERVICE  
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act  
and Boston Wetlands Ordinance**

I, Bradford Saunders, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A **Notice of Intent** was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by Boston Planning & Development Agency for maintenance repairs to the structural support piles beneath Pier #4 located at Charlestown Naval Shipyard Park, Eighth St., Boston, MA 02129

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Name

3/22/2022

Date



**NOTIFICATION TO ABUTTERS  
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. Boston Planning & Development Agency has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is Eighth Street (Charlestown Naval Shipyard Park).

C. The project involves maintenance repairs to the structural support piles of Pier #4.

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at [CC@boston.gov](mailto:CC@boston.gov).

E. Copies of the Notice of Intent may be obtained from GEI Consultants, Inc. by contacting them at 774-277-6020 between the hours of 9:00 AM and 5:00 PM, Monday through Friday.

F. In accordance with the Chapter 20 of the Acts of 2021, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing [CC@boston.gov](mailto:CC@boston.gov) or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on [www.boston.gov/public-notices](http://www.boston.gov/public-notices) and in Boston City Hall not less than forty-eight (48) hours in advance. If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

NOTE: If you plan to attend the public hearing and are in need of interpretation, please notify staff at [CC@boston.gov](mailto:CC@boston.gov) by 12 PM the day before the hearing.



City of Boston  
Environment



City of Boston  
Mayor Martin J. Walsh

## 波士顿湿地保护委员会项目邻近住户通知

根据《马萨诸塞州湿地保护法》、《马萨诸塞州普通法》第 131 章第 40 节以及《波士顿湿地条例》的规定，

我们特此向您，即向波士顿湿地保护委员会提出申请的项目的邻近住户，发出以下通知。

- A. 申請方名稱已向波士顿湿地保护委员会提出申请，请求批准改建一块受《湿地保护法》（《普通法》第 131 章第 40 节）和《波士顿湿地条例》保护的地块。
- B. 拟开展改建活动的地块地址为：项目位置地址。
- C. 该项目涉及以下建设内容：项目描述。
- D. 可通過聯繫波士頓保護委員會取得意向通知書的副本，電子郵件是 [CC@boston.gov](mailto:CC@boston.gov)。
- E. 您可于日，小時，在申請方或代表&聯繫信息处获取意向通知的副本。
- F. 根據《馬薩諸塞州行政命令》（暫緩執行《公開會議法》聽證會將在網上 <https://zoom.us/j/6864582044> 進行。如果無法上互聯網 (Internet)，則可致電 1-929-205-6099，輸入會議編號(ID) 686 458 2044 #，然後使用 # 作為您參與的編號 (ID.)
- G. 您可于周一至周五上午 9 点到下午 5 点联系波士顿湿地保护委员会，咨询公开听证会举行的日期和时间，邮箱地址：[CC@boston.gov](mailto:CC@boston.gov)，电话：(617) 635-4416。

注：公开听证会的通知（包括其举行日期、时间和地点）将提前至少五天在《波士顿先驱报》上予以公布。

注：公开听证会的通知（包括其举行日期、时间和地点）将提前至少四十八（48）小时发布在以下网页之上以及波士顿市政厅内：[www.boston.gov/public-notices](http://www.boston.gov/public-notices)。如果您想提出意见或建议，您可以参加该公开听证会或将书面形式的意见或建议发送至 [CC@boston.gov](mailto:CC@boston.gov) 或邮寄至以下地址：Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201。

注：您也可以联系波士顿湿地保护委员会或环境保护部东北地区办公室，咨询有关此项申请或《湿地保护法》的更多信息。如要联系环境保护部，请致电：东北地区：（978）694-3200。

注：如果您准备参加该公开听证会并需要口译服务，则请在听证会举行前一天中午 12 点前通过以下电子邮箱地址告知工作人员：[CC@boston.gov](mailto:CC@boston.gov)。

1 CITY HALL SQUARE BOSTON, MA 02201-2021 | ROOM 709 | 617-635-3850 | ENVIRONMENT@BOSTON.GOV

Translator Affidavit

Boston Conservation Commission

regarding the Notification To Abutters for make the following Affidavit.

Boston Linguistics, MA is listed in the Boston Office of Language and Communication Access online list of translators.

Boston Linguistics Ma prepared the attached abutter notification for the Notice of Intent for Shipyard Park Pile Repairs Notice of Intent .

Address : Eighth Street ( Charlestown Naval Shipyard Park )

Boston Linguistics

Date - 03/22/2022

*Kind regards,*



Oliver Kici

**Founder / Principal**

**BOSTON LINGUISTICS MA**

P: 617-839-9009

E: [info@bostonlinguistics.net](mailto:info@bostonlinguistics.net)

[www.bostonlinguistics.net](http://www.bostonlinguistics.net)



## BABEL NOTICE

English:

**IMPORTANT!** This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at [cc@boston.gov](mailto:cc@boston.gov) or 617-635-3850.

Spanish:

**¡IMPORTANTE!** Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico [cc@boston.gov](mailto:cc@boston.gov) o llamando al 617-635-3850.

Haitian Creole:

**AVI ENPÒTAN!** Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan [cc@boston.gov](mailto:cc@boston.gov) oswa 617-635-3850.

Traditional Chinese:

**非常重要！**這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 [cc@boston.gov](mailto:cc@boston.gov) 電話# 617-635-3850..

Vietnamese:

**QUAN TRỌNG!** Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ [cc@boston.gov](mailto:cc@boston.gov) hoặc số điện thoại 617-635-3850.

Simplified Chinese:

**非常重要！**这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联系我们的邮箱 [cc@boston.gov](mailto:cc@boston.gov) 电话# 617-635-3850.



Area Within 300 Feet Of The Pier 4 Project Work Site

## LIST OF ABUTTERS (300') OF PROJECT SITE

ADDRESS	OWNER	MAILING ADDRESS	CITY	STATE	ZIP CODE
197 EIGHTH ST 511	AMBASH JOSEPH	197 EIGHTH ST #511	CHARLESTOWN	MA	2129
197 EIGHTH ST PH29	WALKER JOHN H	197 EIGHTH ST #PH029	CHARLESTOWN	MA	2129
197 EIGHTH ST 332	CARR NICHOLAS	197 EIGHTH ST #332	CHARLESTOWN	MA	2129
197 EIGHTH ST 301	ABELL LYNN	197 EIGHTH ST, UNIT 301	CHARLESTOWN	MA	2129
197 EIGHTH ST 404	ODONNELL MARY	47 MARION DR	KINGSTON	MA	2364
197 EIGHTH ST PH203	DURANT MICHAEL G JR	197 EIGHTH ST #PH203	CHARLESTOWN	MA	2129
197 EIGHTH ST 614	SPOONER AMY E	197 EIGHTH ST #614	CHARLESTOWN	MA	2129
197 EIGHTH ST 707	CHOW E PINGCHANG	197 EIGHTH ST #706	CHARLESTOWN	MA	2129
197 EIGHTH ST 622	PALMER RICHARD W	197 EIGHTH ST #622	CHARLESTOWN	MA	2129
197 EIGHTH ST 605	MOSELEY JOHN C TS	197 EIGHTH ST #605	CHARLESTOWN	MA	2129
197 EIGHTH ST PH212	CURTIS MARGARITA R	536 NASHVILLE AVENUE	NEW ORLEANS	LA	70115
197 EIGHTH ST 629	LEE JAMES S	197 EIGHTH ST #629	CHARLESTOWN	MA	2129
197 EIGHTH ST 407	BEJA ANDREW L	197 EIGHTH ST #407	CHARLESTOWN	MA	2129
197 EIGHTH ST PH221	BEYDOUN NOUR	197 EIGHTH ST PH221	CHARLESTOWN	MA	2129
197 EIGHTH ST PH207	EPSTEIN CAROL L	197 EIGHTH ST #PH207	CHARLESTOWN	MA	2129
197 EIGHTH ST 526	ALLEN LISA J	197 EIGHTH ST #526	CHARLESTOWN	MA	2129
197 EIGHTH ST PH11	ROBERTA A MASIELLO AND TERRY	197 EIGHTH ST #PH11	CHARLESTOWN	MA	2129
197 EIGHTH ST 428	HAYES PAULA	197 EIGHTH ST #428	CHARLESTOWN	MA	2129
197 EIGHTH ST 319	CHIUVE RONALD	197 EIGHTH ST, UNIT 319	CHARLESTOWN	MA	2129
197 EIGHTH ST 610	MULCAHY FAMILY TRUST	197 EIGHTH ST # 610	CHARLESTOWN	MA	2129
197 EIGHTH ST 728	HOLADAY SUSAN G	197 EIGHTH ST #728	CHARLESTOWN	MA	2129
197 EIGHTH ST 802	APPEL JASON	197 EIGHTH ST #801	CHARLESTOWN	MA	2129
197 EIGHTH ST 602	197 EIGHTH STREET TRUST	197 EIGHTH ST #602	CHARLESTOWN	MA	2129
197 EIGHTH ST 515	PARKER MICHAEL W	197 EIGHTH ST #515	CHARLESTOWN	MA	2129
197 EIGHTH ST PH224	MULLANEY SEAN W	197 EIGHTH ST #PH224	CHARLESTOWN	MA	2129
197 EIGHTH ST 721	FLAGSHIP QUAY LLC	197 EIGHTH ST #315	CHARLESTOWN	MA	2129
197 EIGHTH ST 2	NEW ENGLAND HISTORIC	197 EIGHTH ST #2	CHARLESTOWN	MA	2129
197 EIGHTH ST 412	MCCARTHY ELIZABETH A	93 SEAVIEW AVENUE	MARBLEHEAD	MA	1945
197 EIGHTH ST 608	SULLIVAN MARK J TS	197 EIGHTH ST #608	CHARLESTOWN	MA	2129
197 EIGHTH ST 806	BUSHEE JAMES M	197 EIGHTH ST #806	CHARLESTOWN	MA	2129

197 EIGHTH ST 904	FLAT ROOF LLC	197 EIGHTH ST #904	CHARLESTOWN	MA	2129
197 EIGHTH ST 329	JOSEPH KARAGEZIAN REVOCABLE	7 DEBSTON LA	LYNNFIELD	MA	1940
197 EIGHTH ST 304	ONE-97 C M LLC	P O BOX 1942	BROOKLINE	MA	2446
197 EIGHTH ST 431	ZELL DAVID M	197 EIGHTH ST #431	CHARLESTOWN	MA	2129
197 EIGHTH ST PH32	ROBERTSON ANNE BLYTHE	197 EIGHTH ST #PH32	CHARLESTOWN	MA	2129
197 EIGHTH ST 712	MACKENZIE JENNIFER LEIGH	197 EIGHTH ST #712	CHARLESTOWN	MA	2129
197 EIGHTH ST 206	CURLEY PATRICK A III	197 EIGHTH ST # 206	CHARLESTOWN	MA	2129
197 EIGHTH ST 421	INGALLS MARGARET D	197 EIGHTH ST #421	CHARLESTOWN	MA	2129
197 EIGHTH ST 506	CUTLER SHERRIE STEPHENS TC	197 EIGHTH ST #506	CHARLESTOWN	MA	2129
197 EIGHTH ST 625	197 8TH STREET UNIT 625 REALTY TRUST	197 EIGHTH ST, UNIT 625	CHARLESTOWN	MA	2129
197 EIGHTH ST 424	PHILLIPS GEORGIA C	197 EIGHTH ST #424	CHARLESTOWN	MA	2129
197 EIGHTH ST 632	ELLEN BRENNAN-RING TRUST	197 EIGHTH ST, UNIT 632	CHARLESTOWN	MA	2129
197 EIGHTH ST 312	CRAMER ALAN	197 EIGHTH ST #312	CHARLESTOWN	MA	2129
197 EIGHTH ST 530	MIKIC BORIVOJE	197 EIGHTH ST #530	CHARLESTOWN	MA	2129
197 EIGHTH ST 901	CENCI SCOTT M	197 EIGHTH ST #901	CHARLESTOWN	MA	2129
197 EIGHTH ST 724	KINCAID FAMILY TRUST	17 FULLER RD	NORTH ANDOVER	MA	1845
197 EIGHTH ST PH216	POSTOL THEODORE A	197 EIGHTH ST #PH216	CHARLESTOWN	MA	2129
197 EIGHTH ST 503	ARTHUR J HURLEY III TRUST	C/O MATTHEW C HURLEY	BOSTON	MA	2119
197 EIGHTH ST 214	SWEENEY MARIAN	197 EIGHTH ST #214	CHARLESTOWN	MA	2129
197 EIGHTH ST 523	KAUFMAN DAVID	197 EIGHTH ST #523	CHARLESTOWN	MA	2129
197 EIGHTH ST 731	WEISSEDER RALPH	197 EIGHTH ST #731	CHARLESTOWN	MA	2129
197 EIGHTH ST 401	COFFMAN SUSAN P	197 EIGHTH ST, UNIT 401	CHARLESTOWN	MA	2129
197 EIGHTH ST PH25	TUCKER KATHLEEN A	197 EIGHTH ST #PH-25	CHARLESTOWN	MA	2129
197 EIGHTH ST 722	LIDDELL DAVID	197 EIGHTH ST #722	CHARLESTOWN	MA	2129
197 EIGHTH ST 620	PAOLUCCI REAL ESTATE LLC	85 EAST INDIA ROW, UNIT 18F	BOSTON	MA	2110
197 EIGHTH ST 330	ROHRBACHER RICHARD G	155 SEAPORT BLVD	BOSTON	MA	2210
197 EIGHTH ST 716	SALTER CARL	197 EIGHTH ST #716	CHARLESTOWN	MA	2129
197 EIGHTH ST 705	STEVENS MARK A TS	197 EIGHTH STREET UNIT 705	CHARLESTOWN	MA	2129
197 EIGHTH ST 432	DAVID G BROWN 2019 TRUST	PO BOX 84	W HYANNISPORT	MA	2672
197 EIGHTH ST PH201	ROOK ROBERT	342 BUNKER HILL ST APT 5A	CHARLESTOWN	MA	2129
197 EIGHTH ST 203	LAWRENCE BRENNER 2020 TRUST	197 EIGHTH ST, UNIT 203	CHARLESTOWN	MA	2129
197 EIGHTH ST PH210	TSAO JEFFREY	197 EIGHTH ST UNIT PH210	CHARLESTOWN	MA	2129
197 EIGHTH ST 306	HACKETT JEAN M TS	197 EIGHTH ST #306	CHARLESTOWN	MA	2129
197 EIGHTH ST 507	XAROS JAMES L	8 TREVINO CIR	ANDOVER	MA	1810



197 EIGHTH ST 416	HILSINGER EMMY D TS	197 EIGHTH ST #416	CHARLESTOWN	MA	2129
197 EIGHTH ST 422	BABCOCK JEAN	197 EIGHTH ST #422	CHARLESTOWN	MA	2129
197 EIGHTH ST 626	SILVERMAN RICHARD T	197 EIGHTH ST #626	CHARLESTOWN	MA	2129
197 EIGHTH ST 314	POLI MARCANTONIO	197 EIGHTH ST #314	CHARLESTOWN	MA	2129
197 EIGHTH ST 425	J OWEN TODD TRUST	8 WINDSONG LANE	WOLFBORO	NH	3894
197 EIGHTH ST 531	SULLIVAN MARK J TS	197 8TH ST #531	CHARLESTOWN	MA	2129
197 EIGHTH ST PH19	MEDICE ALBERT E	197 EIGHTH ST #PH-19	CHARLESTOWN	MA	2129
197 EIGHTH ST 725	CHRISTINE COLLEY LIVING TRUST	197 EIGHTH ST, UNIT 725	CHARLESTOWN	MA	2129
197 EIGHTH ST 518	TAKAMI DARLENE J	197 EIGHTH ST #518	CHARLESTOWN	MA	2129
197 EIGHTH ST 524	MORGAN JENNIFER A	197 EIGHTH ST, UNIT 524	CHARLESTOWN	MA	2129
197 EIGHTH ST 704	SAVAGE TERRY W	197 EIGHTH ST, UNIT 704	CHARLESTOWN	MA	2129
197 EIGHTH ST PH205	CONNIE KARASSAS GUTIERREZ 2019 TRST	197 EIGHTH ST, UNIT PH-06	CHARLESTOWN	MA	2129
197 EIGHTH ST 229	NOLEN MARY E	197 EIGHTH ST #229	CHARLESTOWN	MA	2129
197 EIGHTH ST 617	LASPINA MARIE C	197 EIGHTH ST #617	CHARLESTOWN	MA	2129
197 EIGHTH ST	FLAGSHIP WHARF CONDOMINIUM ASSOC.	197 8TH ST	CHARLESTOWN	MA	2129
197 EIGHTH ST 302	OBRIEN STEPHEN T	197 EIGHTH ST #302	CHARLESTOWN	MA	2129
197 EIGHTH ST 501	SAZANI PETER	197 EIGHTH ST #501	CHARLESTOWN	MA	2129
197 EIGHTH ST 902	DESMOND ELIZABETH A	197 EIGHTH ST #902	CHARLESTOWN	MA	2129
197 EIGHTH ST 719	TORCHILIN VLADIMIR	197 EIGHTH ST #719	CHARLESTOWN	MA	2129
197 EIGHTH ST PH222	CLARK ANTHONY LEE	197 EIGHTH ST #PH222	CHARLESTOWN	MA	2129
197 EIGHTH ST 623	IANNELLI TRACY	197 EIGHTH ST #623	CHARLESTOWN	MA	2129
197 EIGHTH ST 606	ROSEMARY A MACERO TRUST	197 EIGHTH ST, UNIT 606	CHARLESTOWN	MA	2129
197 EIGHTH ST PH228	NEE MATTHEW	197 EIGHTH ST #PH228	CHARLESTOWN	MA	2129
197 EIGHTH ST PH229	FLAGSHIP QUAY LLC	197 EIGHTH ST #315	CHARLESTOWN	MA	2129
197 EIGHTH ST 405	TIMMERMAN JOHN C	197 EIGHTH ST #405	CHARLESTOWN	MA	2129
197 EIGHTH ST 408	BEJA ANDREW L	197 EIGHTH ST #408	CHARLESTOWN	MA	2129
197 EIGHTH ST 419	TANYA O GUIDI TRUST OF 2003	197 EIGHTH ST, UNIT 419	CHARLESTOWN	MA	2129
197 EIGHTH ST 528	LIU LIANG	197 EIGHTH ST #528	CHARLESTOWN	MA	2129
197 EIGHTH ST 630	WILK RICHARD J	197 EIGHTH ST, UNIT 630	CHARLESTOWN	MA	2129
197 EIGHTH ST 232	MICHELINI THERESA J	197 EIGHTH ST #232	CHARLESTOWN	MA	2129
197 EIGHTH ST 429	ZELL DAVID M	197 EIGHTH ST #429	CHARLESTOWN	MA	2129
197 EIGHTH ST 321	BROGAN THERESA A	197 EIGHTH ST #321	CHARLESTOWN	MA	2129
197 EIGHTH ST 521	LOUIE THOMAS A	197 EIGHTH ST, UNIT 521	CHARLESTOWN	MA	2129
197 EIGHTH ST 803	MAJUDA REALTY TRUST	197 EIGHTH ST #803	CHARLESTOWN	MA	2129

