

E-VII

EDGE VII LUXURY CONDOS

5 WORCESTER SQ. SOUTH END BOSTON, MA 02118

AMENDMENT PERMIT SET - JUNE 6th. 2022

DESIGNER:	CLIENT/OWNER:
Name	EDGE REAL ESTATE
Address	7 Somerset Avenue
Tel: (000) 000-000	Winthrop, MA 02152
Email:	Tel: (617) 388-9697
CONTACT:	Email: joelrubiera@gmail.com
	CONTACT: Joel Rubiera
SURVEYOR:	CONTRACTOR:
BOSTON SURVEY INC.	BASIC Project Management
PO Box 290220	5214 Lexington Ridge Dr.
Charlestown, MA 02129	Lexington, MA 02421
Tel: (781) 484-8175	Tel: (781) 698-7795
Email: aortic1976@yahoo.com	Email: info@basicprojectmanagement.com
CONTACT: Jeremy Hatch	CONTACT: Carlos Medina Lora

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ZONING ANALYSIS:

PROPERTY DATA:

Address: 620 Shirley St, Winthrop MA
 Parcel ID: 18-7
 Use Code: 1050
 Neighborhood Designation: R5
 District Designation: Residence District A
 Occupancy: 1 & 2 Family
 Year Built: 1880

DIMENSIONAL REQUIREMENTS:

Lot size - Minimum:	N/A	
Lot size - Existing:	2,040 S.F.	[UNCHANGED]
FAR - Maximum:	2.0	
FAR - Existing:	2.61	[EXISTING NON CONFORMING]
FAR - Proposed:	2.71	[PROPOSED NON CONFORMING]
Frontage - Minimum:	N/A	
Frontage - Existing:	24'	[UNCHANGED]
Height - Maximum:	70'	
Height - Proposed:	62'-9" or 6 Stories	[PROPOSED CONFORMING]
Usable Open Space - Maximum:	200-sf x Unit	
Usable Open Space- Existing:	392 sf x Unit	[EXISTING CONFORMING]
Usable Open Space- Proposed:	681 sf x Unit	[PROPOSED CONFORMING]
Front Setback - Minimum:	9'-7"	
Front Setback- Proposed:	9'-7"	[PROPOSED CONFORMING]
Side Setbacks L&R - Minimum:	N/A	
Rear Setback - Minimum:	20'	
Rear Setback - Proposed:	20'-3"	[PROPOSED CONFORMING]

DIMENSIONAL INFORMATION:

Lot Size: 3,961 SQ.F.
 Existing Building Area: 3,194 SQ.F.
 Gross Building Area Proposed: 3,194 SQ.F.
 First Floor: 1,636 SQ.F. (Finished)
 Second Floor: 1,558 SQ.F. (Finished)
 Attic Floor / Half Story: 0 SQ.F. (Unfinished)

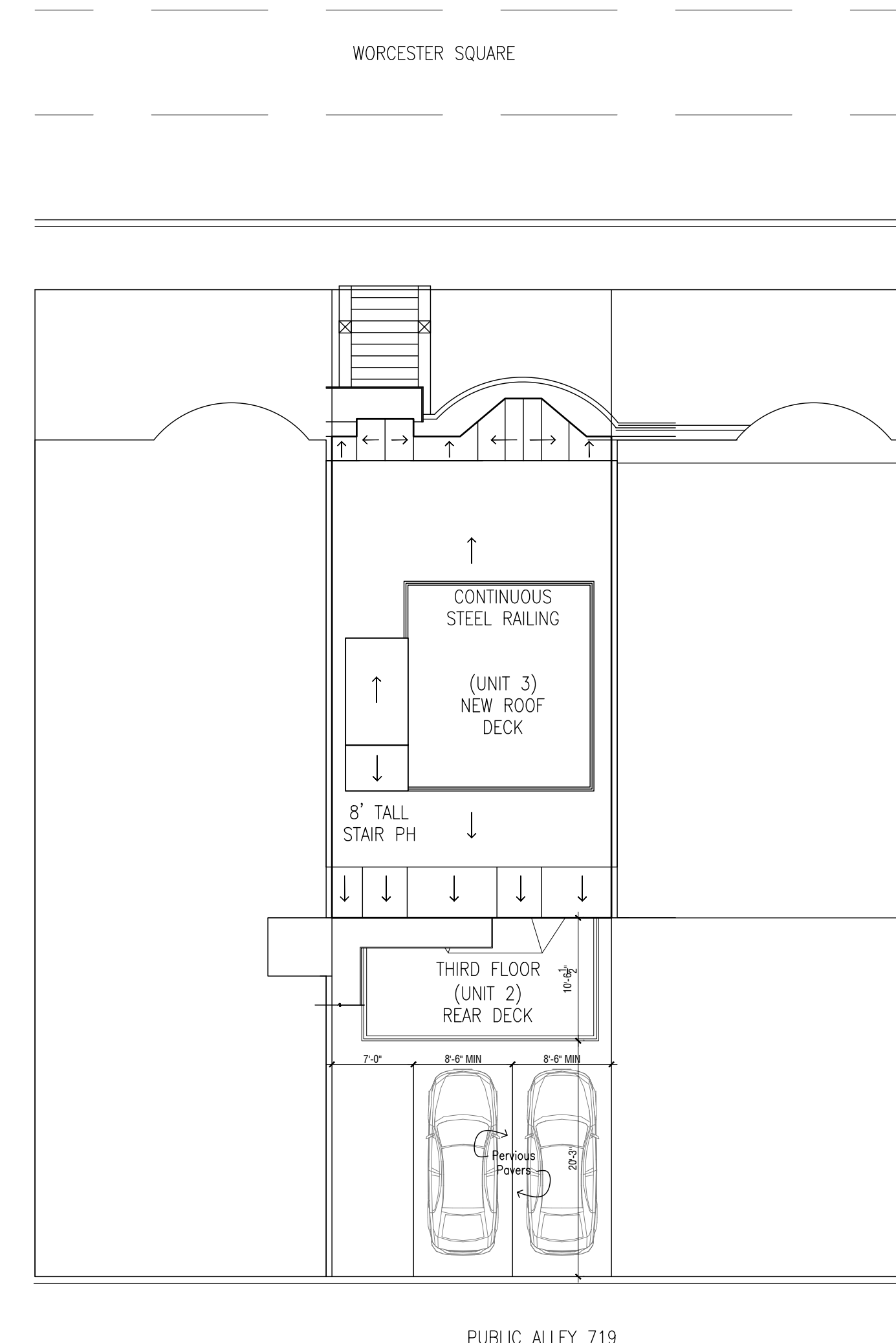
PARKING NOTES:
 0.7 SPACES / DWELLING UNIT
 EXISTING: N/A
 PROPOSED: 2

GENERAL NOTES:

