

RESIDENCE AT 40 UNION PARK

40 UNION PARK
BOSTON, MASSACHUSETTS 02118

Submission For Review by South End Landmark District Commission: May 16, 2022
Public Hearing: June 7, 2022

Architect

Mellowes & Paladino Inc.
63 South Street / Suite 280
Hopkinton, MA 01748

508.625.1371

Fire Suppression

Fire Tech Systems
136 Golden Road
Stoughton, MA 02072

617.892.2803

Contractor

M. Holland & Sons Construction, Inc.
519 Albany Street, Suite 200
Boston, MA 02118

617.556.2900

Structural Engineer

Roome & Guarracino LLC
300 TradeCenter, Suite 3540
Woburn, MA 01801

617.628.1700

Civil Engineer

DeCelle-Burke-Sala & Associates, Inc.
1266 Furnace Brook Pkwy., #401
Quincy, MA 02169

617.405.5100

Geotechnical Engineer

McPhail Associates, LLC
2269 Massachusetts Ave.
Cambridge, MA 02140

617.868.1420

SITE

38

40

42

44



VIEW LOOKING WEST FROM UNION PARK (FRONT ELEVATION)

SITE

34

36

38

40

42



VIEW LOOKING SOUTH FROM UNION PARK (FRONT ELEVATION)



VIEW LOOKING EAST FROM PUBLIC ALLEY 701 (REAR ELEVATION)



DETAIL VIEW - CORNICE LINE & REAR DORMER (REAR ELEVATION)

T.O. RIDGE
EL. = +/- 149'-6" (EXISTING)

T.O. 4TH FIN. FLOOR
EL. = +/- 134'-2 1/4" (EXISTING)

T.O. 3RD FIN. FLOOR
EL. = +/- 124'-1 3/4" (EXISTING)

T.O. 2ND FIN. FLOOR
EL. = +/- 113'-0" (EXISTING)

T.O. 1ST FIN. FLOOR
EL. = 100'-0" (EXISTING)

T.O. STREET LEVEL FIN. FLOOR
EL. = +/- 89'-11" (EXISTING)

T.O. GARDEN LEVEL FIN. FLOOR
EL. = +/- 81'-6" (EXISTING)

1 EXISTING FRONT ELEVATION
1/8" = 1'-0"

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EL. = +/- 149'-6" (EXISTING)

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T.O. GARDEN LEVEL FIN. FLOOR
EL. = +/- 81'-6" (EXISTING)

T.O. GARDEN LEVEL FIN. FLOOR
EL. = +/- 79'-6"

2 PROPOSED FRONT ELEVATION
1/8" = 1'-0"

EXISTING TRIM DETAILS AT ROOF & DORMER TO REMAIN; REPAIR AS REQUIRED TO MATCH EXISTING.

ALL EXISTING CORNICE DETAILS TO BE CLEANED & REPAIRED AS REQUIRED TO MATCH EXISTING.

NEW WOOD SHUTTERS (TYPICAL THROUGHOUT BUILDING)

RESTORE WOOD BAY STRUCTURE TO MATCH EXISTING; REPLACE & REPAIR MISSING & DAMAGED PIECES AS REQUIRED.

NEW 1-OVER-1 DOUBLE-HUNG WINDOWS TO BE INSTALLED IN EXISTING OPENINGS. NEW WINDOWS TO BE HISTORICALLY ACCURATE TO MATCH DESIGN STANDARDS PER SELDC.

EXISTING WOOD PEDIMENT & BRACKETS TO BE REPAIRED AS NECESSARY.

EXISTING STONE LINTELS TO BE REPAIRED AS REQUIRED (TYPICAL THROUGHOUT BUILDING).

NEW 2-OVER-2 DOUBLE-HUNG WOOD WINDOWS TO BE INSTALLED IN EXISTING MASONRY OPENINGS. NEW WINDOWS TO BE HISTORICALLY ACCURATE TO MATCH DESIGN STANDARDS PER SELDC (TYPICAL THROUGHOUT BUILDING).