197 EIGHTH ST 905	CUNNINGHAM LINDA	5420 EAST FIFST SQ SW	VERO BEACH	FL	32968
197 EIGHTH ST 729	LEBOULCH PHILIPPE	197 EIGHTH ST #729	CHARLESTOWN	MA	2129
197 EIGHTH ST 701	SIMEONE CHRISTINE A	197 EIGHTH ST #701	CHARLESTOWN	MA	2129
197 EIGHTH ST 618	CAMP JOSEPH P	197 EIGHTH ST #618	CHARLESTOWN	MA	2129
197 EIGHTH ST 720	WEILER MICHAEL	197 EIGHTH ST #720	CHARLESTOWN	MA	2129
197 EIGHTH ST 414	SMITH WAYNE	1001ST AVE N #801	ST PETERSBURG	FL	33701
197 EIGHTH ST 516	JENKINSON JEANNIE M	197 EIGHTH ST #516	CHARLESTOWN	MA	2129
197 EIGHTH ST PH23	MARKEL ROBERT T	197 EIGHTH ST PH23	CHARLESTOWN	MA	2129
197 EIGHTH ST 303	AKINS CARY W	197 EIGHTH ST #303	CHARLESTOWN	MA	2129
197 EIGHTH ST 624	WALCH MARLENE J	197 EIGHTH ST #624	CHARLESTOWN	MA	2129
197 EIGHTH ST 714	COLLINS KATHLEEN	197 EIGHTH ST # 714	CHARLESTOWN	MA	2129
197 EIGHTH ST PH232	HICKEY CAROL A	197 EIGHTH ST PH232	CHARLESTOWN	MA	2129
197 EIGHTH ST 207	POSTER STEPHANIE L	197 EIGHTH ST #207	CHARLESTOWN	MA	2129
197 EIGHTH ST 505	FOLEY MARY ANN	197 EIGHTH ST #505	CHARLESTOWN	MA	2129
197 EIGHTH ST 420	BURNS MARGARET C	197 EIGHTH ST #420	CHARLESTOWN	MA	2129
197 EIGHTH ST 406	LAUREL A GORMLEY TRUST	75 FEDERAL ST #1100	BOSTON	MA	2110
197 EIGHTH ST 702	VOLPE REALTY TRUST	197 EIGHT ST, UNIT 702	CHARLESTOWN	MA	2129
197 EIGHTH ST 423	GRANCEY SHARON A	197 EIGHTH ST #423	CHARLESTOWN	MA	2129
197 EIGHTH ST 309	ATHANASSIU MARIA	197 EIGHTH ST #309	CHARLESTOWN	MA	2129
197 EIGHTH ST 710	SZUM JOHN T	197 EIGHTH ST #710	CHARLESTOWN	MA	2129
197 EIGHTH ST 504	L SIMMONS CONSULTING LLC	197 EIGHTH ST, UNIT 504	CHARLESTOWN	MA	2129
197 EIGHTH ST 804	WALTS ALAN E	197 EIGHTH ST #804	CHARLESTOWN	MA	2129
197 EIGHTH ST PH17	DIONIGI ADRIANA	197 EIGHTH ST #PH17	CHARLESTOWN	MA	2129
197 EIGHTH ST 906/907	PETERS TODD M TS	197 EIGHTH ST #906/907	CHARLESTOWN	MA	2129
197 EIGHTH ST 732	VENTRESCA ANNA MARIA	197 EIGHTH ST #732	CHARLESTOWN	MA	2129
197 EIGHTH ST 215	BINLADEN MOHAMMED M	197 EIGHTH ST #906	CHARLESTOWN	MA	2129
197 EIGHTH ST 522				DC	
197 EIGHTH ST 410	ELLIOTT KATHLEEN M	197 EIGHTH ST, #410	CHARLESTOWN	MA	2129
197 EIGHTH ST PH226	WEHBE ROBIN	197 EIGHTH ST #PH226	CHARLESTOWN	MA	2129
197 EIGHTH ST 723	SUSAN M CONWAY 2014 TRUST	197 EIGHTH ST, UNIT 723	CHARLESTOWN	MA	2129
197 EIGHTH ST 615	SHEA RICHARD F	197 EIGHTH ST	CHARLESTOWN	MA	2129
197 EIGHTH ST 512	ABRASS LOUAY	197 EIGHTH ST #512	CHARLESTOWN	MA	2129
197 EIGHTH ST PH03	JEZNACH JEFFREY F	21 BRIDLE PATH	SHREWSBURY	MA	1545
197 EIGHTH ST PH220	TURNOCK ELIZABETH	197 EIGHTH ST #PH220	CHARLESTOWN	MA	2129

197 EIGHTH ST 708	POLI MARCANTONIO	36 COUNTRY CLUB DRIVE	GILFORD	NH	3249
197 EIGHTH ST 717	KENNY DONNA M	197 EIGHTH ST #717	CHARLESTOWN	MA	2129
197 EIGHTH ST 204	TRACY RONALD	197 EIGHTH ST #204	CHARLESTOWN	MA	2129
197 EIGHTH ST 621	CARDINALI ROSANGELA L	197 EIGHTH ST #621	CHARLESTOWN	MA	2129
197 EIGHTH ST 307	BERGER CHARLES	7408 E SYCAMORE ST	EVANSVILLE	IN	47715
197 EIGHTH ST 417	DEELEY THOMAS F	197 EIGHTH ST #417	CHARLESTOWN	MA	2129
197 EIGHTH ST PH217	DESANCTIS SUSANNE T	197 EIGHTH ST # PH217	CHARLESTOWN	MA	2129
197 EIGHTH ST PH223	FLAGSHIP PH REALTY TRUST	75 PARK PLAZA	BOSTON	MA	2116
197 EIGHTH ST 426	PAOLUCCI MARK	197 EIGHTH ST #426	CHARLESTOWN	MA	2129
197 EIGHTH ST PH12	KLIBANSKI ANNE	197 EIGHTH ST, UNIT PH12	CHARLESTOWN	MA	2129
197 EIGHTH ST 315	SHARRY PHILIP J	197 EIGHTH ST #315	CHARLESTOWN	MA	2129
197 EIGHTH ST 611	611 FLAGSHIP LLC	125 TOLMAN AVENUE	LEOMINSTER	MA	1453
197 EIGHTH ST 807	LUNDQUIST JANE L TS	197 EIGHTH ST #807	CHARLESTOWN	MA	2129
197 EIGHTH ST 603	BURKE BEATRICE C	197 EIGHTH ST #603	CHARLESTOWN	MA	2129
197 EIGHTH ST 801	APPEL JASON	197 EIGHTH ST #801	CHARLESTOWN	MA	2129
197 EIGHTH ST 210	CLAIRMONT STEPHEN F	35 WALNUT ST	NEWTON	MA	2460
197 EIGHTH ST 230	BAILEY FAMILY TRUST	197 EIGHTH ST, UNIT 230	CHARLESTOWN	MA	2129
197 EIGHTH ST 519	JOHN SHAJI O	197 EIGHTH ST #519	CHARLESTOWN	MA	2129
197 EIGHTH ST 525	MCGONAGLE PAUL	197 EIGHTH ST #525	CHARLESTOWN	MA	2129
197 EIGHTH ST PH06	CONNIE KARASSAS GUTIERREZ 2019 TRST	197 EIGHTH ST, UNIT PH-06	CHARLESTOWN	MA	2129
197 EIGHTH ST 1	197 ASSOCIATES LP	197 EIGHTH ST	CHARLESTOWN	MA	2129
197 EIGHTH ST 514	MARKOS ERENI	71 RICHARDSON RD	LYNN	MA	1904
197 EIGHTH ST 411	WILLIAMSON FAMILY NOMINEE TRUST	197 EIGHTH ST, UNIT 411	CHARLESTOWN	MA	2129
197 EIGHTH ST 718	KENNEY PETER C	197 EIGHTH ST, UNIT 718	CHARLESTOWN	MA	2129
197 EIGHTH ST 903	BUTLER JOHN E TS	197 EIGHTH ST # 903	CHARLESTOWN	MA	2129
197 EIGHTH ST 205	CARTY DEIRDRE	197 EIGHTH ST #205	CHARLESTOWN	MA	2129
197 EIGHTH ST 616	MCGING PETER A	197 EIGHTH ST #616	CHARLESTOWN	MA	2129
197 EIGHTH ST 607	KING DAVID M	197 EIGHTH ST #607	CHARLESTOWN	MA	2129
197 EIGHTH ST 805	BEVERLY TANGVIK LIVING TRUST	197 EIGHTH ST, UNIT 805	CHARLESTOWN	MA	2129
197 EIGHTH ST PH21	CURRIE MARK G	197 EIGHTH ST # PH21	CHARLESTOWN	MA	2129
197 EIGHTH ST PH230	ANDERSON ROBERT J	197 EIGHTH ST #PH-230	CHARLESTOWN	MA	2129
197 EIGHTH ST 308	COTTER JOHN E	197 EIGHTH ST, #308	CHARLESTOWN	MA	2129
197 EIGHTH ST PH219	MANTEL SUSANNE	C/O RYAN LLC	HOUSTON	TX	77056
197 EIGHTH ST 418	PERLMUTTER MAUREEN C	197 EIGHTH ST #418	CHARLESTOWN	MA	2129

197 EIGHTH ST 631	LEE JAMES S	197 EIGHTH ST, UNIT 631	CHARLESTOWN	MA	2129
197 EIGHTH ST PH225	MAYER SALLY	197 EIGHTH ST #PH225	CHARLESTOWN	MA	2129
197 EIGHTH ST 529	MOUNT WILLIAM	197 EIGHTH ST #529	CHARLESTOWN	MA	2129
197 EIGHTH ST PH215	HUANG PEARL SHIRLEY	197 EIGHTH ST #PH-215	CHARLESTOWN	MA	2129
197 EIGHTH ST 430	BOYLE JOHN J TS	197 EIGHTH ST #430	CHARLESTOWN	MA	2129
197 EIGHTH ST 323	PACTOVIS HOWARD J	197 EIGHTH ST, UNIT 323	CHARLESTOWN	MA	2129
197 EIGHTH ST 502	197 EIGHTH STREET UNIT 502 REALTY TRST	87 MASON ROAD	COMPTON	NH	3223
197 EIGHTH ST 808	SPILLANE JOANNE	197 EIGHT ST #808	CHARLESTOWN	MA	2129
197 EIGHTH ST 212	FRIELING LORI C	4 WINDY HILL LANE	WAYLAND	MA	1778
197 EIGHTH ST 231	XIE ZHONGCONG	7 APACHE LANE	ANDOVER	MA	1810
197 EIGHTH ST 520	SPIVAK PAUL	197 EIGHTH ST, UNIT 520	CHARLESTOWN	MA	2129
197 EIGHTH ST 730	BRADEN KATHLEEN TS	197 EIGHTH ST #730	CHARLESTOWN	MA	2129
197 EIGHTH ST 604	KAREN E KILCOYNE NOMINEE TRUST	22 TURTLE COVE RD	EAST SANDWICH	MA	
197 EIGHTH ST PH02	BOSTON 3B LLC	9 COMMERCIAL ST	HUDSON	NH	3051
197 EIGHTH ST 402/403	HEILBRONNER WARREN M TS	PO BOX 150 CRYSTAL LAKE RD	EATON	NH	3832
197 EIGHTH ST 517	SNEH NITZAN	197 EIGHTH ST #517	CHARLESTOWN	MA	2129
197 EIGHTH ST 619	SUH ERICK	197 EIGHTH ST #619	CHARLESTOWN	MA	2129
197 EIGHTH ST 331	WOZNIAK STEVEN	197 EIGHTH ST #331	CHARLESTOWN	MA	2129
197 EIGHTH ST 510	MCGONAGLE TERESA	197 EIGHTH ST #510	CHARLESTOWN	MA	2129
197 EIGHTH ST 612	MCGONAGLE TERESA M	197 EIGHTH ST #612	CHARLESTOWN	MA	2129
197 EIGHTH ST 706	NICODEMUS CHRISTOPHER F	197 EIGHTH ST #706	CHARLESTOWN	MA	2129
197 EIGHTH ST 715	KING MARGARET A	406 DELLBROOK PL	RICHMOND	VA	23238
197 EIGHTH ST 305	ROSANDER STEPHANIE E	197 EIGHTH ST #305	CHARLESTOWN	MA	2129
197 EIGHTH ST 202	TUCKER KATHLEEN A	197 EIGHTH ST UNIT #PH25	CHARLESTOWN	MA	2129
197 EIGHTH ST 508	MIDWOOD BRENT RICHARD	197 EIGHTH ST, UNIT 508	CHARLESTOWN	MA	2129
197 EIGHTH ST 628	MILLER KAREN RUTH	197 EIGHTH ST #628	CHARLESTOWN	MA	2129
197 EIGHTH ST 415	BISBEE DANA F	197 EIGHTH ST #415	CHARLESTOWN	MA	2129
197 EIGHTH ST PH211	CHAPMAN MICHAEL EDWARD	197 EIGHTH ST #PH211	CHARLESTOWN	MA	2129
197 EIGHTH ST PH10	VINCZE MARIANNE	197 EIGHTH ST #PH10	CHARLESTOWN	MA	2129
197 EIGHTH ST 703	SMITH QUINTIN	197 EIGHTH ST, UNIT 703	CHARLESTOWN	MA	2129
197 EIGHTH ST 711	BABIN BARBARA VAN DUZER	197 EIGHTH ST #711	CHARLESTOWN	MA	2129
197 EIGHTH ST 532	MARCELLE ANETTE BELISLE	197 EIGHTH ST #532	CHARLESTOWN	MA	2129
197 EIGHTH ST 227	PINTA MICHAEL R	197 EIGHTH ST #227C	CHARLESTOWN	MA	2129
197 EIGHTH ST 726	KENNEDY LINDA S	197 EIGHTH ST #726	CHARLESTOWN	MA	2129

197 EIGHTH ST PH218	GEFFIN MICHAEL	197 EIGHTH ST #PH218	CHARLESTOWN	MA	2129
197 EIGHTH ST 601	197 EIGHTH STREET NOMINEE TRUST	197 EIGHTH ST #602	CHARLESTOWN	MA	2129
197 EIGHTH ST 908	BUTLER JOHN E	197 EIGHTH ST #908	CHARLESTOWN	MA	2129

## Saunders, Bradford

---

**From:** Saunders, Bradford  
**Sent:** Wednesday, March 23, 2022 11:50 AM  
**To:** dmf.envreview-north@mass.gov  
**Cc:** Robbins, Dan  
**Subject:** FW: Shipyard Park Pier 4 Pile Repairs - Notice of Intent

To Whom I May Concern:


Regarding the below transmission of a Notice of Intent filed with the Boston Conservation Commission for the City of Boston's proposed repairs to the supporting piles beneath Pier 4 at Shipyard Park in Charlestown, MA, the applicant has revised the description of the proposed project to include an alternative configuration for the temporary relocation of the concrete float currently attached to Pier 4. This alternative is described in the Project Narrative attached to the revised Notice of Intent that can be downloaded using the following link.

[NOI Revised \(complete print-ready\)](#)

For your purposes of Notice of Intent review and comment, please accept this revised NOI as the official submission.

We apologize for any confusion this may cause. If you have any questions concerning this transmission or difficulty with the downloading of this document, please let me know.

Thank you for your consideration.

 BRAD SAUNDERS  
Regulatory Specialist  
774.277.6020 cell: 617.921.6435  
124 Grove Street, Suite 300, Franklin, MA 02038-3156




---

**From:** Saunders, Bradford  
**Sent:** Tuesday, March 22, 2022 5:43 PM  
**To:** dmf.envreview-north@mass.gov  
**Subject:** Shipyard Park Pier 4 Pile Repairs - Notice of Intent

A Notice of Intent filed with the Boston Conservation Commission concerning the City of Boston's proposed repairs to the supporting piles beneath Pier 4 at Shipyard Park in Charlestown, MA has been posted at the following link for your review and comment per the requirements of the Massachusetts Wetlands Protection Act and its implementing regulations.

[Boston](#)

The applicant anticipates the public hearing on this matter will be on April 6, 2022. If you have any questions concerning this document, please contact the undersigned.