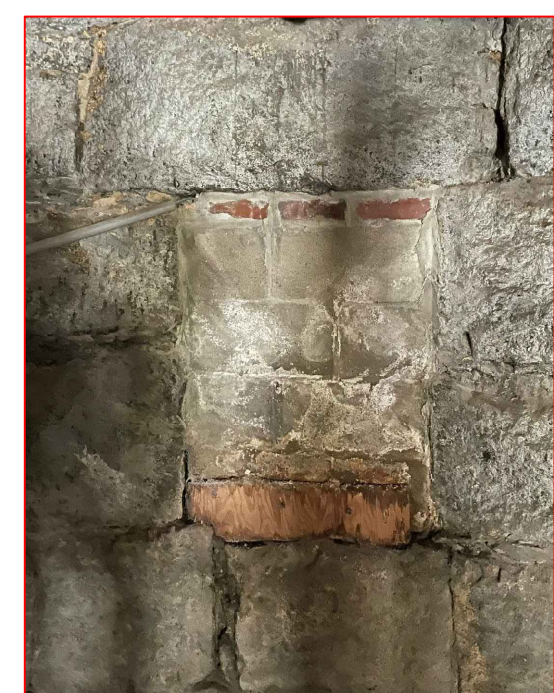
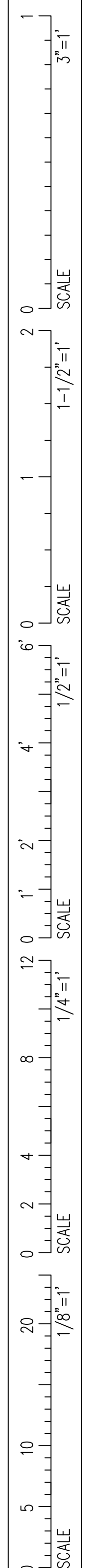
- ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE OF MASSACHUSETTS, THE LINCOLN BUILDING DEPARTMENT AND OTHER MUNICIPAL AGENCIES HAVING JURISDICTION.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES INCLUDING THE 2016 RESIDENTIAL CODE OF MASSACHUSETTS STATE AND ALL APPLICABLE SUB CODES AND RELATED REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE WORK BEFORE WORK COMMENCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CORRECTNESS OR FITNESS OF NEW CONSTRUCTION, AND NOTIFY THE OWNER AND ARCHITECT IF ANY DESIGN FEATURES CONFLICT WITH ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES AND DEVIATIONS FROM APPROVED PLANS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH REQUIREMENTS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO WILL ARRANGE FOR INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND SAFETY PROCEDURES DURING PROGRESS OF THE WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY ARE PART OF THE SCOPE OF THE WORK.
- UPON COMPLETION, THE CONTRACTOR SHALL ARRANGE FOR REQUIRED INSPECTIONS AND SIGN-OFFS.
- CONTRACTOR SHALL ASSURE THAT ALL EMPLOYEES AND SUB-CONTRACTORS ARE PROPERLY INSURED AND EDUCATED ON SAFETY PROCEDURES ON A WORK SITE.

GRAPHIC SYMBOLS:

DES - 00'-00"	LEVEL LINE, CONTROL OR DATUM ELEVATION
0'-0"	
(X)	REVISION NUMBER
(X)	PARTITION TYPE
(WX/XXXX)	WINDOW TYPE
(XX)	DOOR TYPE
(X/AXX)	BUILDING SECTION
(X/AXX)	WALL SECTION
(X/AXX)	SECTION DETAIL
(X/AXX)	PLAN DETAIL
(X/AXX)	EXTERIOR/INTERIOR ELEVATIONS



NO.	DATE	DESCRIPTION
4	06/06/2022	AMENDMENT PERMIT SET
3	04/20/2022	ROOF DECK, REAR PORCHES AND STRUCTURAL REINFORCEMENTS
2	03/07/2022	BASEMENT UNIT UPDATES
1	01/03/2022	CONSTRUCTION SET - AMENDMENT

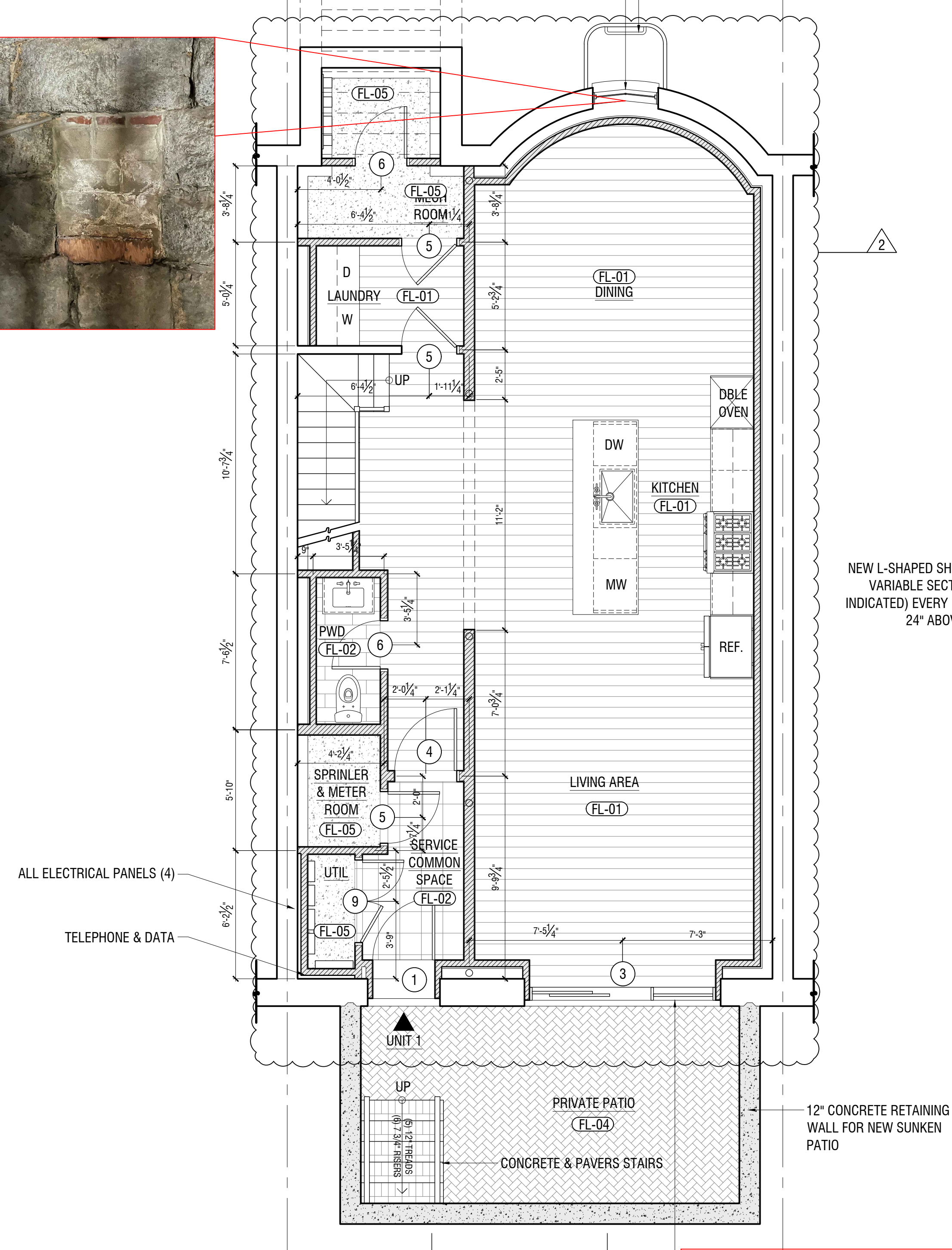


NEW WINDOWS ALUMINUM CLAD WINDOW. CASEMENT OPENING FOR EGRESS. OPEN WINDOW OPENING AT OLD/ORIGINAL WINDOW OPENING PLACE.