NEW WOOD ENTRANCE DOORS & GLASS TRANSOM; STAINED MAHOGANY

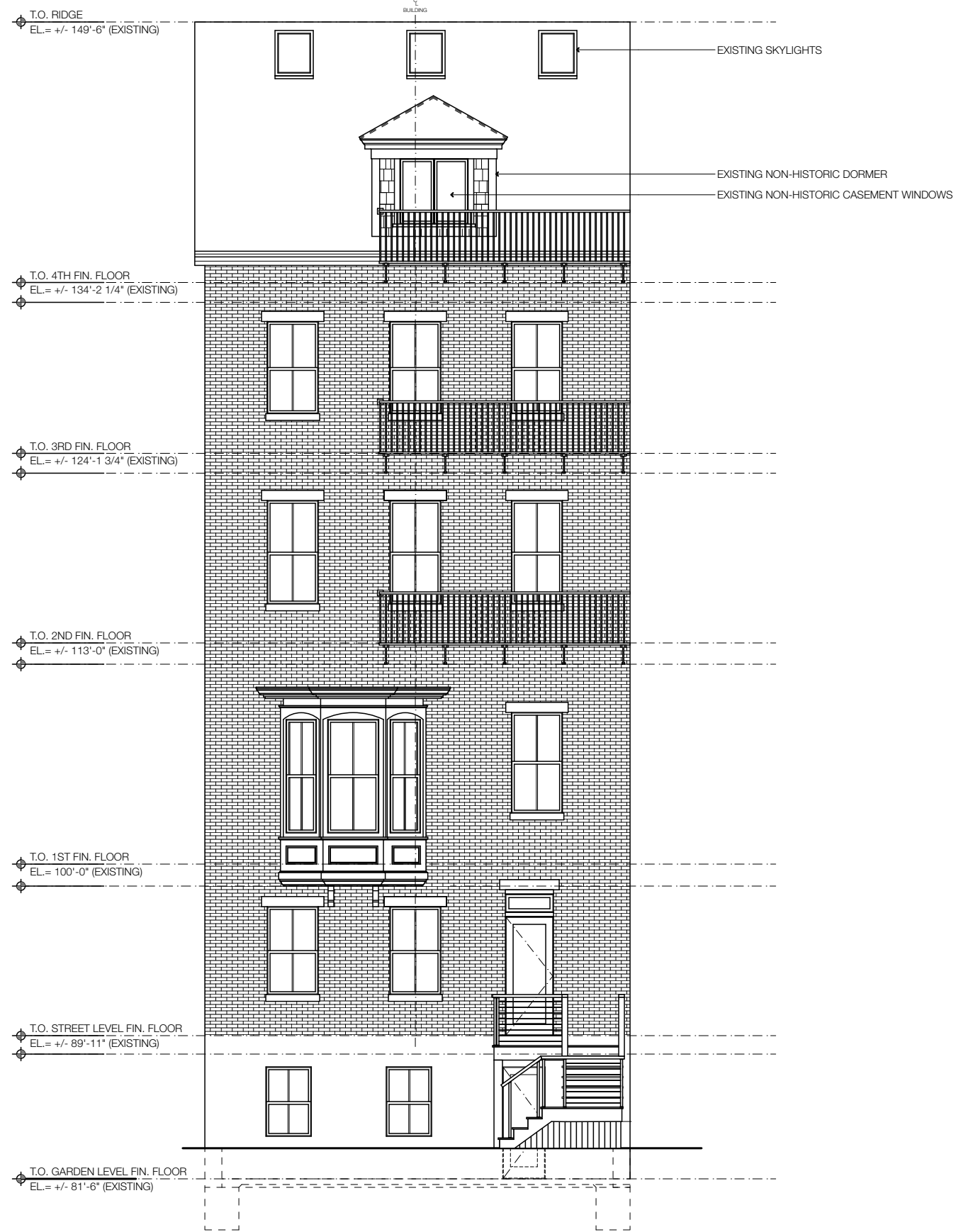
EXISTING STONE LINTELS TO BE REPAIRED AS REQUIRED (TYPICAL THROUGHOUT BUILDING).