 BRAD SAUNDERS  
Regulatory Specialist  
774.277.6020 cell: 617.921.6435  
124 Grove Street, Suite 300, Franklin, MA 02038-3156



## **FIGURES AND DRAWINGS**







IN: BOSTON HARBOR  
 AT: CHARLESTOWN NAVY YARD  
 COUNTY: SUFFOLK STATE: MA

FIGURE A  
 DATE: 03/23/2022

TITLE: LOCUS PLAN

PURPOSE:  
 PIER 4 REPAIRS

APPLICATION BY:  
 BOSTON PLANNING & DEV AGENCY



**GEI**  
 Consultants

NOTE:  
 USGS LOCUS MAP  
 VERTICAL DATUM: NGVD29

# National Flood Hazard Layer FIRMette

71°3'24"W 42°22'31"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE)  
*Zone A, V, A99*
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

**OTHER AREAS**

- NO SCREEN *Zone X*
- Area of Minimal Flood Hazard *Zone X*
- Effective LOMRs *Zone D*
- Area of Undetermined Flood Hazard *Zone D*

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**CROSS SECTIONS WITH 1% ANNUAL CHANCE WATER SURFACE ELEVATION**

- 20.2
- 17.5
- 8

**OTHER FEATURES**

- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **3/17/2022 at 8:59 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



71°2'46"W 42°22'5"N



PHOTO 1 - PIER 4 OVERALL LOOKING NORTH

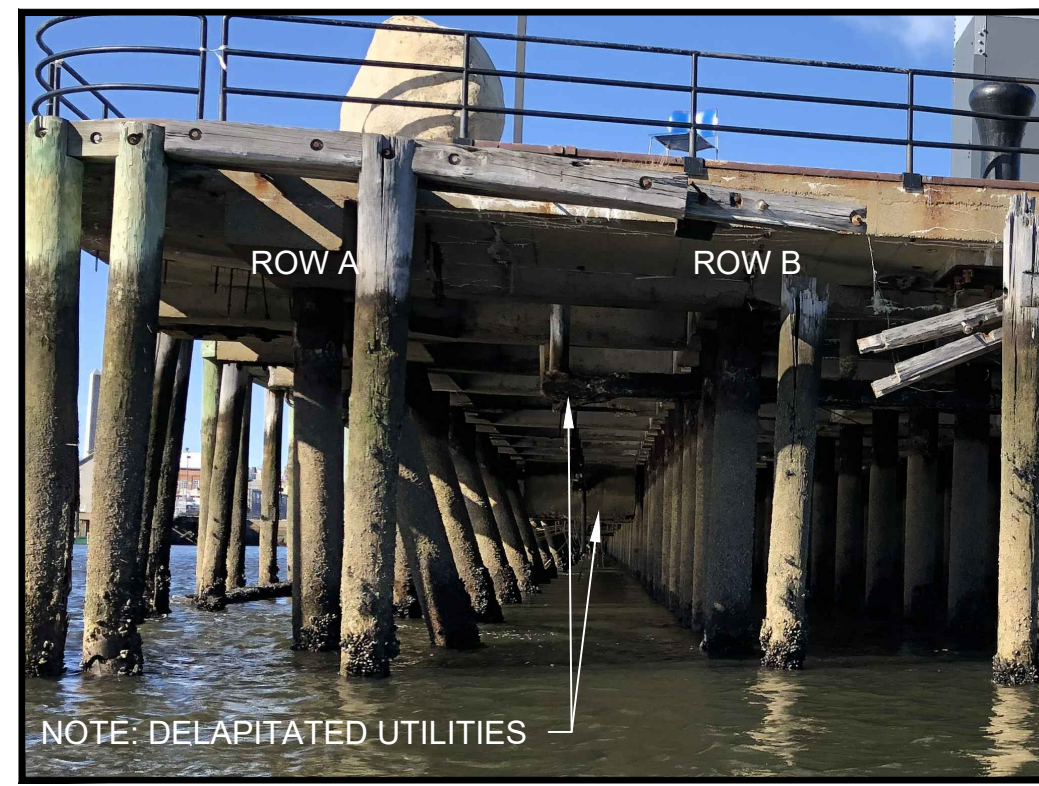


PHOTO 2 - LOOKING NORTH BETWEEN ROWS A & B



PHOTO 3 - LOOKING NORTH BETWEEN ROWS B & D



PHOTO 4 - LOOKING NORTH BETWEEN ROWS D & E

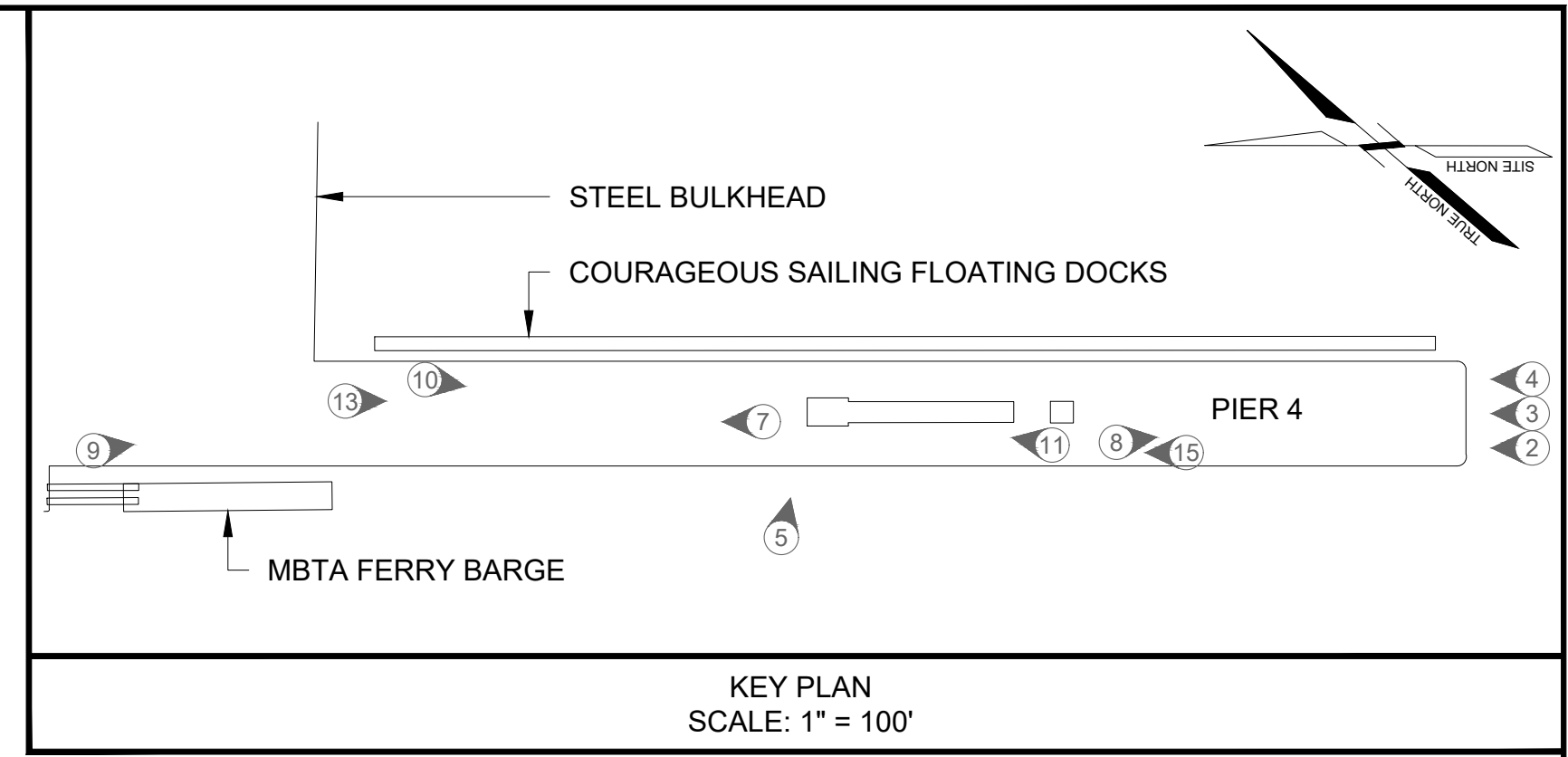


PHOTO 5 - LOOKING EAST NEAR BENT 39



PHOTO 6 - WEST ELEVATION (TYP.)



PHOTO 7 - NORTH END OF PIER - TOPSIDE



PHOTO 8 - SOUTH END OF PIER - TOPSIDE



PHOTO 9 - PIER 4 ENTRANCE

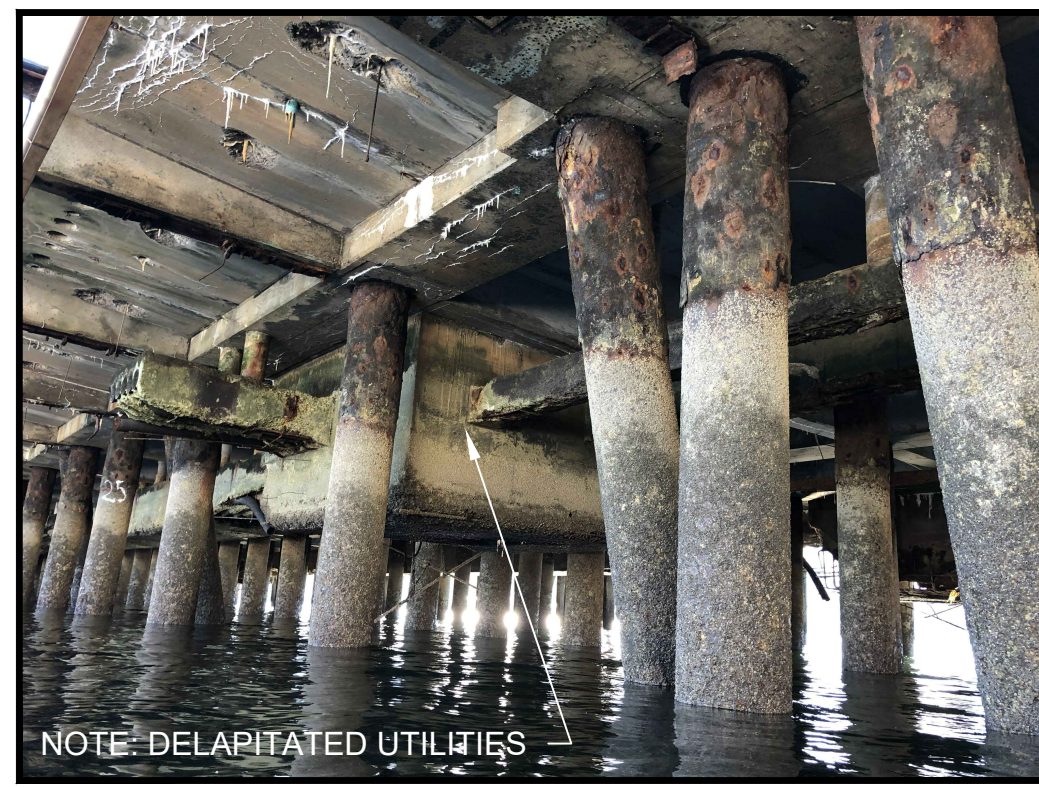


PHOTO 10 - UNDERSIDE DECK LOOKING SOUTH NEAR BENT 21

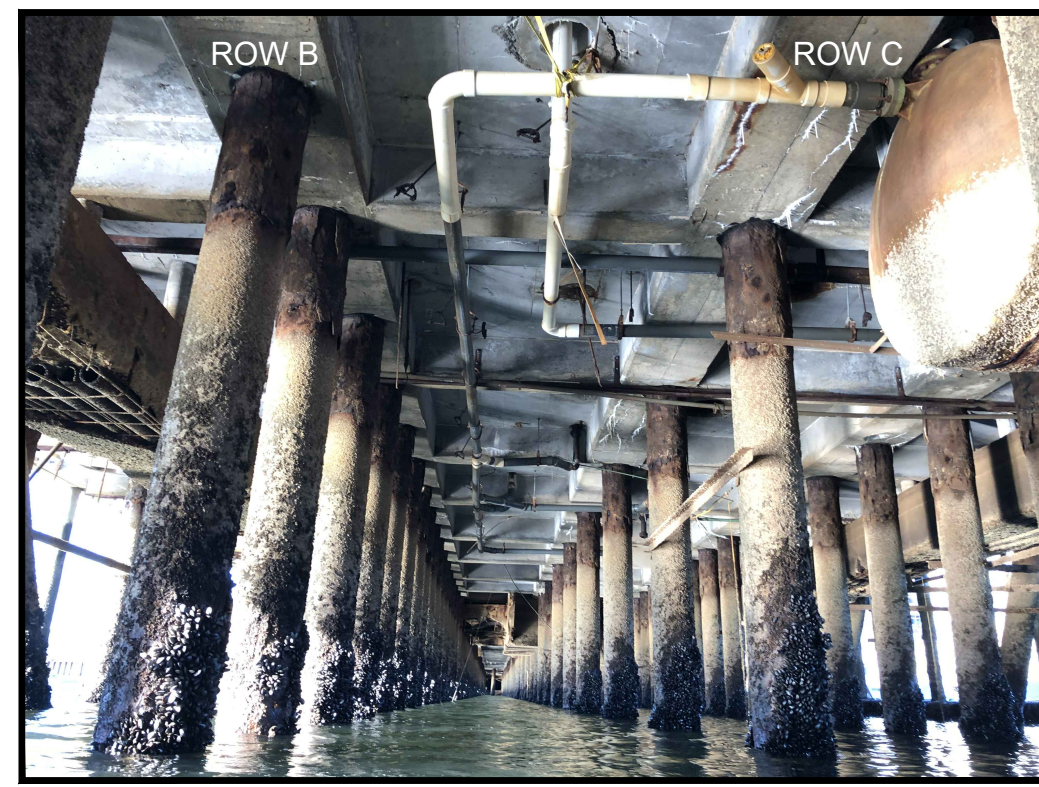


PHOTO 11 - UNDERSIDE OF DECK LOOKING NORTH NEAR 53:B.5



PHOTO 12 - SEVERE CORROSION AT PILE HEAD

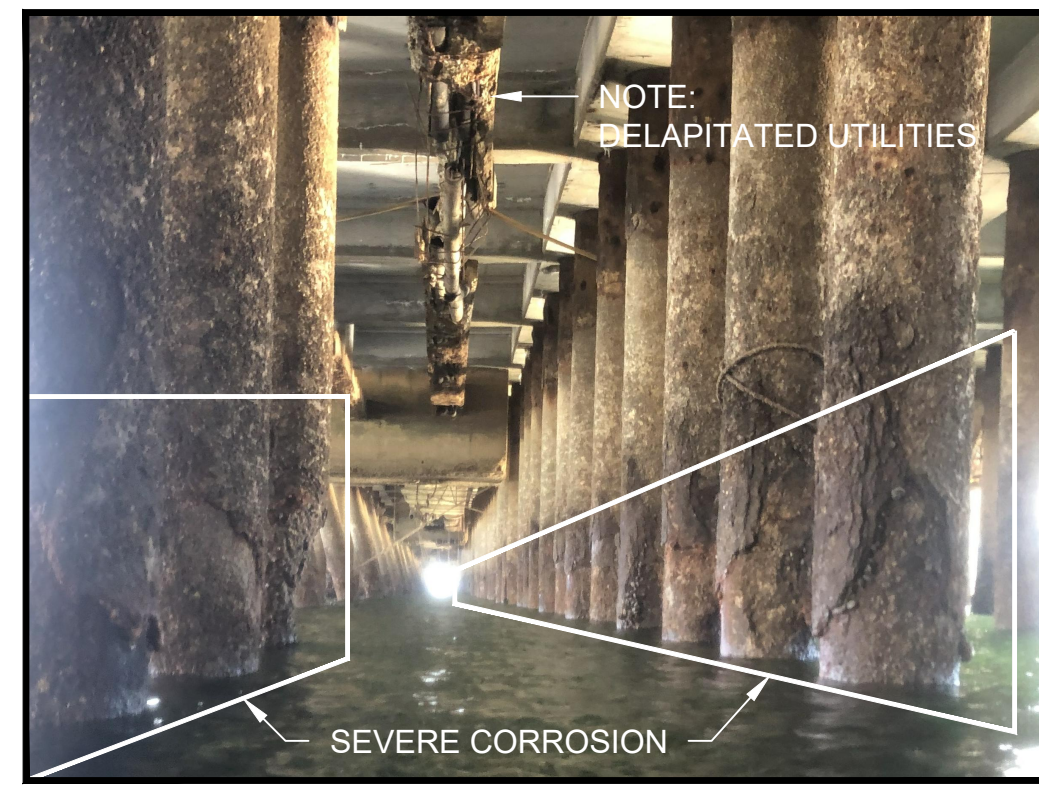


PHOTO 13 - SEVERE CORROSION OF PILES (TYP.)