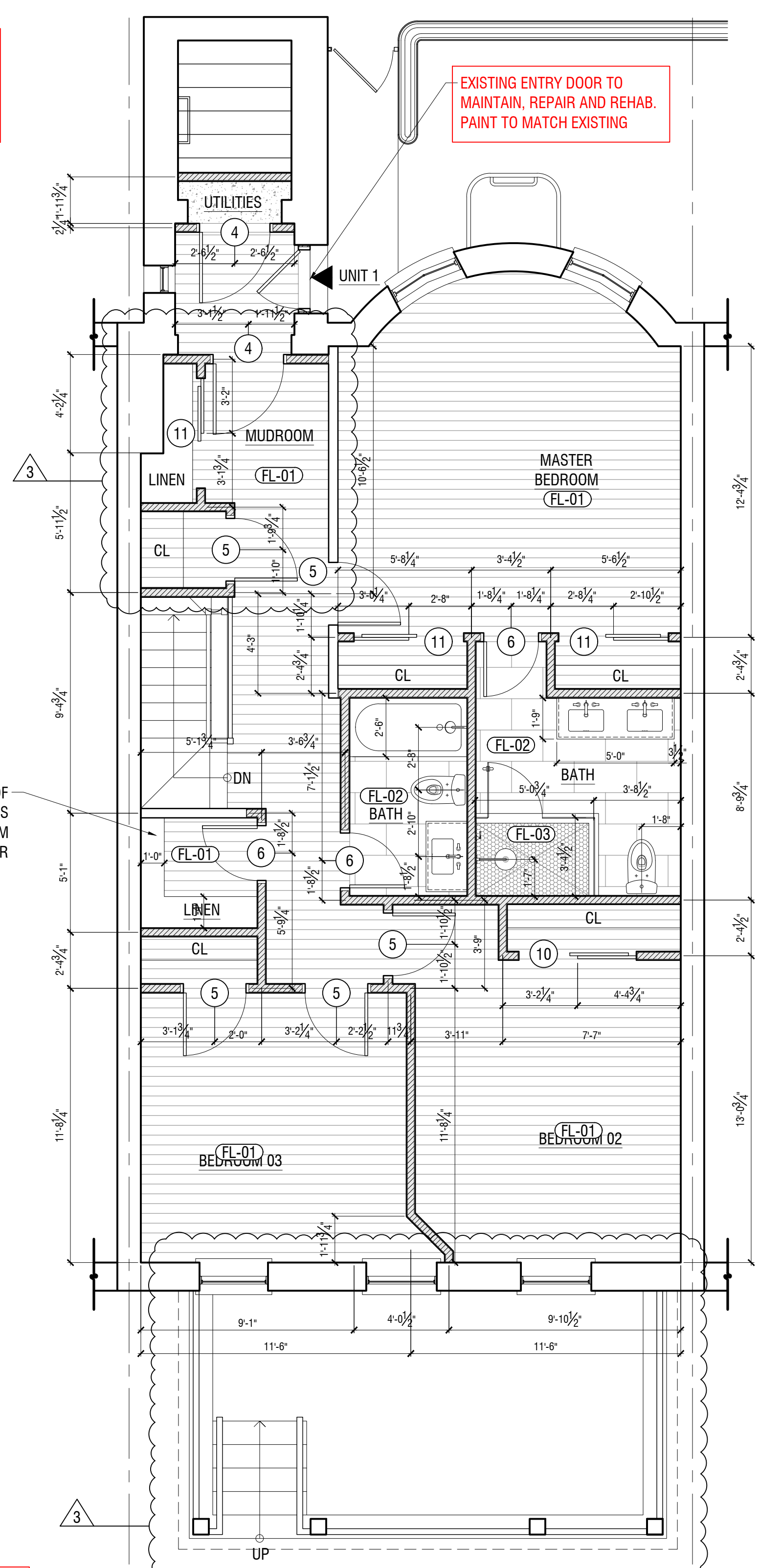
PRE-FAB ALUMINUM LIGHT WELL WITH INTEGRATED LADDER AND TRANSPARENT ACRYLIC CAP ANCHOR BOLTED TO EXISTING FOUNDATION. IT POPS 5" FROM GRADE AND WILL BE SURROUNDED OF LANDSCAPING TO HIDE IT.