HISTORIC IRON RAILING & BALUSTRADE AT STOOP TO BE REPAIRED AS NECESSARY & PAINTED BLACK.

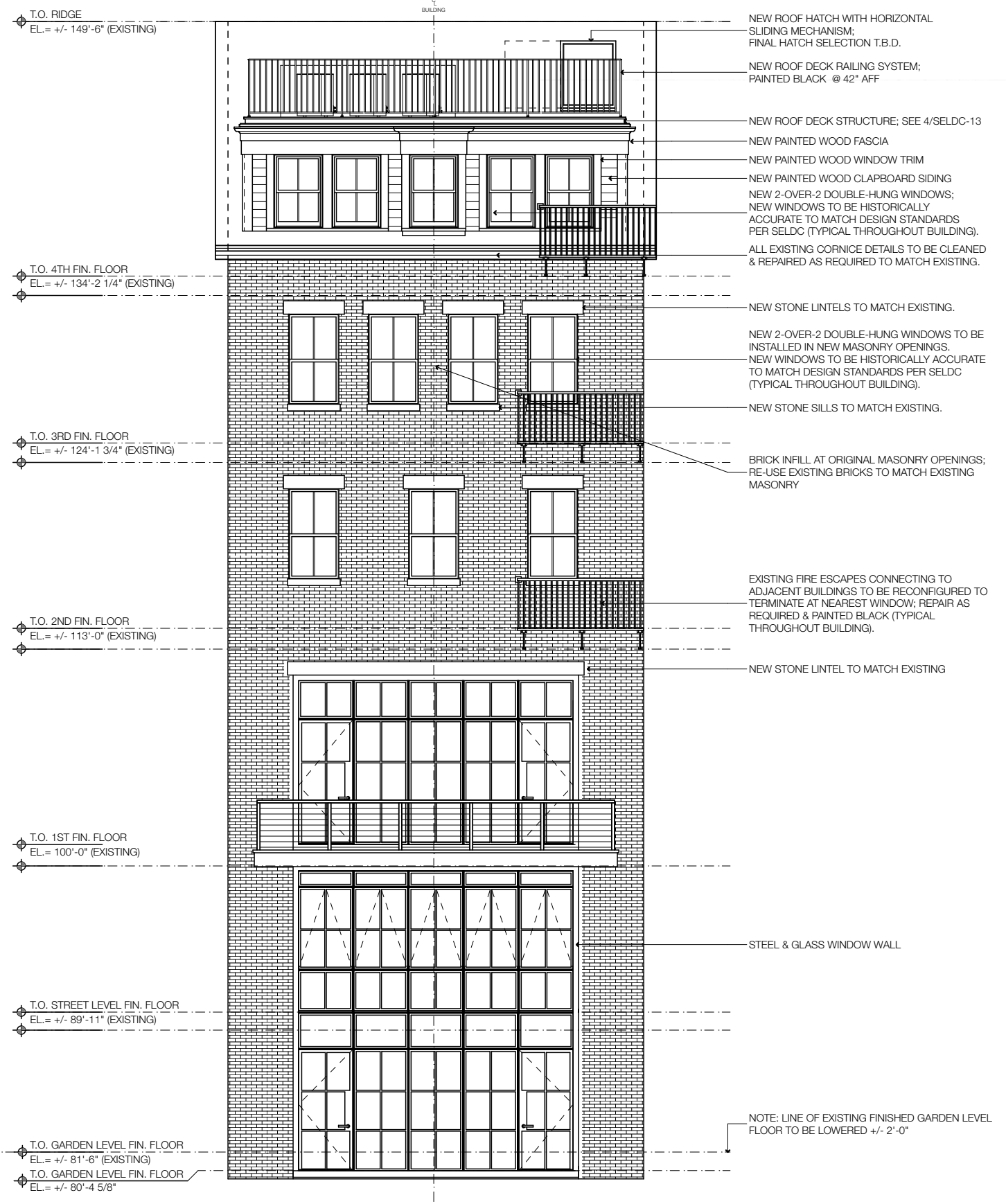
EXISTING (NON-HISTORIC) IRON RAILING TO BE REMOVED; GRANITE STOOP TO BE PATCHED & REPAIRED AS NECESSARY.