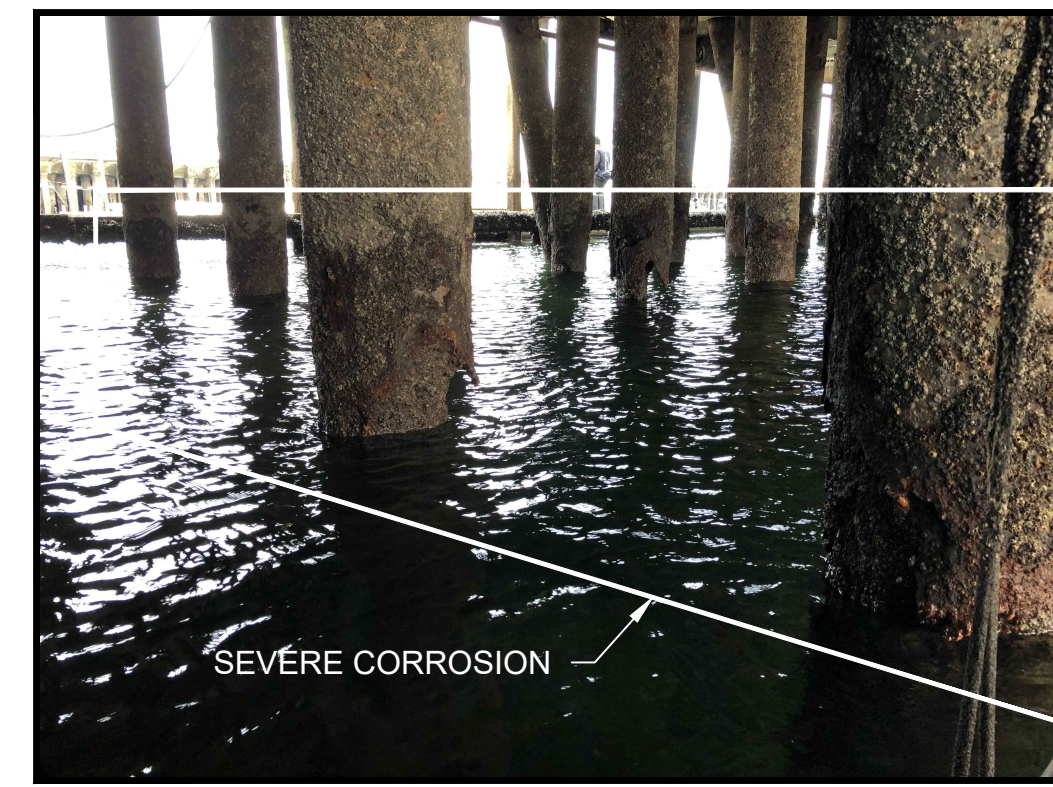


PHOTO 14 - SEVERE CORROSION OF PILES (TYP.)



PHOTO 15 - PILE 57A 100% SECTION LOSS



PHOTO 16 - SEVERE SECTION LOSS OF PILE



PHOTO 17 - TYPICAL PILE CONDITIONS NEAR MLW

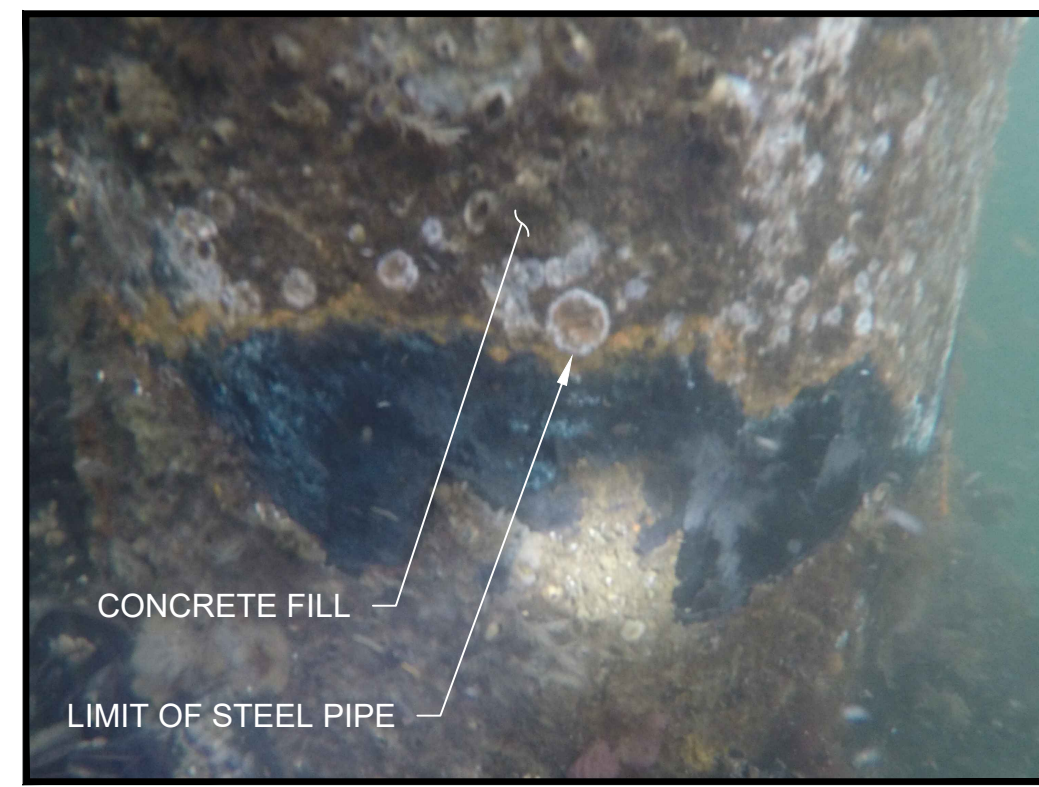


PHOTO 18 - PILE CONDITIONS UNDERWATER (TYP.)



PHOTO 19 - PILE CONDITIONS UNDERWATER (TYP.)

GRADESKI, ANDREW, B. Working BOSTON PLANNING & DEV AGENCY (AKA BPA) 104361 Shipyard Park Waterfront Infrastructure 00\_CAD Design Working PERMITS S-502 REPRESENTATIVE PHOTOS.dwg - 3/22/2022

**FOR PERMITS ONLY  
NOT FOR CONSTRUCTION**

<p>Attention:</p> <p>If this scale bar does not measure 1" then drawing is not original scale.</p>	Designed: AJG
	Drawn: JSF
	Checked: XXX
	Approved: XXX
	P.E. No:
	GEI Project 2104361



**BOSTON PLANNING & DEVELOPMENT AGENCY**  
ONE CITY HALL SQUARE  
BOSTON, MA 02201

**PIER 4 - PILE REPAIRS  
NOTICE OF INTENT**

SHIPYARD PARK WATERFRONT - PIER 4  
CHARLESTOWN, MA

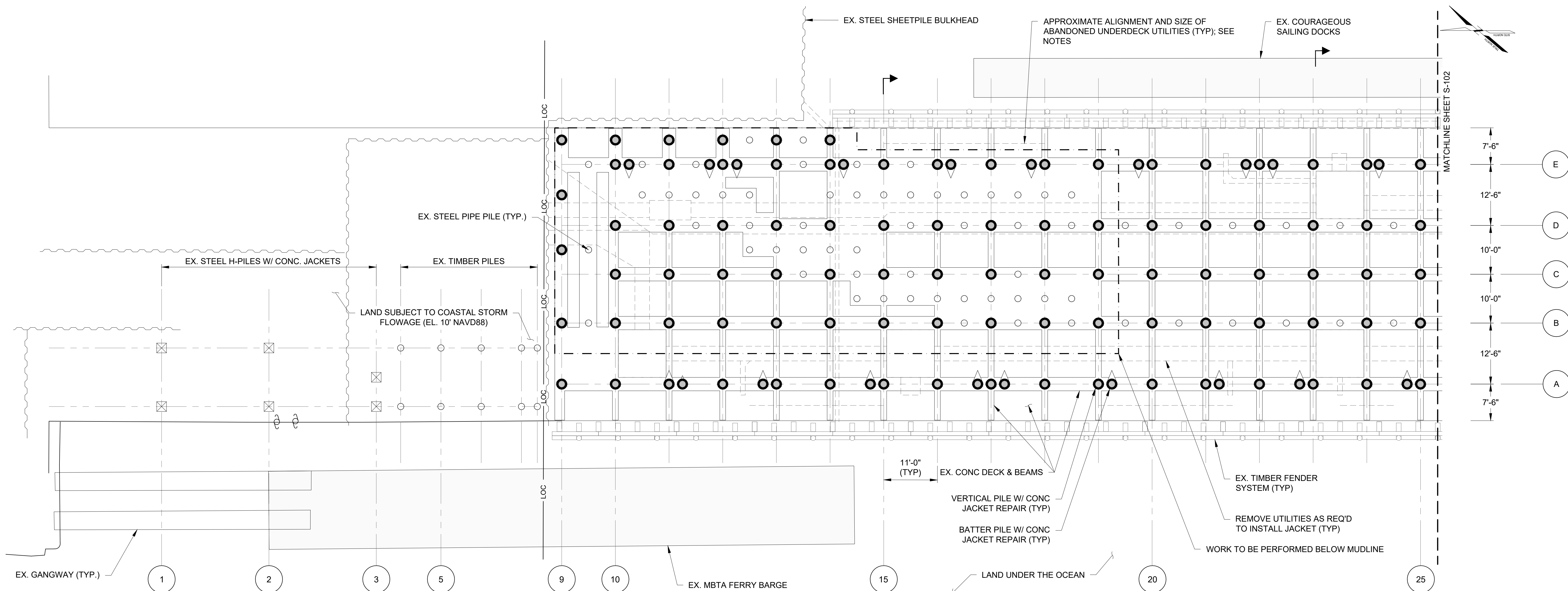
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NO	DATE	ISSUE/REVISION	APP

SHEET NAME  
**REPRESENTATIVE PHOTOS**

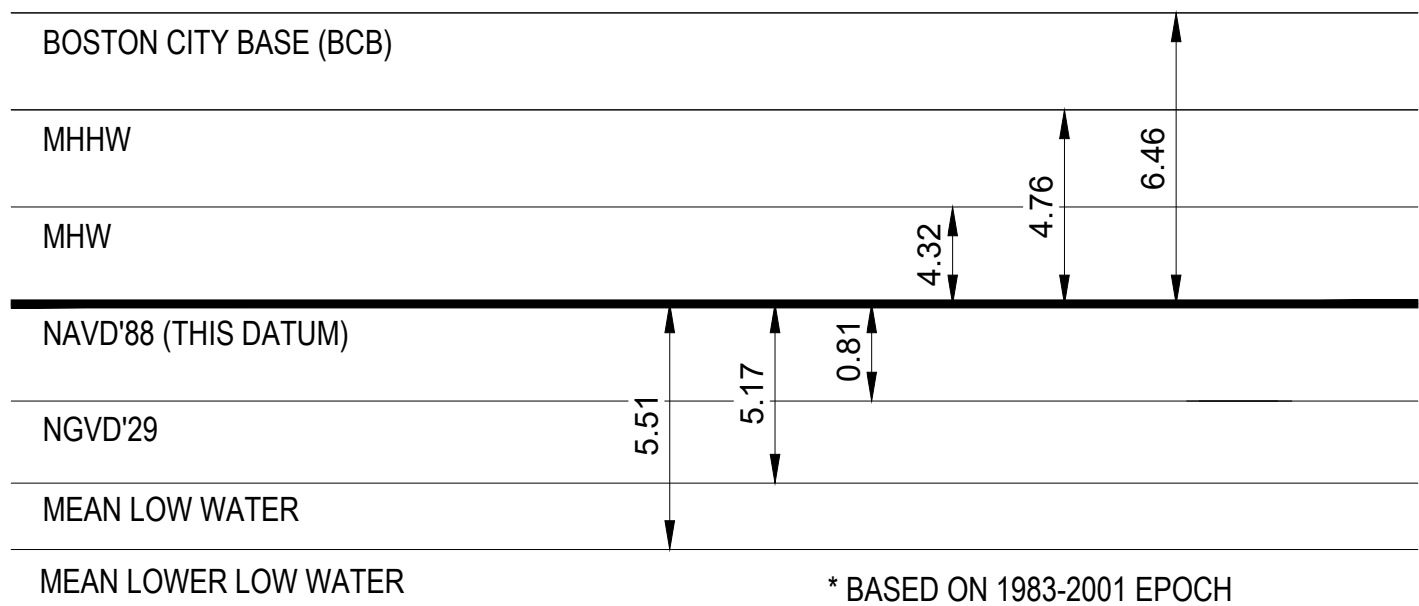
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**S-502**



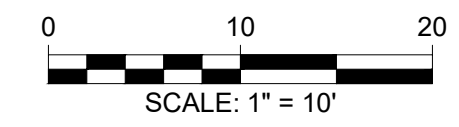
FITZGERALD, JAMISON, BLANKENHORN, BOSTON PLANNING & DEV AGENCY (AKA BRB) 02/04/2022 - SHIPYARD PARK WATERFRONT INFRASTRUCTURE CADD/DESIGN/WORKING PERMITS - 01 PIER 4 PLAN.dwg - 3/24/2022



- NOTES:**
- LOCATIONS AND SIZES OF UNDERDECK UTILITIES ARE APPROXIMATE; CONTRACTOR SHALL VERIFY IN FIELD TO CONFIRM THE UTILITIES DO NOT INTERFERE WITH PROPOSED REPAIRS.
  - CONTRACTOR SHALL ACKNOWLEDGE THAT THE UNDERDECK UTILITIES ARE ABANDONED, ARE IN A STATE OF DISREPAIR, AND IN MANY LOCATIONS HAVE DISLODGED FROM THE DECK. CONTRACTOR SHALL MAKE THEIR OWN ASSESSMENT AS TO THE NEED FOR REMOVAL OR SHORING OF THE UTILITIES TO SAFELY COMPLETE THE WORK.



**DATUM SKETCH**  
(NOT TO SCALE)



Attention:

If this scale bar does not measure 1" then drawing is not original scale.

Designed:	AJG
Drawn:	JSF
Checked:	XXX
Approved:	XXX
P.E. No.:	
GEI Project	2104361



BOSTON PLANNING & DEVELOPMENT AGENCY  
 ONE CITY HALL SQUARE  
 BOSTON, MA 02201

**PIER 4 - PILE REPAIRS  
 NOTICE OF INTENT**

SHIPYARD PARK WATERFRONT - PIER 4  
 CHARLESTOWN, MA

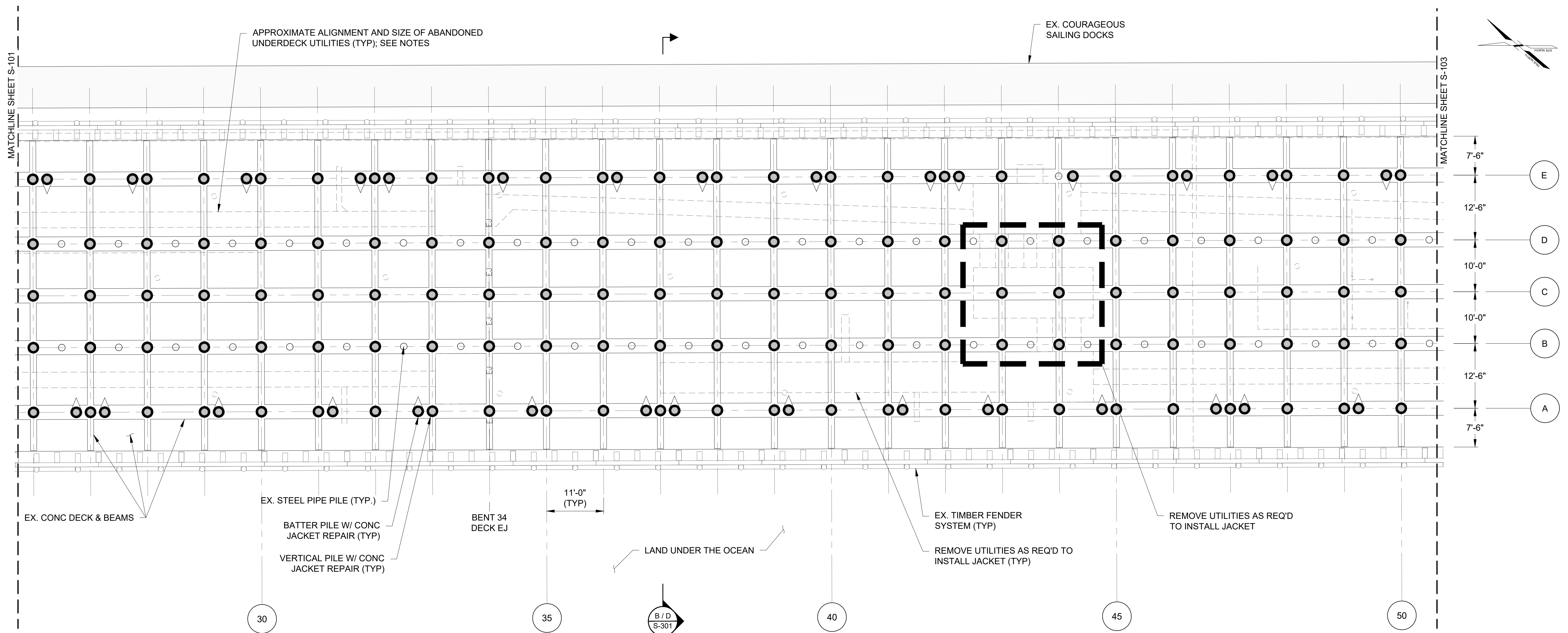
NO	DATE	ISSUE/REVISION	APP
1	3/24/2022	NOTICE OF INTENT	DBR
0	3/22/2022	NOTICE OF INTENT	DBR

SHEET NAME  
**PILE REPAIR PLAN &  
 SECTIONS BENTS 1-25**

SHEET NO.  
**S-101**

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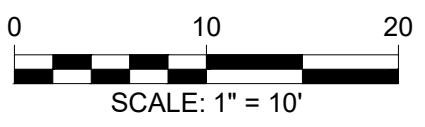




**NOTES:**  
 1. LOCATIONS AND SIZES OF UNDERDECK UTILITIES ARE APPROXIMATE; CONTRACTOR SHALL VERIFY IN FIELD TO CONFIRM THE UTILITIES DO NOT INTERFERE WITH PROPOSED REPAIRS.  
 2. CONTRACTOR SHALL ACKNOWLEDGE THAT THE UNDERDECK UTILITIES ARE ABANDONED, ARE IN A STATE OF DISREPAIR, AND IN MANY LOCATIONS HAVE DISLODGED FROM THE DECK. CONTRACTOR SHALL MAKE THEIR OWN ASSESSMENT AS TO THE NEED FOR REMOVAL OR SHORING OF THE UTILITIES TO SAFELY COMPLETE THE WORK.