EXISTING ENTRY DOOR TO MAINTAIN, REPAIR AND REHAB. PAINT TO MATCH EXISTING

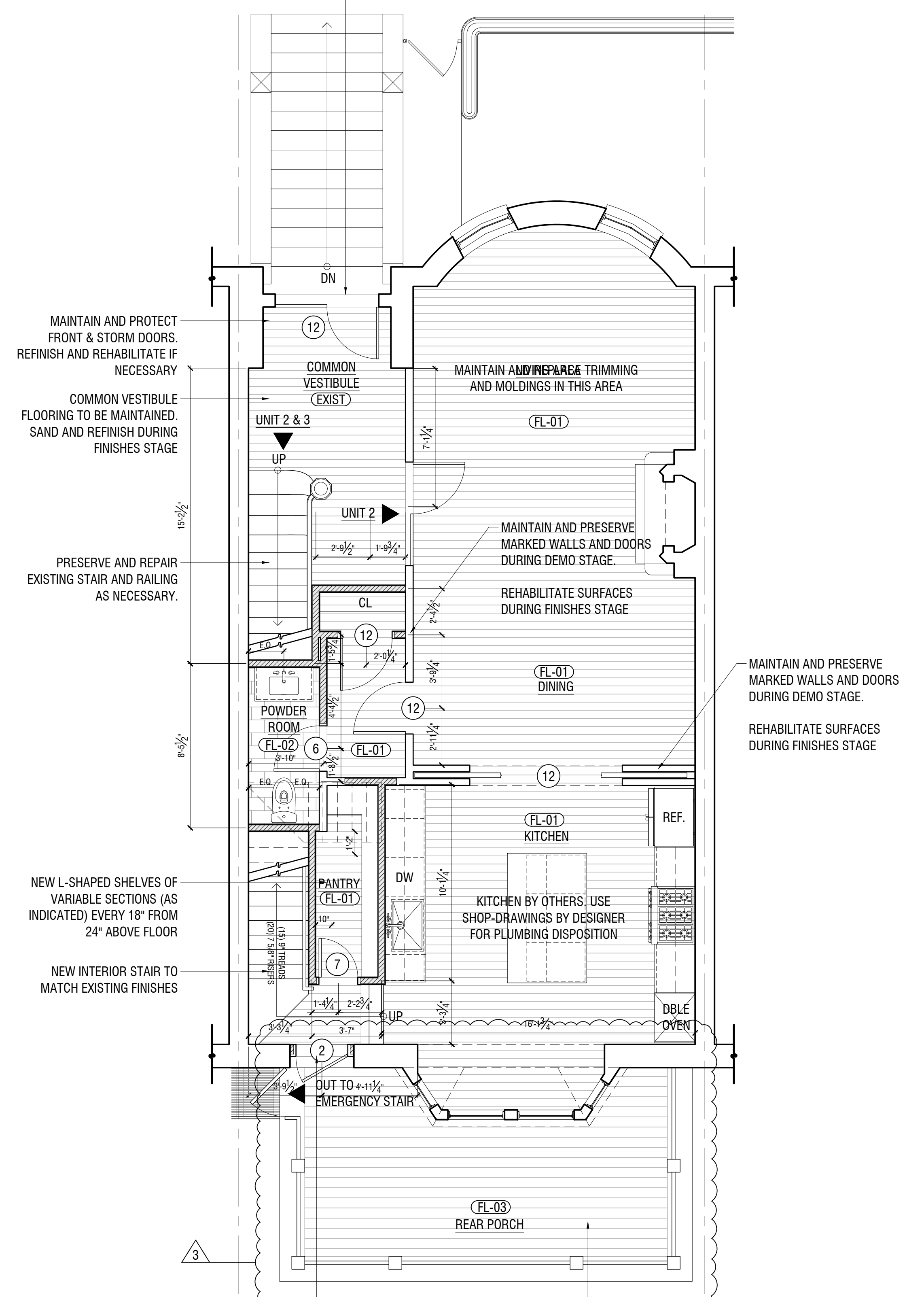
EXISTING/ORIGINAL FRONT DOOR AND STORM TO MAINTAIN & REHABILITATE.



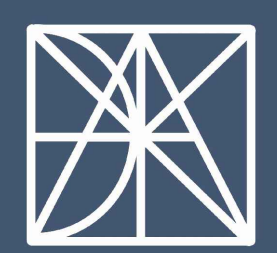
1 GROUND FLOOR PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"