HISTORIC IRON RAILING & BALUSTRADE AT GARDEN TO BE REPAIRED AS NECESSARY & PAINTED BLACK.

EXISTING STONE STOOP TO BE CLEANED & REPAIRED AS NECESSARY.



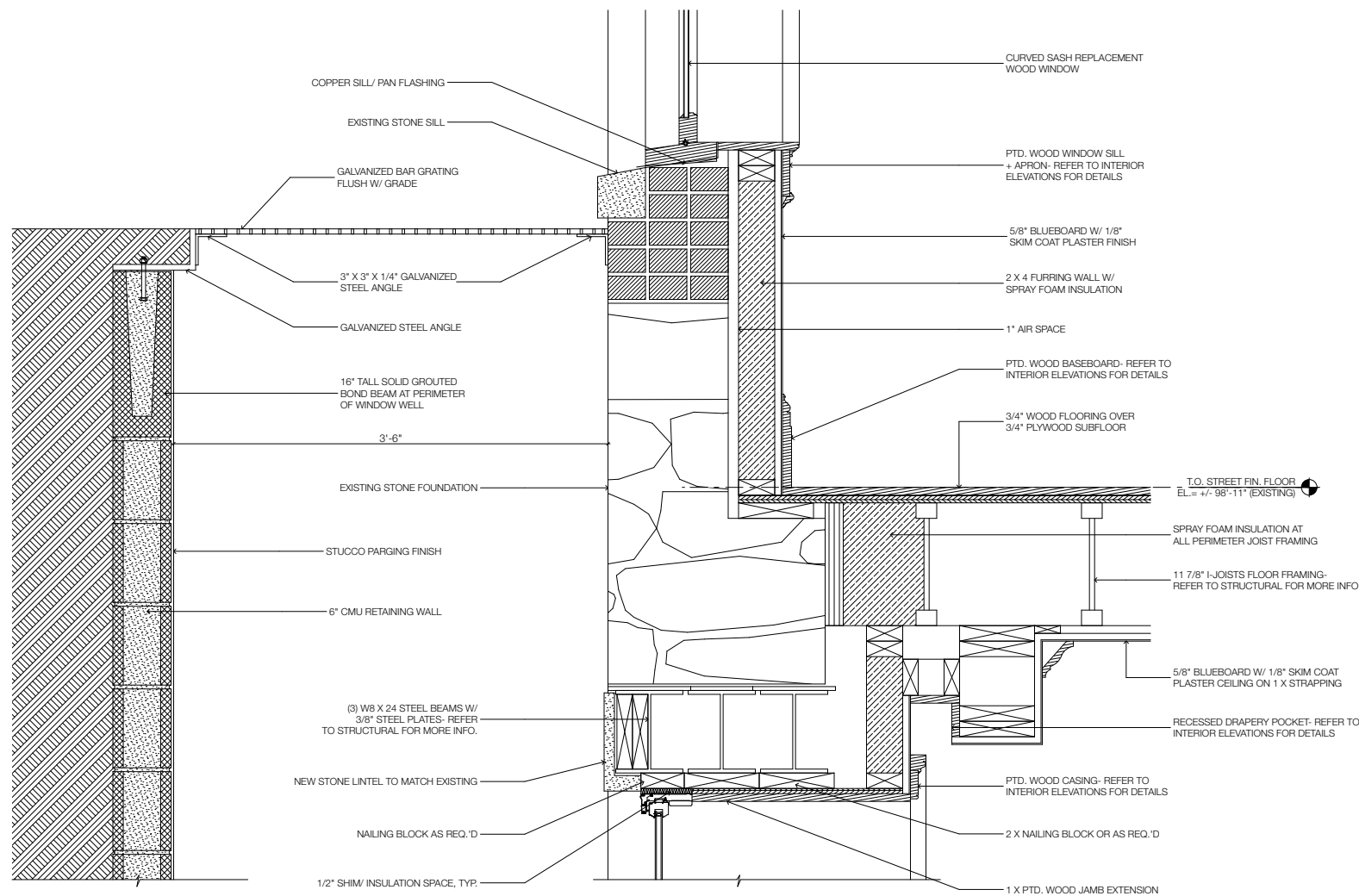
1 EXISTING REAR ELEVATION
1/8" = 1'-0"