**PIER 4 PILE REPAIR PLAN**  
 SCALE: 1"=10'-0"

FITZGERALD, JAMISON, BLANKENHORN, BOSTON PLANNING & DEV AGENCY (AKA BRAD) 02/04/2022 - SHIPYARD PARK WATERFRONT INFRASTRUCTURE PERMITS - 02 PIER 4 PLAN.dwg - 3/24/2022



Attention:  
 If this scale bar does not measure 1" then drawing is not original scale.

Designed: AJG  
 Drawn: JSF  
 Checked: XXX  
 Approved: XXX  
 P.E. No:  
 GEI Project 2104361



BOSTON PLANNING & DEVELOPMENT AGENCY  
 ONE CITY HALL SQUARE  
 BOSTON, MA 02201

**PIER 4 - PILE REPAIRS NOTICE OF INTENT**

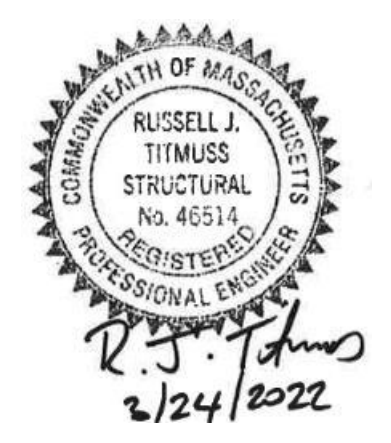
SHIPYARD PARK WATERFRONT - PIER 4  
 CHARLESTOWN, MA

NO	DATE	ISSUE/REVISION	APP
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0	3/22/2022	NOTICE OF INTENT	DBR

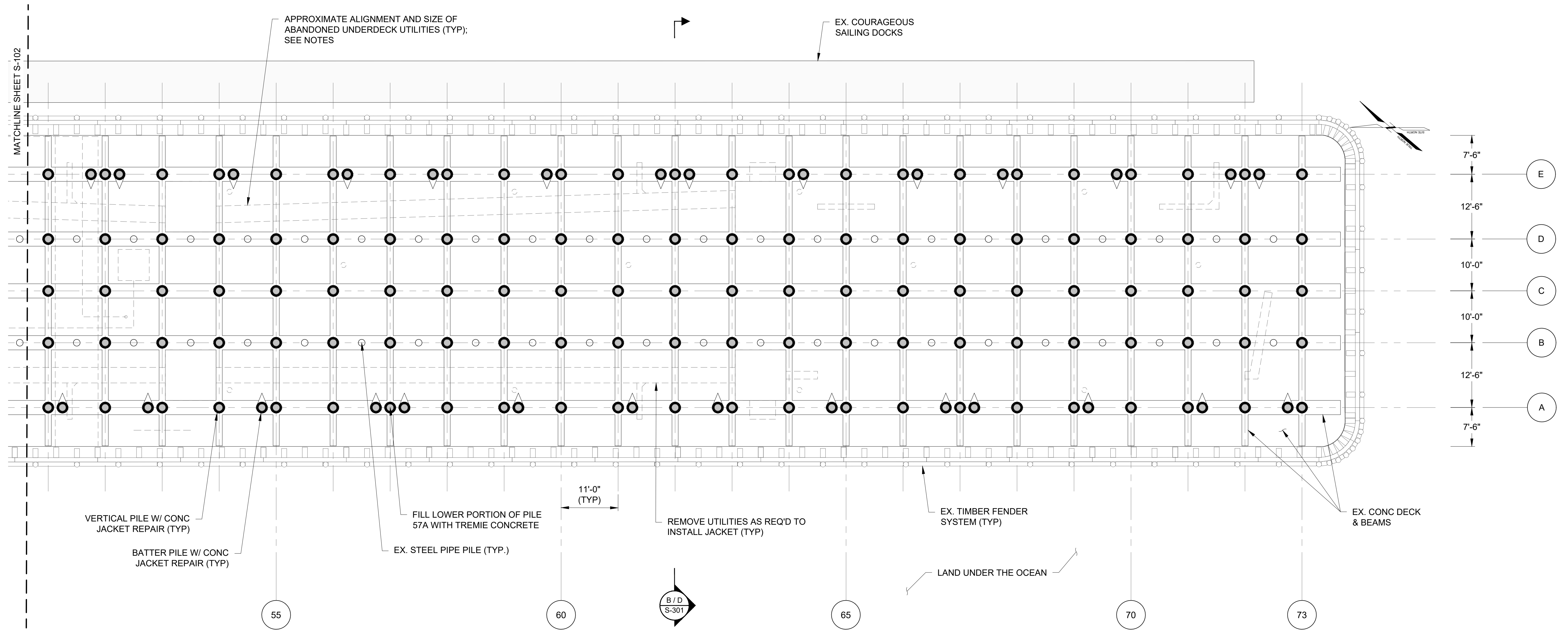
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**PILE REPAIR PLAN & SECTIONS BENTS 26-50**

SHEET NO.  
**S-102**

**FOR PERMITS ONLY  
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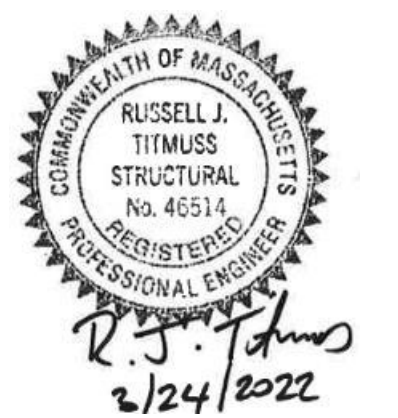


FITZGERALD, JAMISON, BIVINSKI/BOSTON PLANNING & DEV AGENCY (AKA BRP) 02/04/2022 SHIPYARD PARK WATERFRONT INFRASTRUCTURE PERMITS - 03 PIER 4 PLAN.dwg - 3/24/2022

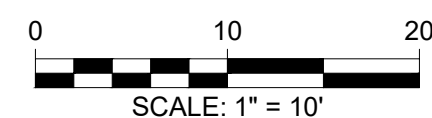


- NOTES:**
1. LOCATIONS AND SIZES OF UNDERDECK UTILITIES ARE APPROXIMATE; CONTRACTOR SHALL VERIFY IN FIELD TO CONFIRM THE UTILITIES DO NOT INTERFERE WITH PROPOSED REPAIRS.
  2. CONTRACTOR SHALL ACKNOWLEDGE THAT THE UNDERDECK UTILITIES ARE ABANDONED, ARE IN A STATE OF DISREPAIR, AND IN MANY LOCATIONS HAVE DISLODGED FROM THE DECK. CONTRACTOR SHALL MAKE THEIR OWN ASSESSMENT AS TO THE NEED FOR REMOVAL OR SHORING OF THE UTILITIES TO SAFELY COMPLETE THE WORK.

**PIER 4 PILE REPAIR PLAN**  
SCALE: 1"=10'-0"



**FOR PERMITS ONLY  
NOT FOR CONSTRUCTION**



<p>Attention:</p> <p>If this scale bar does not measure 1" then drawing is not original scale.</p>	<p>Designed: AJG</p>
	<p>Drawn: JSF</p>
	<p>Checked: XXX</p>
	<p>Approved: XXX</p>
	<p>P.E. No:</p>
	<p>GEI Project 2104361</p>



**BOSTON PLANNING & DEVELOPMENT AGENCY**  
ONE CITY HALL SQUARE  
BOSTON, MA 02201

**PIER 4 - PILE REPAIRS  
NOTICE OF INTENT**

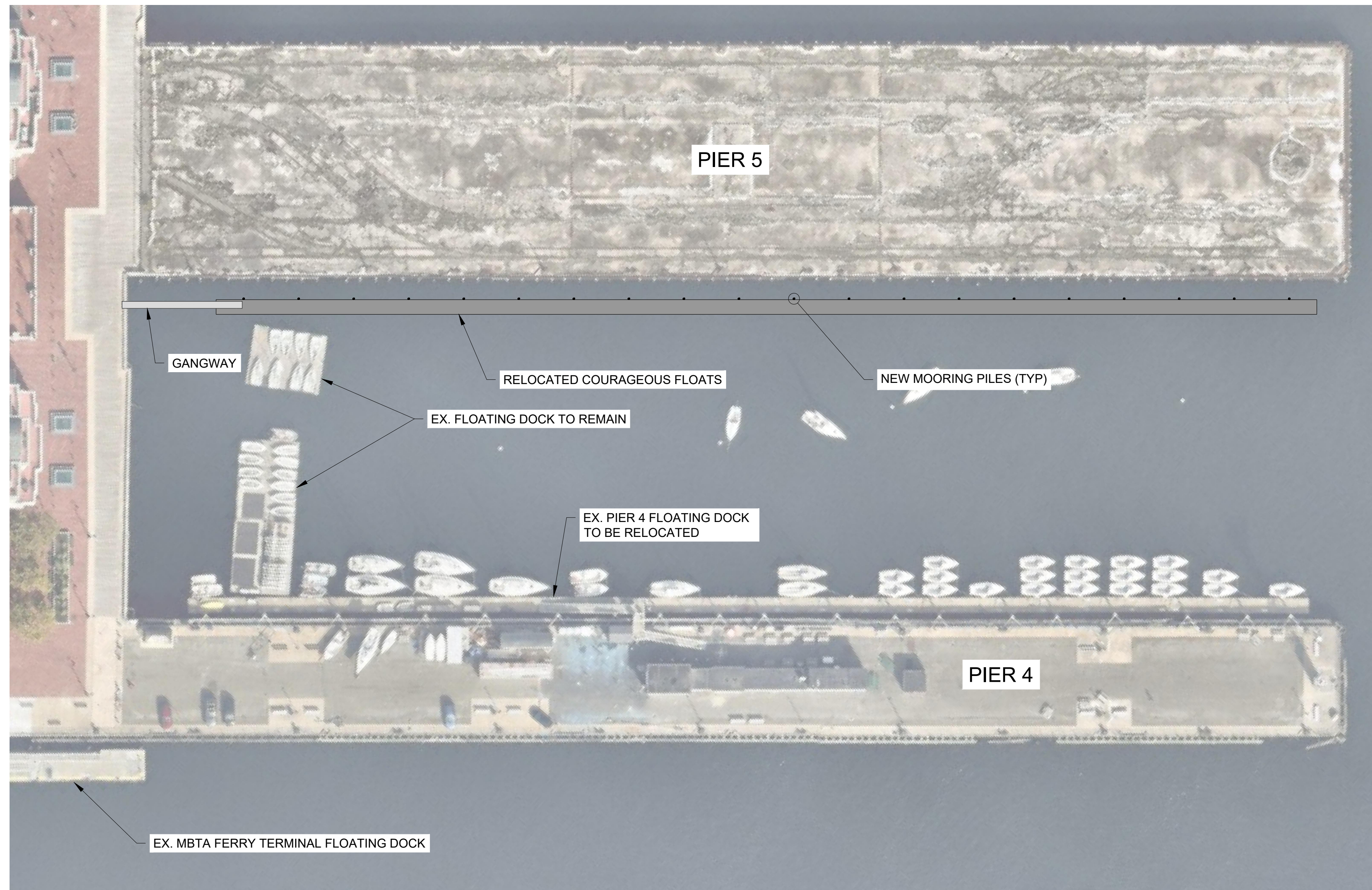
SHIPYARD PARK WATERFRONT - PIER 4  
CHARLESTOWN, MA

NO	DATE	ISSUE/REVISION	APP
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0	3/22/2022	NOTICE OF INTENT	DBR

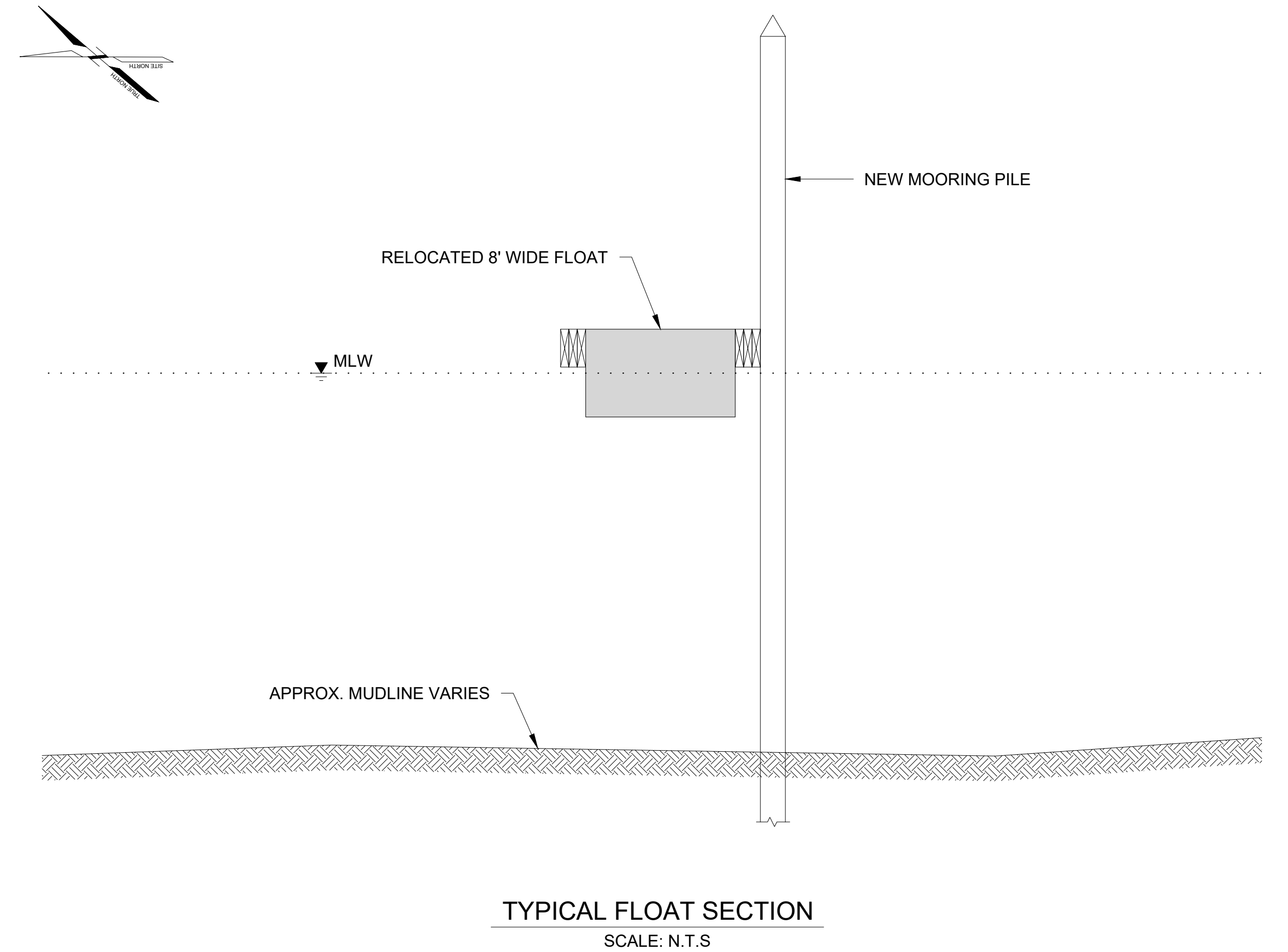
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SHEET NO.  
**S-103**

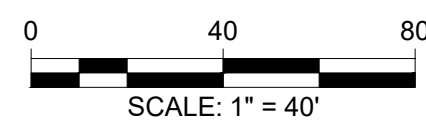
FITZGERALD, JAMISON, BIVINSKI/BOSTON PLANNING & DEV AGENCY (AKA BRAD) 04/26/2022 - SHIPYARD PARK WATERFRONT INFRASTRUCTURE CADD/DESIGN/WORKING PERMITS - 04 ALT. 1 FLOAT RELOCATION SITE PLAN.dwg - 3/24/2022



PIER 4 FLOAT RELOCATION PLAN  
SCALE: 1"=40'-0"



TYPICAL FLOAT SECTION  
SCALE: N.T.S.



Attention:  
0 1"  
If this scale bar does not measure 1" then drawing is not original scale.