3 SECOND FLOOR PLAN
1/4" = 1'-0"



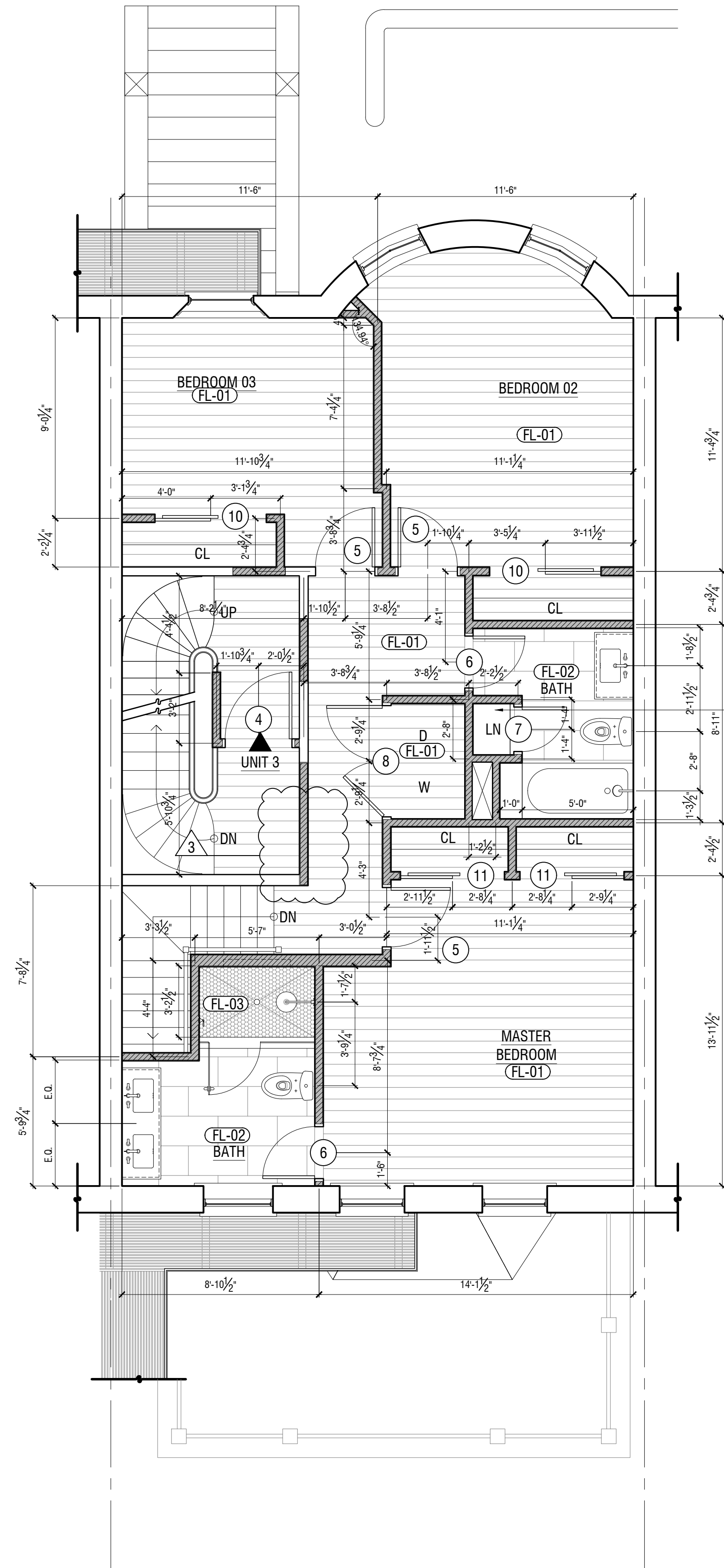
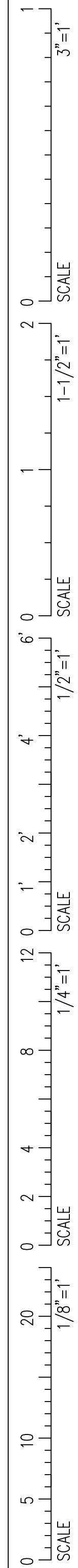
MF ENGINEERING & DESIGN INC.
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EDGE VII - CONDOMINIUMS
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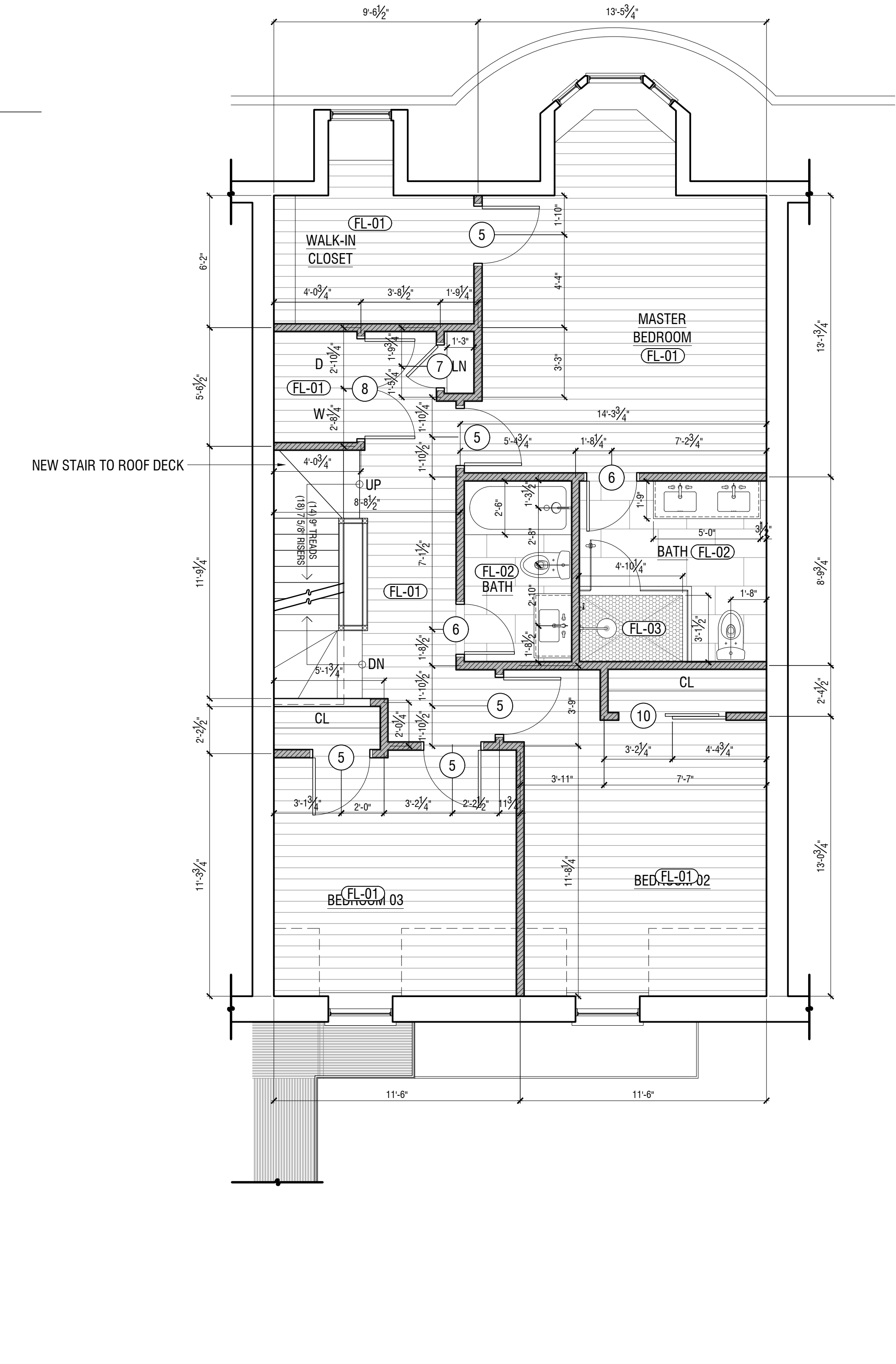
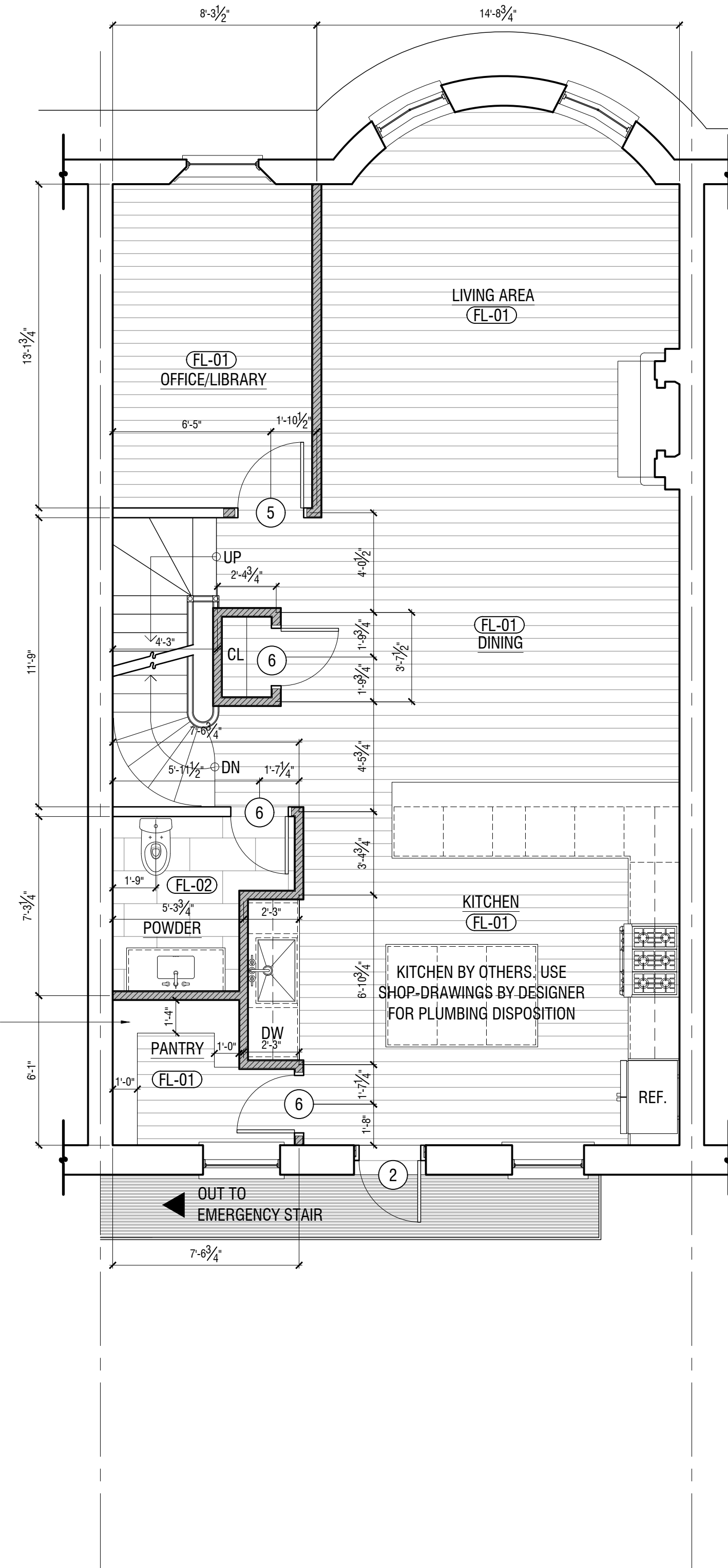
Date Issued: June 06th, 2022
Drawing Scale: 1/4" = 1'-0"
GROUND, FIRST & SECOND FLOOR PLAN
DIMENSIONS & TAGS