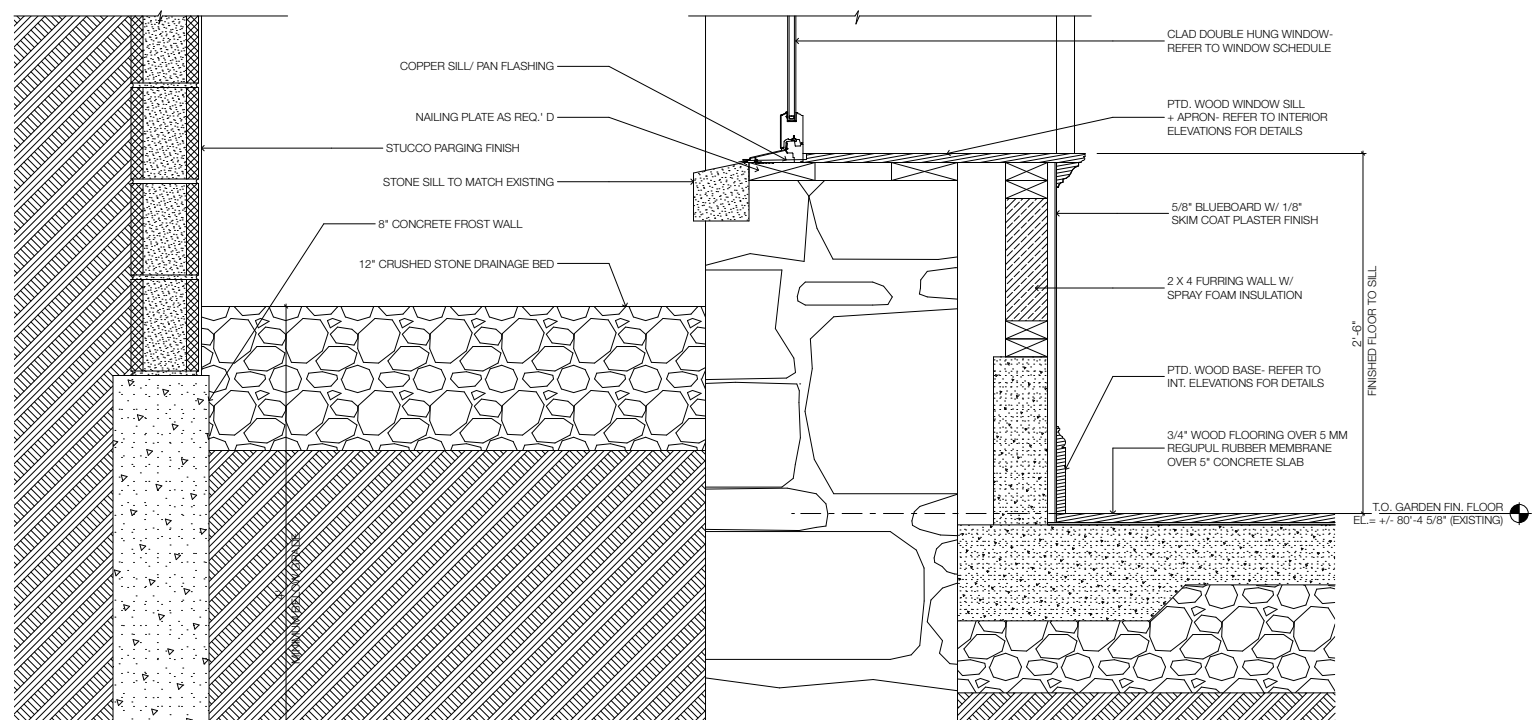
2 PROPOSED REAR ELEVATION
1/8" = 1'-0"