Designed: AJG  
Drawn: JSF  
Checked: XXX  
Approved: XXX  
P.E. No:  
GEI Project 2104361



BOSTON PLANNING & DEVELOPMENT AGENCY  
ONE CITY HALL SQUARE  
BOSTON, MA 02201

**PIER 4 - PILE REPAIRS NOTICE OF INTENT**

SHIPYARD PARK WATERFRONT - PIER 4  
CHARLESTOWN, MA

NO	DATE	ISSUE/REVISION	APP
1	3/24/2022	NOTICE OF INTENT	DBR
0	3/22/2022	NOTICE OF INTENT	DBR

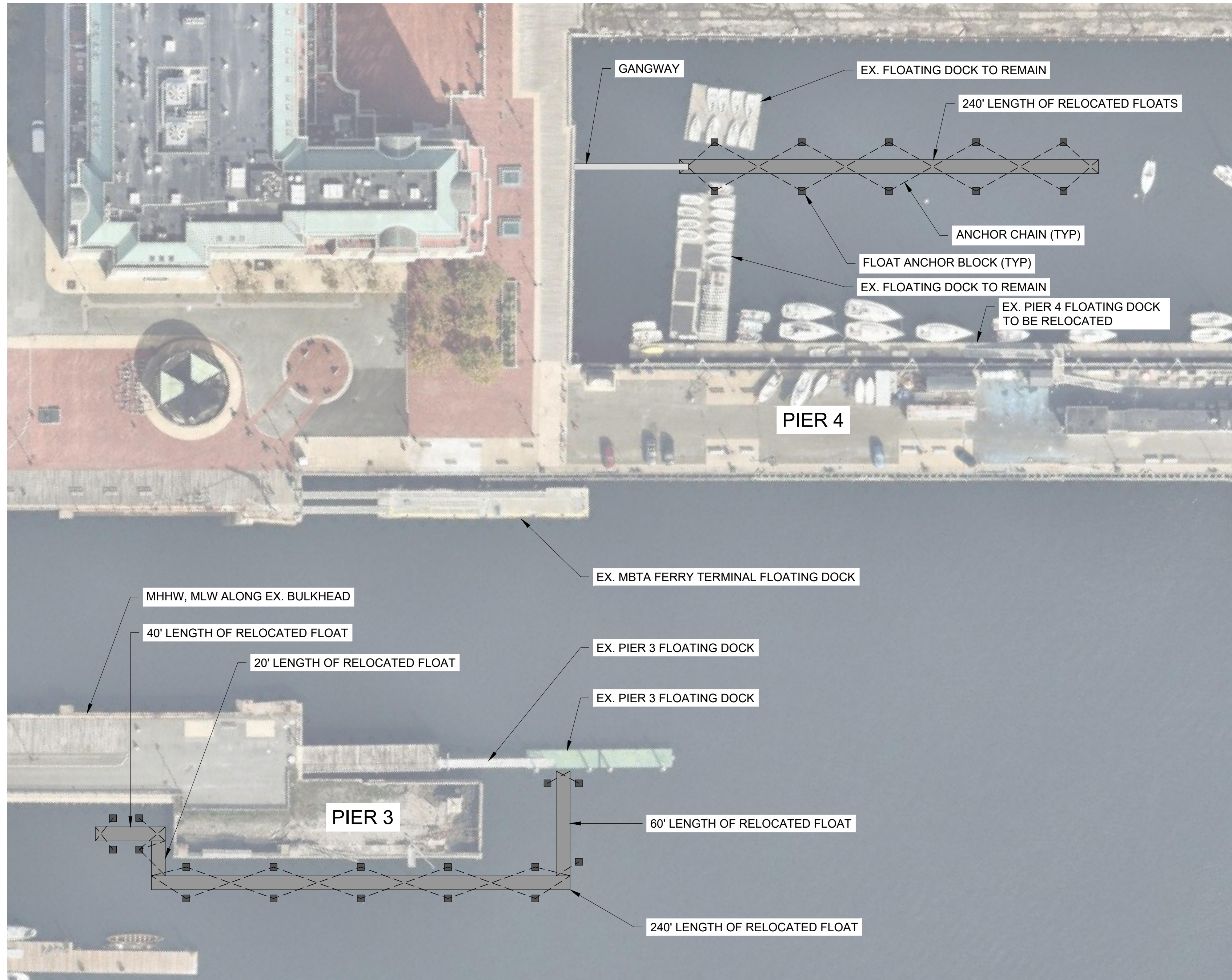
SHEET NAME  
**ALT. 1 FLOAT RELOCATIONS SITE PLAN & SECTION**

SHEET NO.  
**S-104**

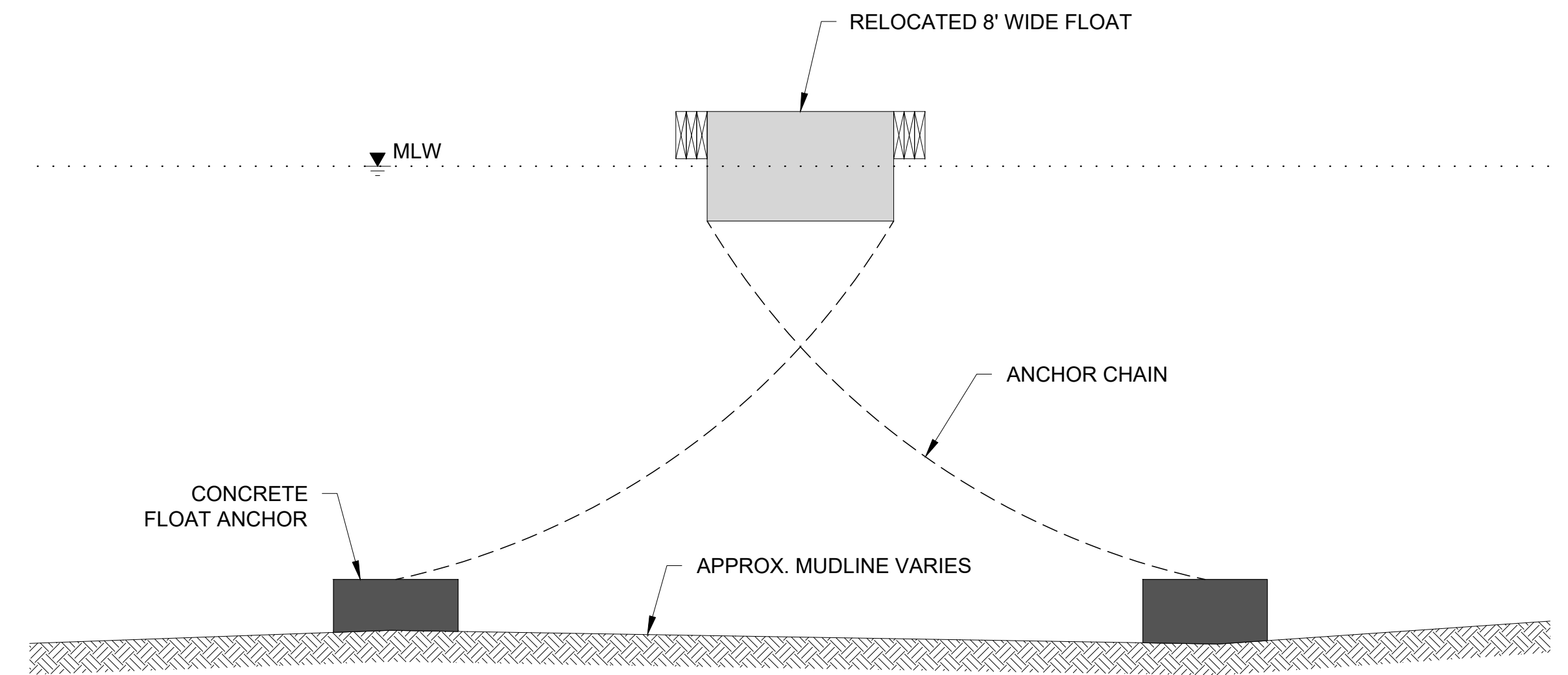
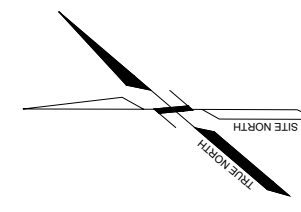
FOR PERMITS ONLY  
NOT FOR CONSTRUCTION



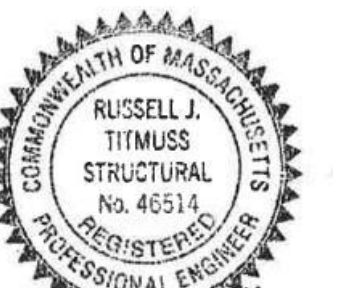
FITZGERALD, JAMISON, BIVINSKI/BOSTON PLANNING & DEV AGENCY (AKA BRAD) 2/04/2022 - SHIPYARD PARK WATERFRONT INFRASTRUCTURE CADD/DESIGN/WORKING PERMITS - 03 ALT. 2 FLOAT RELOCATION SITE PLAN.dwg - 3/24/2022



**PIER 4 FLOAT RELOCATION PLAN**  
SCALE: 1"=40'-0"

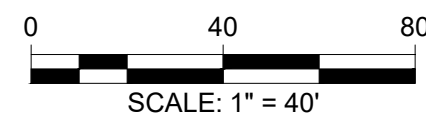


**TYPICAL FLOAT SECTION**  
SCALE: N.T.S



*R.J. Titmuss*  
2/24/2022

**FOR PERMITS ONLY  
NOT FOR CONSTRUCTION**



<p>Attention:</p> <p>If this scale bar does not measure 1" then drawing is not original scale.</p>	<p>Designed: AJG</p>
	<p>Drawn: JSF</p>
	<p>Checked: XXX</p>
	<p>Approved: XXX</p>
	<p>P.E. No:</p>
<p>GEI Project 2104361</p>	



**BOSTON PLANNING & DEVELOPMENT AGENCY**  
ONE CITY HALL SQUARE  
BOSTON, MA 02201

**PIER 4 - PILE REPAIRS NOTICE OF INTENT**  
SHIPYARD PARK WATERFRONT - PIER 4  
CHARLESTOWN, MA

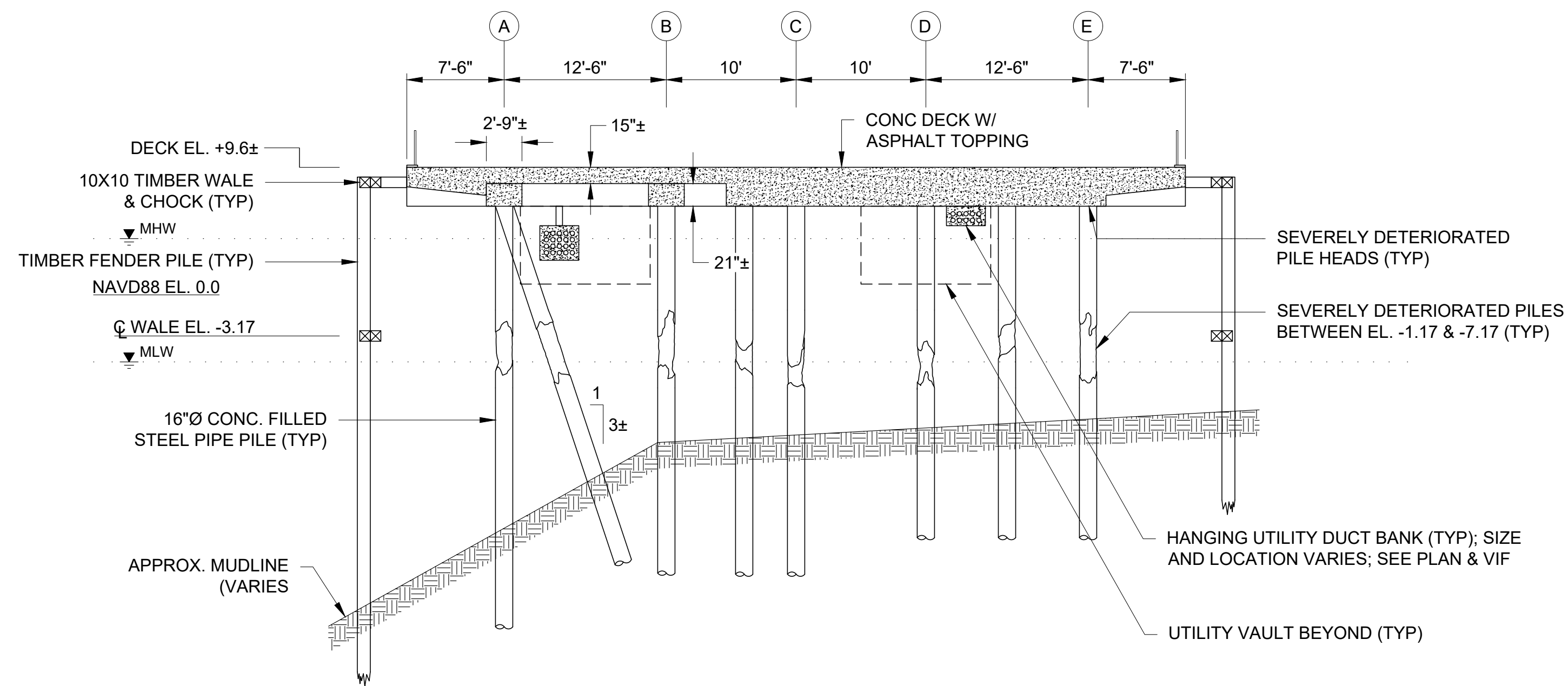
NO	DATE	ISSUE/REVISION	APP
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0	3/22/2022	NOTICE OF INTENT	DBR

SHEET NAME  
**ALT. 2 FLOAT RELOCATIONS SITE PLAN & SECTION**

SHEET NO.  
**S-105**

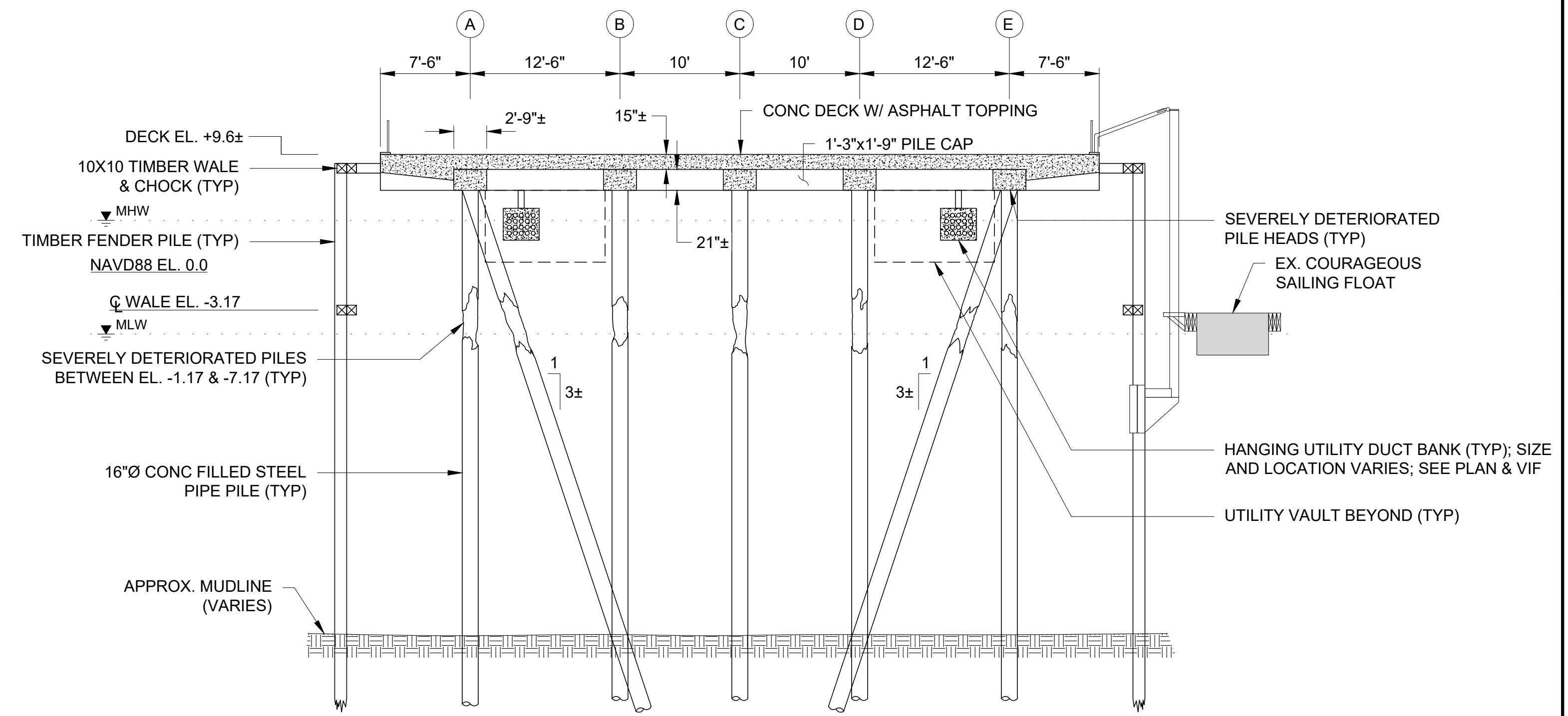


FITZGERALD, JAMISON, BIVINSKI/BOSTON PLANNING & DEV AGENCY (AKA BRB) 2104361 - SHIPYARD PARK WATERFRONT INFRASTRUCTURE S-301 PIER 4 CROSS SECTIONS.dwg - 3/24/2022