A1.00



NEW SHELVES EVERY 18" FROM 24" ABOVE FLOOR

NEW U-SHAPED SHELVES OF VARIABLE SECTIONS (AS INDICATED) EVERY 18" FROM 24" ABOVE FLOOR



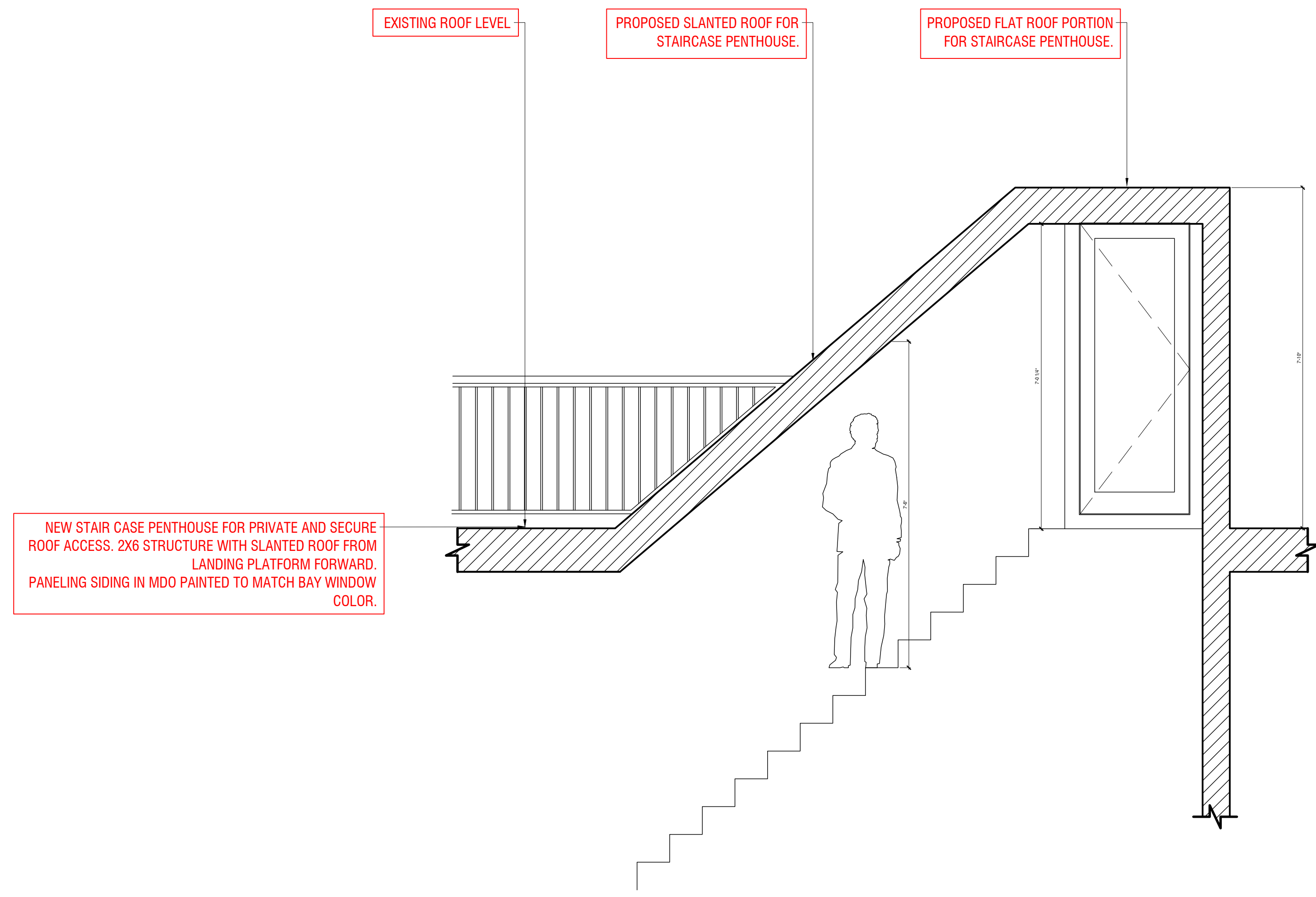
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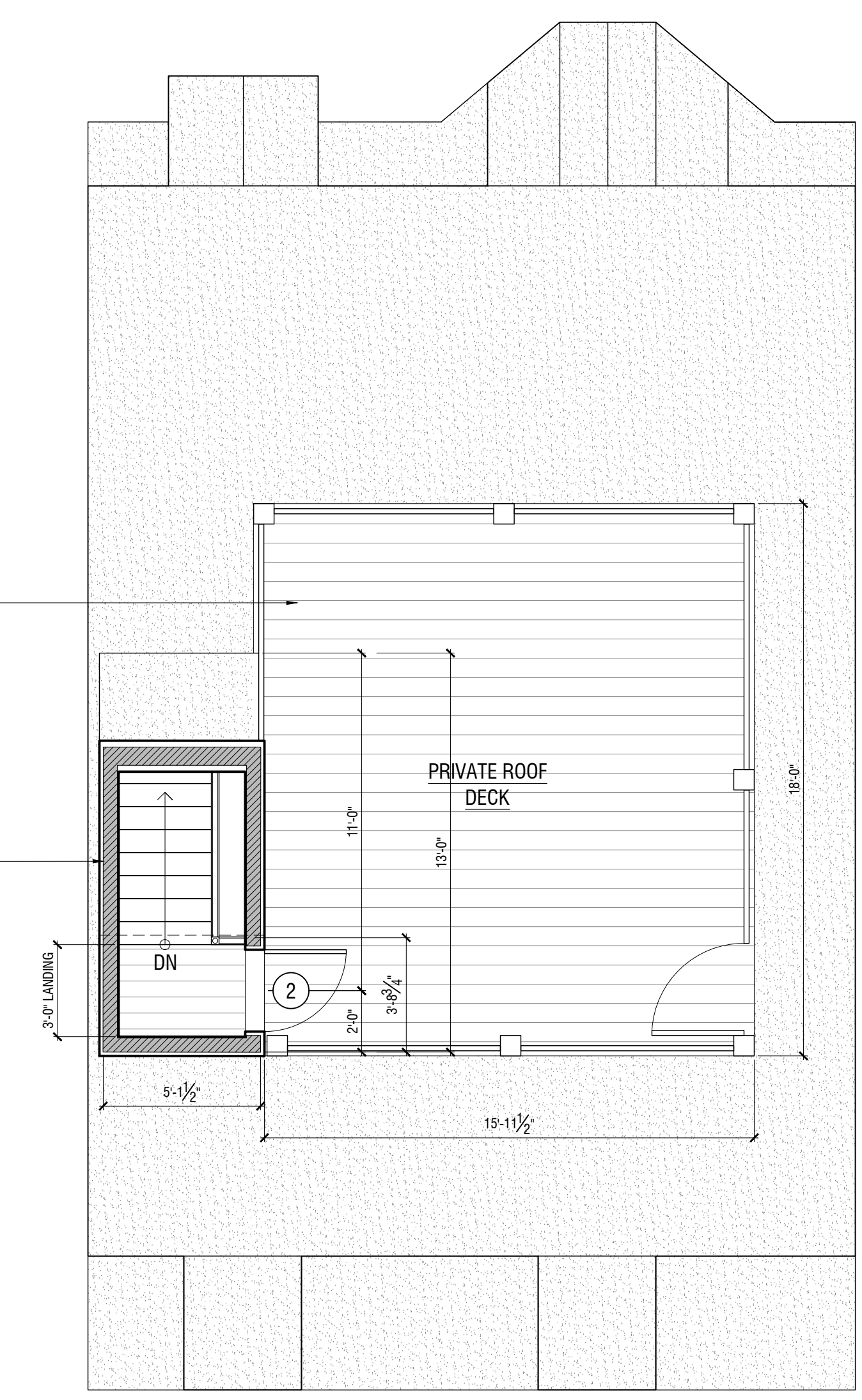
Date Issued: June 06th, 2022
Drawing Scale: 1/4" = 1'-0"
THIRD, FOURTH & FIFTH FLOOR PLAN
DIMENSIONS & TAGS

1
3"=1"
SCALE
2
0
1-1/2"=1"
SCALE
1
4'
1/2"=1"
SCALE
6'
0
12
0
1/4"=1"
SCALE
8
4
2
0
1/8"=1"
SCALE
20
10
5
0
SCALE

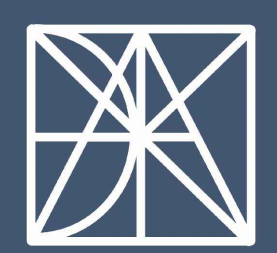


NEW ROOF DECK.
ELEVATED PRESSURE TREATED PLATFORM AND POSTS WITH MDO FINISHES AND PAINTED TO MATCH BAY WINDOW COLOR. 1" THICK COMPOSITE DECKING AND 36" STEEL RAILING AND BALUSTERS TO BE USED.

NEW STAIR CASE PENTHOUSE FOR PRIVATE AND SECURE ROOF ACCESS. 2X6 STRUCTURE WITH SLANTED ROOF FROM LANDING PLATFORM FORWARD. PANELING SIDING IN MDO PAINTED TO MATCH BAY WINDOW COLOR.



1 PENTHOUSE & ROOF DECK
1/4" = 1'-0"



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REVISIONS

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Drawing Scale: 1/4" = 1'-0"
**ROOF FLOOR PLAN. ROOF DECK
DIMENSIONS & TAGS**

A1.20

3"=1'
SCALE
2 0
1-1/2"=1'
SCALE
1 0
1-1/2"=1'
SCALE
6' 0
1/2"=1'
SCALE
4'
2'
1'
12 0
1/4"=1'
SCALE
8
4
2
0
1/8"=1'
SCALE
20
10
5
0
SCALE

DOOR SCHEDULE

TAG:	MANUFACTURER	MODEL	TYPE	SIZE	LEAVES	MATERIAL	INT. FINISH	EXT. FINISH	FIRE RATING
①	THERMATRU	6 PANELS	IN-SWING - ENTRY DOOR	3'-0" x 6'-8"	1	FIBERGLASS	WHITE	BLACK	20 MIN
②	THERMATRU	FULL VIEW	IN-SWING - ENTRY DOOR	2'-6" x 6'-8"	1	FIBERGLASS	WHITE	BLACK	20 MIN
③	PELLA	450 SERIES - 3 PANELS	SLIDING - PATIO DOOR	9'-0" x 6'-8"	3	ALUMINUM CLAD WOOD	TBD	TBD	-
④	MASONITE	SIX PANEL	HINGE DOOR	3'-0" x 6'-8"	1	WOOD COMPOSITE	TBD	TBD	-
⑤	MASONITE	SIX PANEL	HINGE DOOR	2'-8" x 6'-8"	1	WOOD COMPOSITE	TBD	TBD	-
⑥	MASONITE	SIX PANEL	HINGE DOOR	2'-4" x 6'-8"	1	WOOD COMPOSITE	TBD	TBD	-
⑦	MASONITE	SIX PANEL	HINGE DOOR	2'-0" x 6'-8"	1	WOOD COMPOSITE	TBD	TBD	-
⑧	MASONITE	SIX PANEL	FRENCH DOOR	4'-8" x 6'-8"	2	WOOD COMPOSITE	TBD	TBD	-
⑨	MASONITE	SIX PANEL	FRENCH DOOR	4'-0" x 6'-8"	2	WOOD COMPOSITE	TBD	TBD	-
⑩	MASONITE	SIX PANEL	SLIDING DOOR	5'-0" x 6'-8"	2	WOOD COMPOSITE	TBD	TBD	-
⑪	MASONITE	SIX PANEL	SLIDING DOOR	4'-8" x 6'-8"	2	WOOD COMPOSITE	TBD	TBD	-
⑫	EXISTING DOORS TO REUSE MAINTAIN, REPAIR AND REFINISH AS NECESSARY								

ALL BEDROOMS & BATHROOMS DOORS TO BE SOLID CORE. ALL REMAINING INTERIOR DOORS TO BE HOLLOW CORE. ALL DOORS WITH BLACK HARDWARE

WINDOW SCHEDULE

ALL WINDOWS ARE REPLACEMENT WINDOWS . MATCHING SIZES - ALUMINUM CLAD / WOOD - BLACK EXTERIOR - WHITE INTERIOR

FLOORING SCHEDULE

TAG	FLOORING:	DESCRIPTION:	DISTRIBUTOR:	DIMENSIONS:	NOTES:
FL-01	HARDWOOD	WHITE OAK	FLOOR & DECOR	3 1/4" X 3/4"	N/A
FL-02	TILE	TBD BY OWNER	FLOOR & DECOR	N/A	N/A
FL-03	DECKING	COMPOSITE	NATIONAL LUMBER	N/A	N/A
FL-04	PAVERS	TBD BY OWNER	FLOOR & DECOR	N/A	N/A
FL-05	CONCRETE	EXISTING	-	N/A	N/A
FL-06	PLYWOOD	FLOOR SHEATHING	-	N/A	N/A

ROOFING SCHEDULE

TAG	ROOFING	DESCRIPTION	MANUFACTURER	COLOR
R-01	SHINGLE	LANDMARK PRO	CERTAIN TEED	CINDER BLACK
R-02	EPDM	TBD BY G.C.	TBD BY G.C.	TYP.