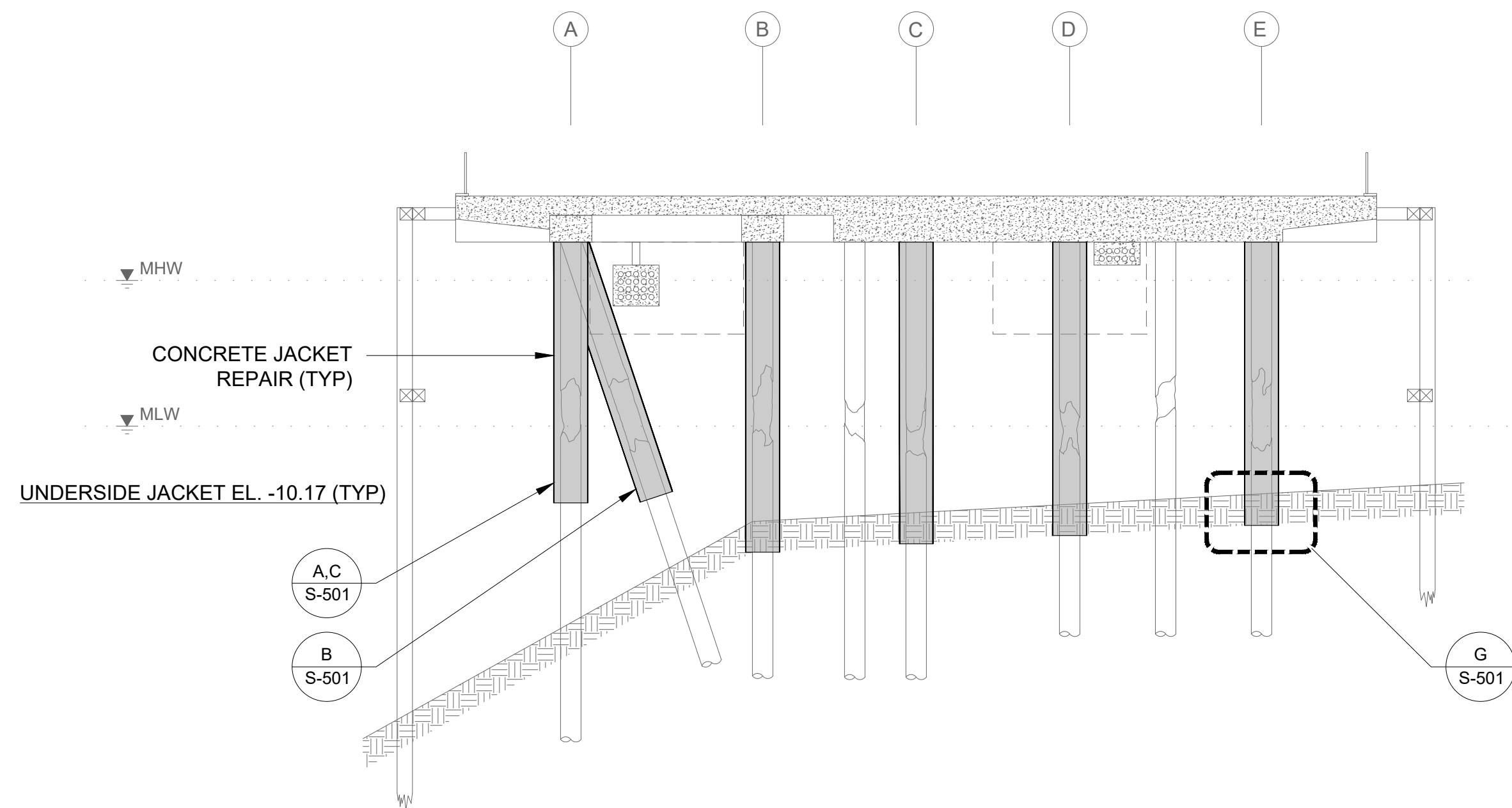


NOTE:  
CROSS SECTION IS REPRESENTATIVE OF BENT 15; PILE LOCATIONS AND DECK CONSTRUCTION VARY SIGNIFICANTLY BETWEEN BENTS 9 AND 19. REFER TO PLANS.

**A** BENT 15 EXISTING SECTION  
S-101 SCALE: 1/8"=1'-0"

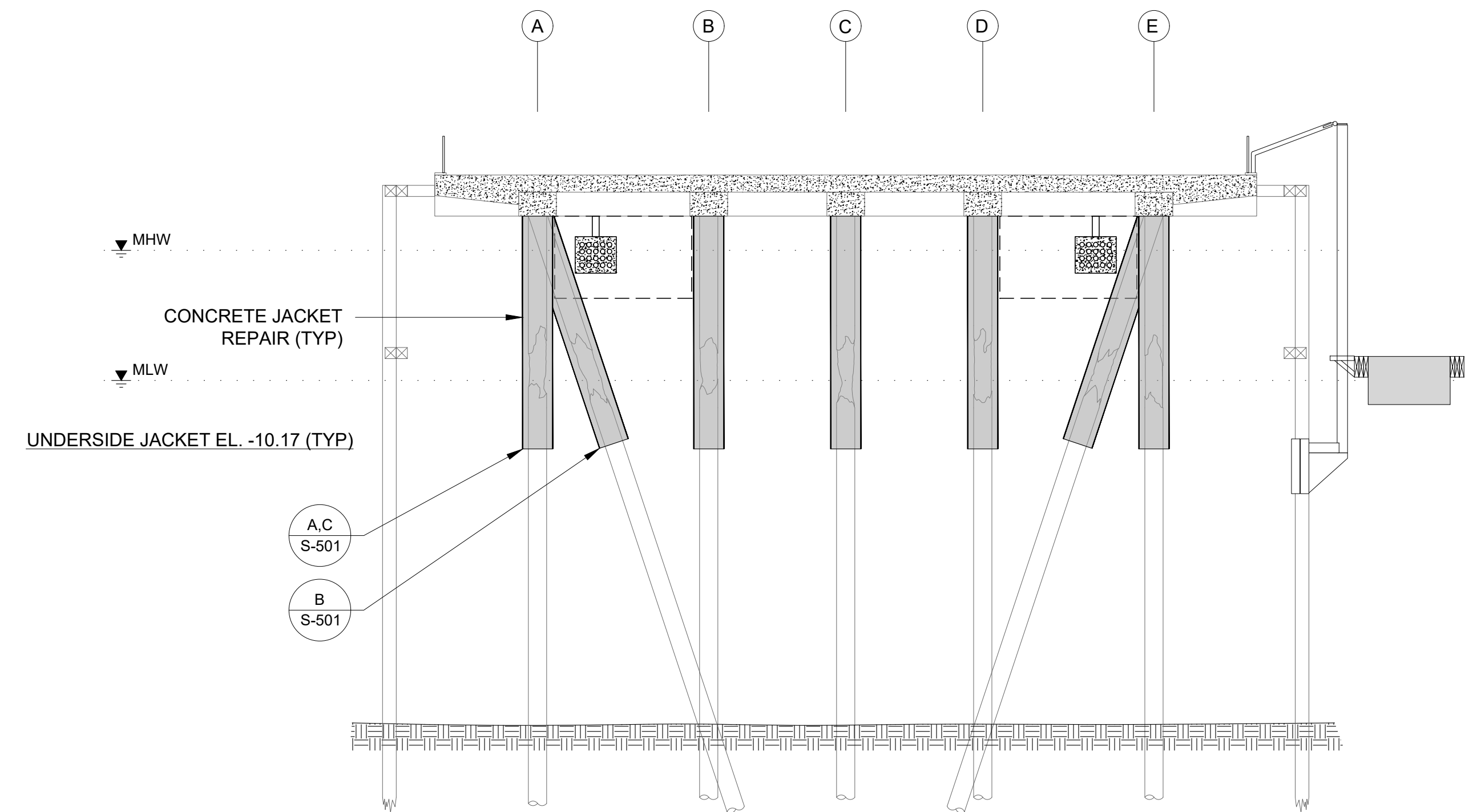


**B** TYPICAL EXISTING SECTION BENTS 20 - 73  
S-103 SCALE: 1/8"=1'-0"



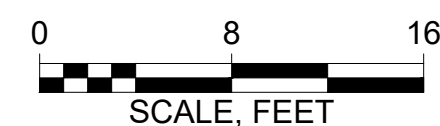
NOTE:  
CROSS SECTION IS REPRESENTATIVE OF BENT 15; PILE LOCATIONS AND DECK CONSTRUCTION VARY SIGNIFICANTLY BETWEEN BENTS 9 AND 19. REFER TO PLANS.

**C** BENT 15 REPAIR SECTION  
S-101 SCALE: 1/8"=1'-0"



**D** TYPICAL REPAIR SECTION BENTS 20 - 73  
S-103 SCALE: 1/8"=1'-0"

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NOT FOR CONSTRUCTION



Attention:  
0 1"  
If this scale bar does not measure 1" then drawing is not original scale.

Designed: AJG  
Drawn: JSF  
Checked: XXX  
Approved: XXX  
P.E. No:  
GEI Project 2104361



BOSTON PLANNING & DEVELOPMENT AGENCY  
ONE CITY HALL SQUARE  
BOSTON, MA 02201

**PIER 4 - PILE REPAIRS  
NOTICE OF INTENT**

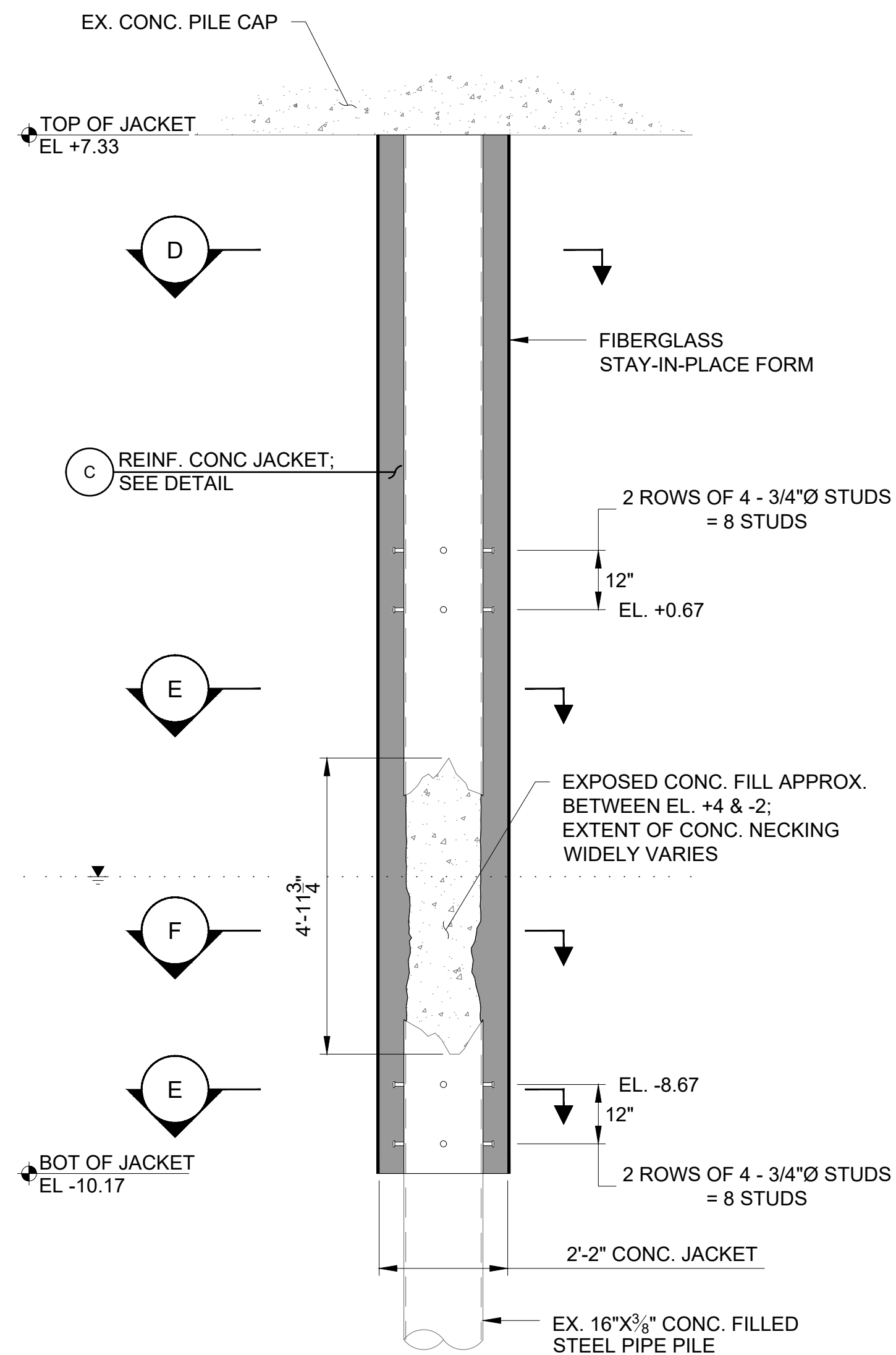
SHIPYARD PARK WATERFRONT - PIER 4  
CHARLESTOWN, MA

NO	DATE	ISSUE/REVISION	APP
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0	3/22/2022	NOTICE OF INTENT	DBR

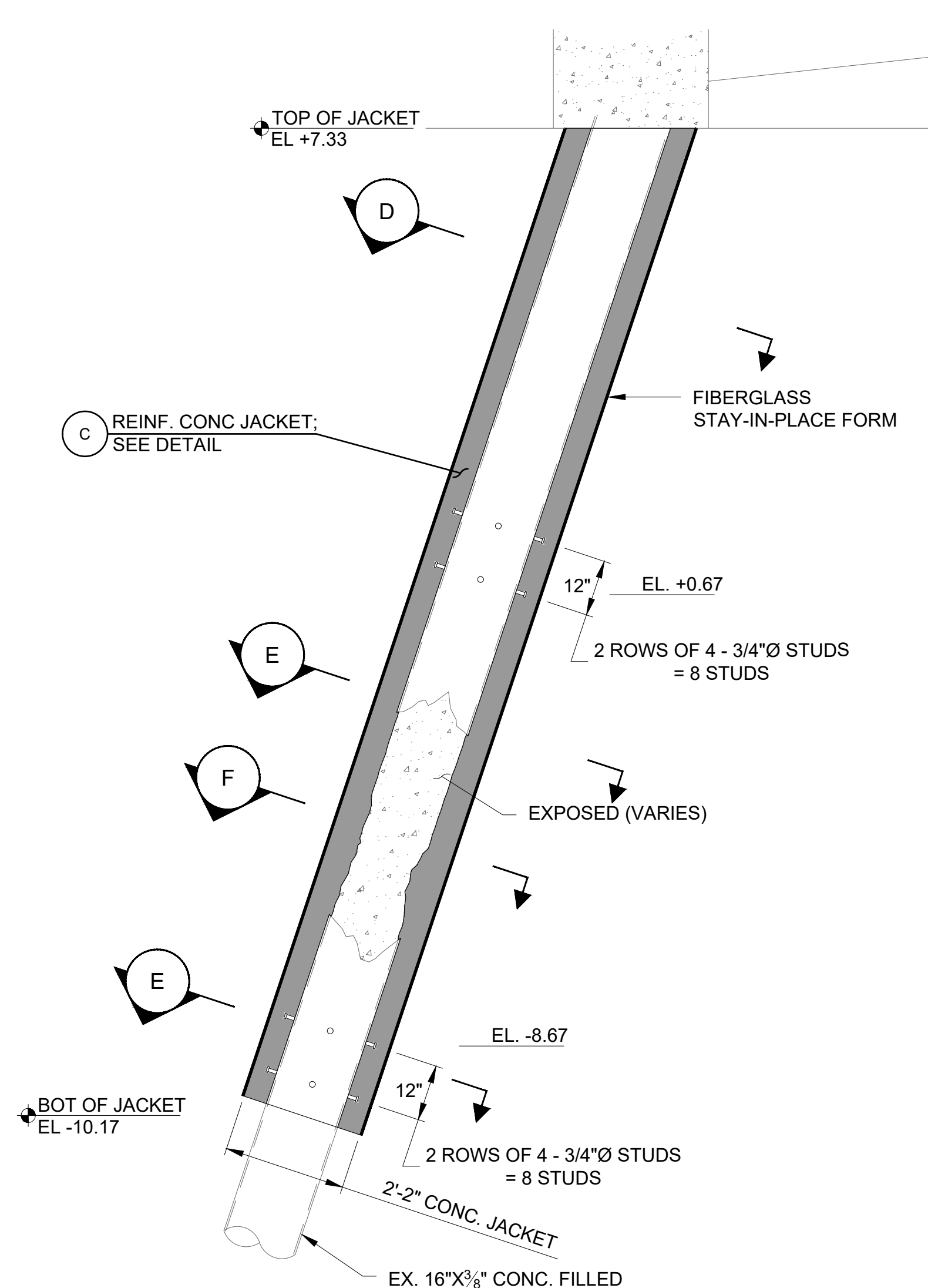
SHEET NAME  
**PIER 4 CROSS SECTIONS**  
SHEET NO.  
**S-301**