EXTERIOR FINISHES & PAINTING SCHEDULE

TAG	MATERIAL:	MANUFACTURER:	FINISH:	EXPOS:	COLOR:
P-01	VINYL SHIP LAP	TBD BY G.C.	SMOOTH	5"	TBD BY G.C.

TRIMS & BASEBOARDS

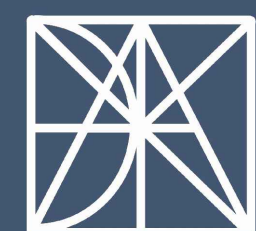
OPENING	EXTERIOR	INTERIOR
WINDOWS	TRIM: 1" X 3" CEMENT BOARD FLAT	TRIM: 1" X 3" WOOD FLAT STOCK
	COLOR: B.M. - GRAPHITE 1603	COLOR: B.M. - SUPER WHITE
DOORS	TRIM: 1" X 3" CEMENT BOARD FLAT	TRIM: 1" X 3" WOOD FLAT STOCK
	COLOR: B.M. - GRAPHITE 1603	COLOR: B.M. - SUPER WHITE

NOTE: EXTERIOR WINDOWS AND DOORS SECTIONS VARIES AS PER DESIGN.

BASEBOARD	3/4" X 6" WOOD FLAT STOCK - NO MOULDING	COLOR: BM. - SUPER WHITE
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TOPS SCHEDULE

TAG	MATERIAL:	DESCRIPTION:	DISTRIBUTOR:	DIMENSIONS:	NOTES:
CT-01	ARTIFICIAL STONE	QUARTZ	CUMAR INC	3 1/4" X 3/4"	-



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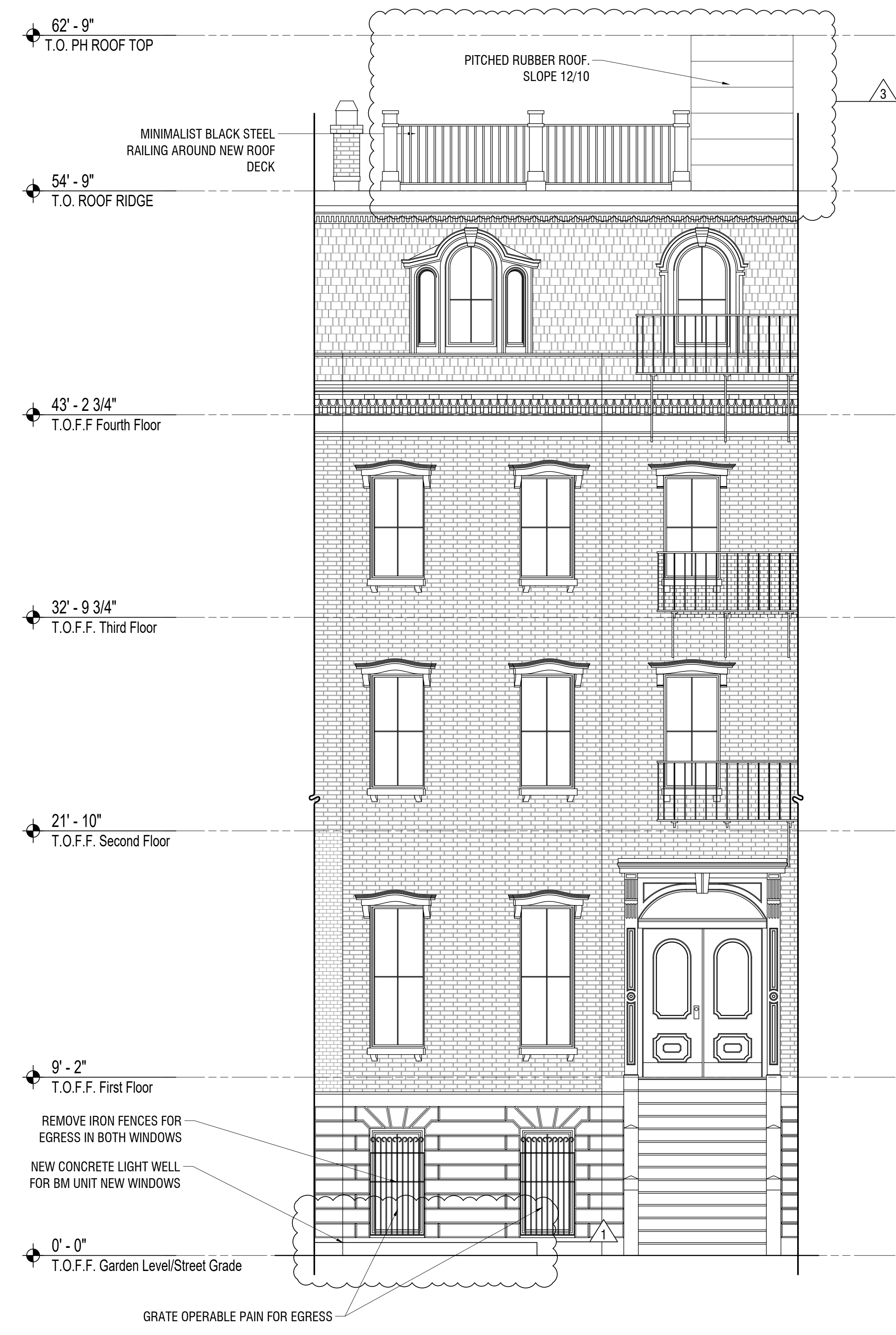
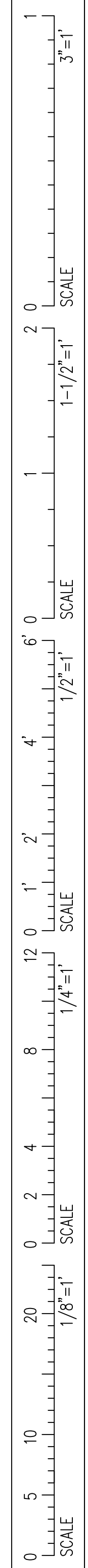
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FINISHES SCHEDULES

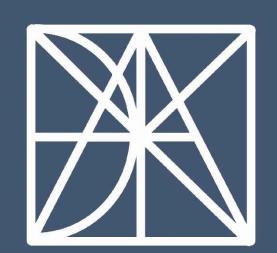
A1.30



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



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EXTERIOR ELEVATIONS
FRONT

A3.00