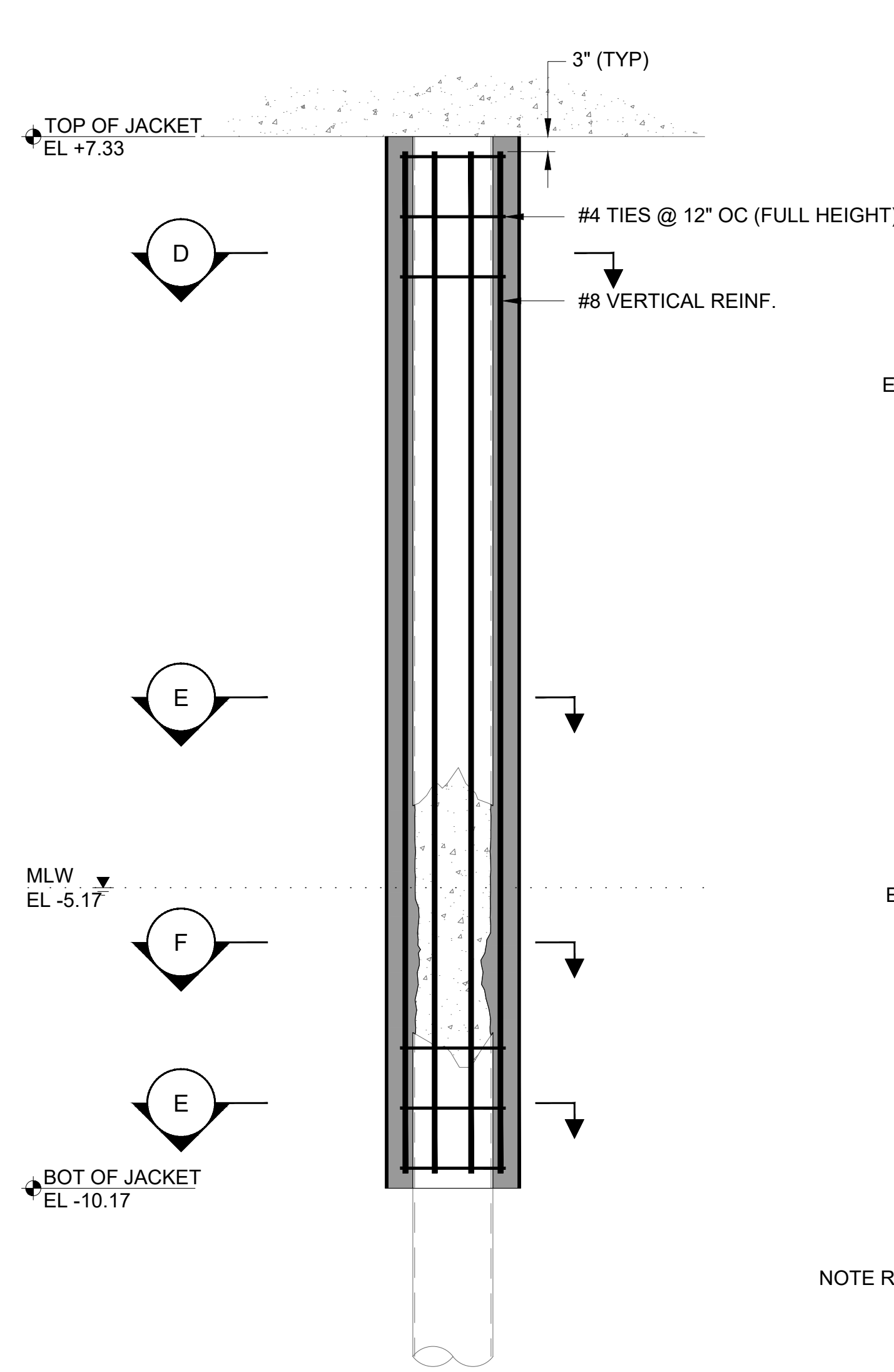
FITZGERALD, JAMISON, BLOOMING BOSTON PLANNING & DEV AGENCY (AKA BRB) 2/24/2022 SHIPYARD PARK WATERFRONT INFRASTRUCTURE PERMITS-501 PILE REPAIR DETAILS.dwg - 3/24/2022



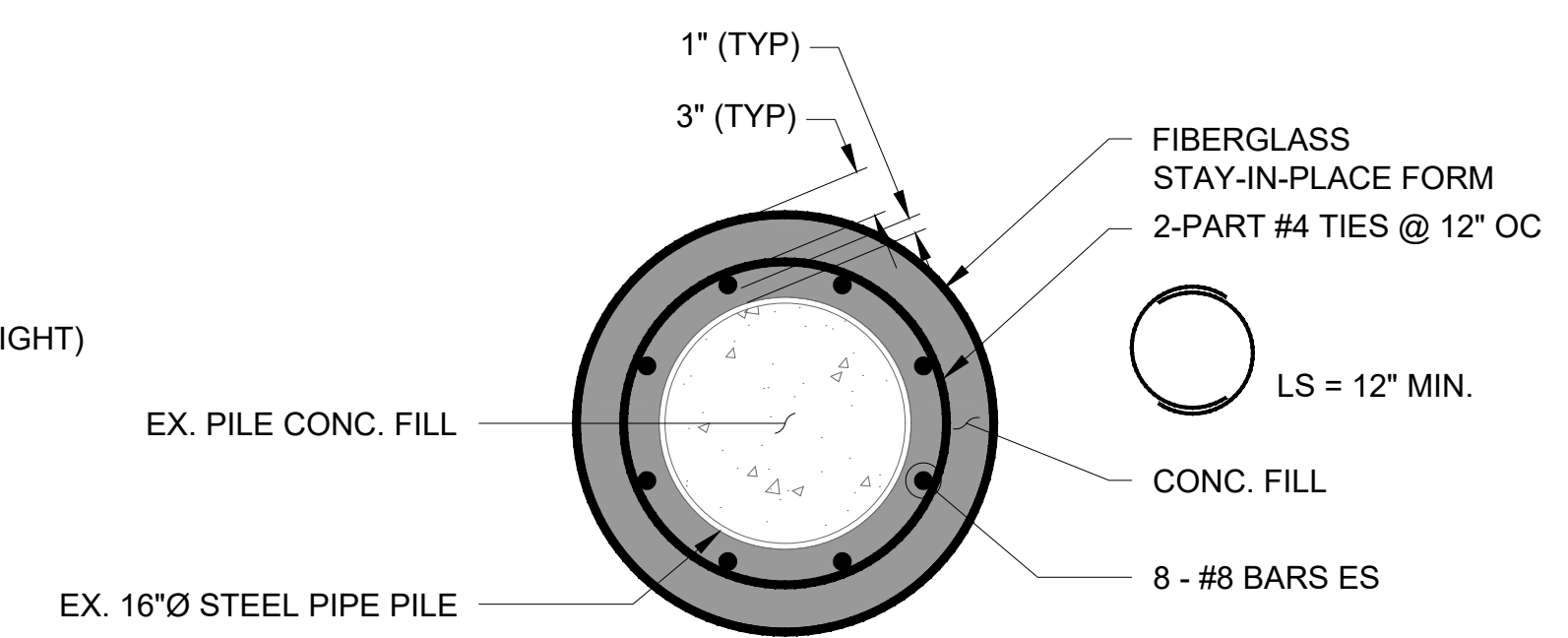
**A** VERTICAL PILE REPAIR JACKET - ELEVATION  
SCALE: 1/2"=1'-0"



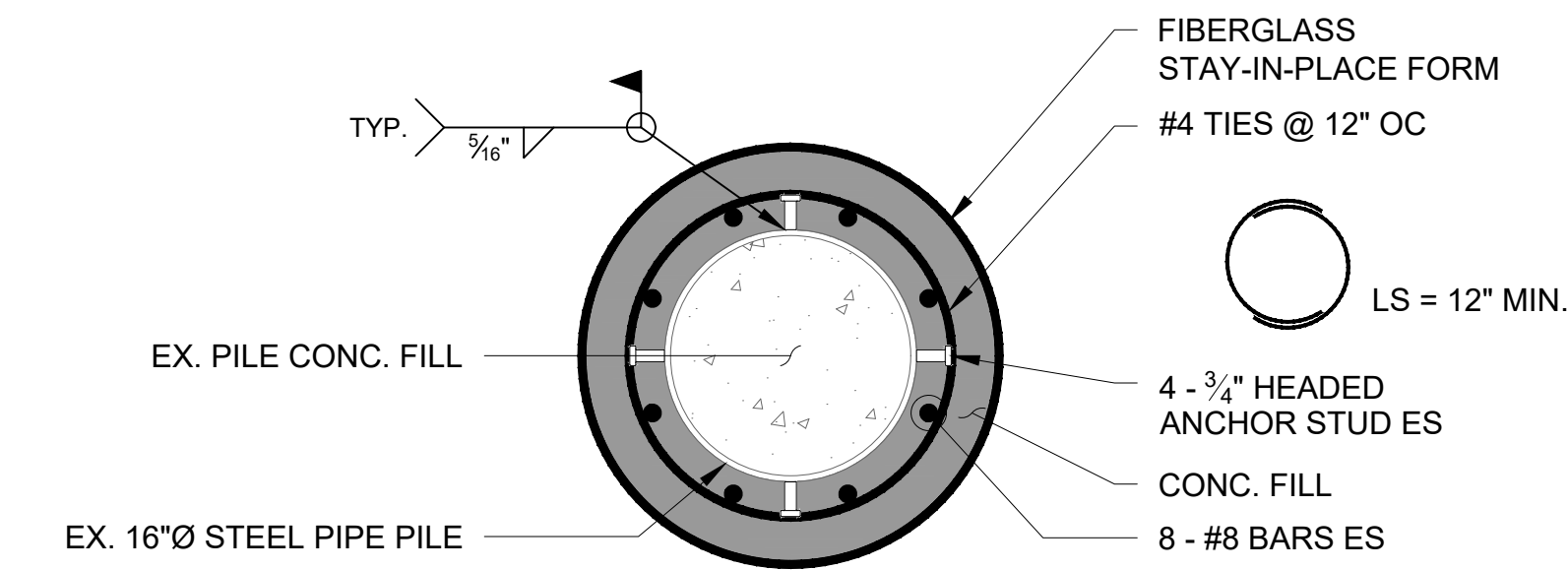
**B** BATTER PILE REPAIR JACKET - ELEVATION  
SCALE: 1/2"=1'-0"



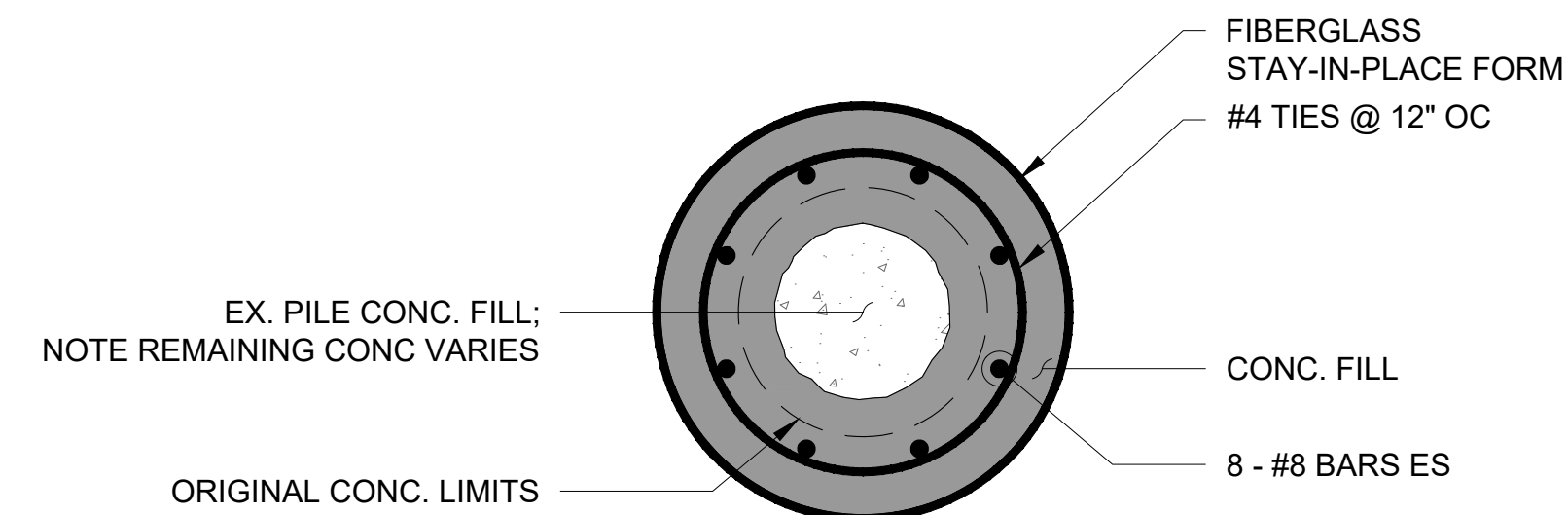
**C** PILE REPAIR JACKET REINFORCEMENT - ELEVATION  
SCALE: 1/2"=1'-0"



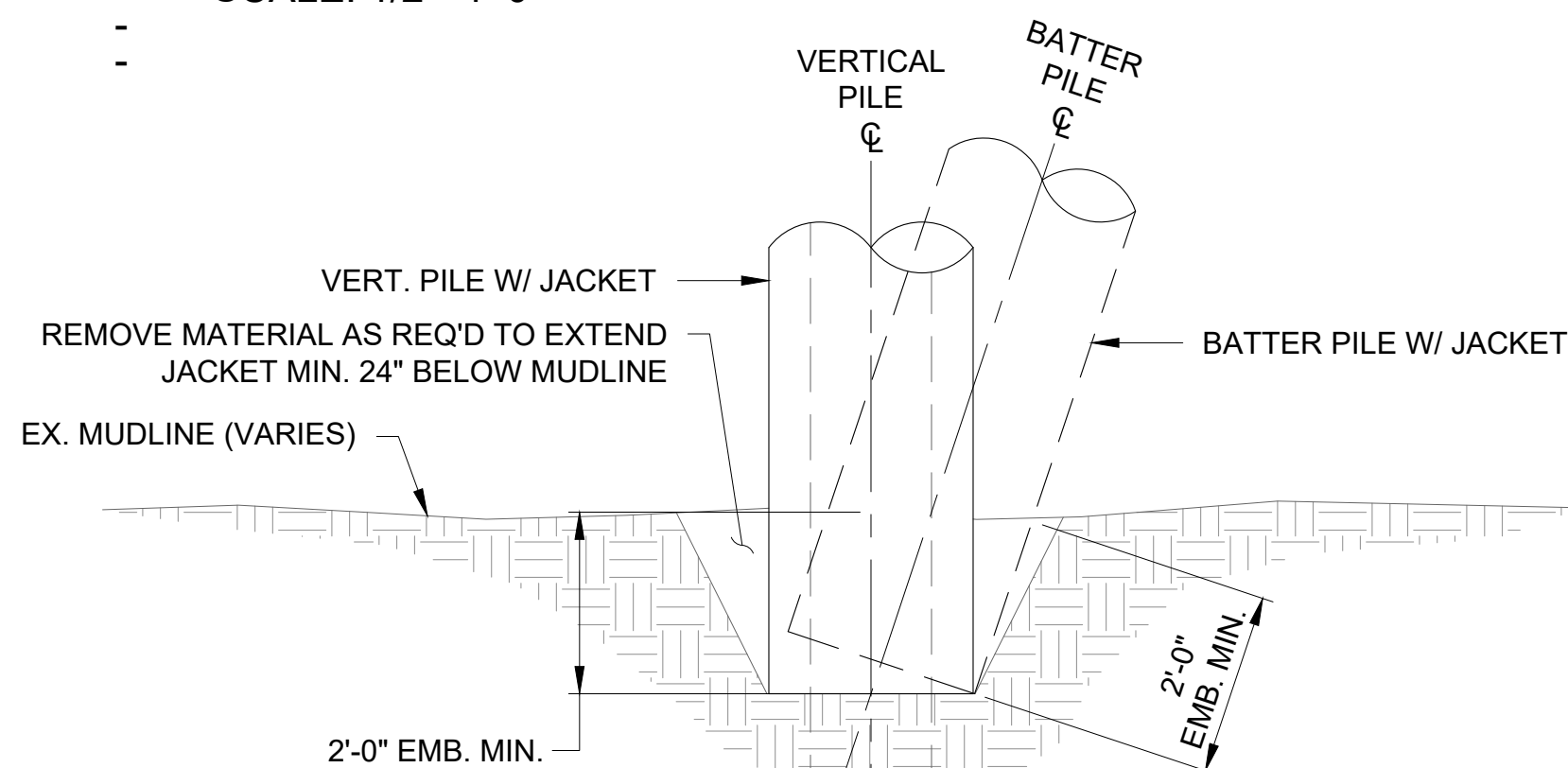
**D** PILE JACKET - SECTION I  
SCALE: 1"=1'-0"



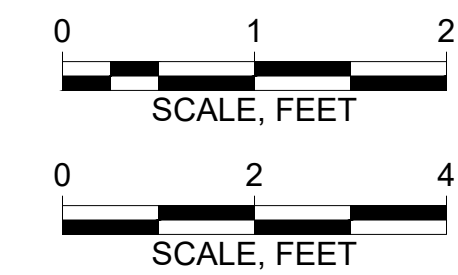
**E** PILE JACKET - SECTION II  
SCALE: 1"=1'-0"



**F** PILE JACKET - SECTION III  
SCALE: 1"=1'-0"



**G** MUDLINE TERMINATION DETAIL  
SCALE: 1/2"=1'-0"



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<p>Attention:</p> <p>If this scale bar does not measure 1" then drawing is not original scale.</p>	<p>Designed: AJG</p>	<p>GEI CONSULTANTS, INC. 124 GROVE STREET FRANKLIN, MA 02038 (774)277-6001</p>	<p>BOSTON PLANNING &amp; DEVELOPMENT AGENCY ONE CITY HALL SQUARE BOSTON, MA 02201</p>	<p><b>PIER 4 - PILE REPAIRS NOTICE OF INTENT</b></p>	<table border="1"> <tr> <td>NO</td> <td>DATE</td> <td>ISSUE/REVISION</td> <td>APP</td> </tr> <tr> <td>1</td> <td>3/24/2022</td> <td>NOTICE OF INTENT</td> <td>DBR</td> </tr> <tr> <td>0</td> <td>3/22/2022</td> <td>NOTICE OF INTENT</td> <td>DBR</td> </tr> </table>	NO	DATE	ISSUE/REVISION	APP	1	3/24/2022	NOTICE OF INTENT	DBR	0	3/22/2022	NOTICE OF INTENT	DBR	<p>SHEET NAME <b>PILE REPAIR DETAILS</b></p>	<p>SHEET NO. <b>S-501</b></p>
	NO					DATE	ISSUE/REVISION	APP											
1	3/24/2022	NOTICE OF INTENT	DBR																
0	3/22/2022	NOTICE OF INTENT	DBR																
<p>Drawn: JSF</p> <p>Checked: XXX</p> <p>Approved: XXX</p> <p>P.E. No:</p> <p>GEI Project 2104361</p>	<p>SHIPYARD PARK WATERFRONT - PIER 4 CHARLESTOWN, MA</p>																		