Window Well

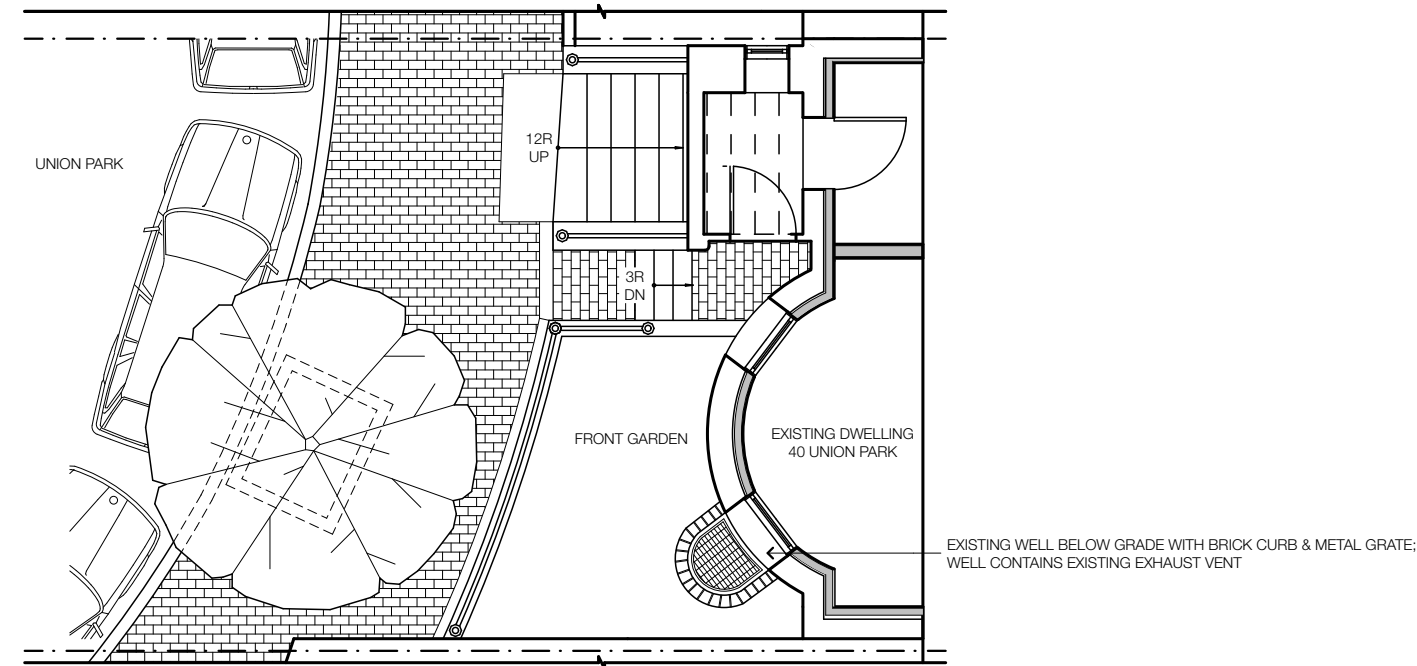
Proposed Work



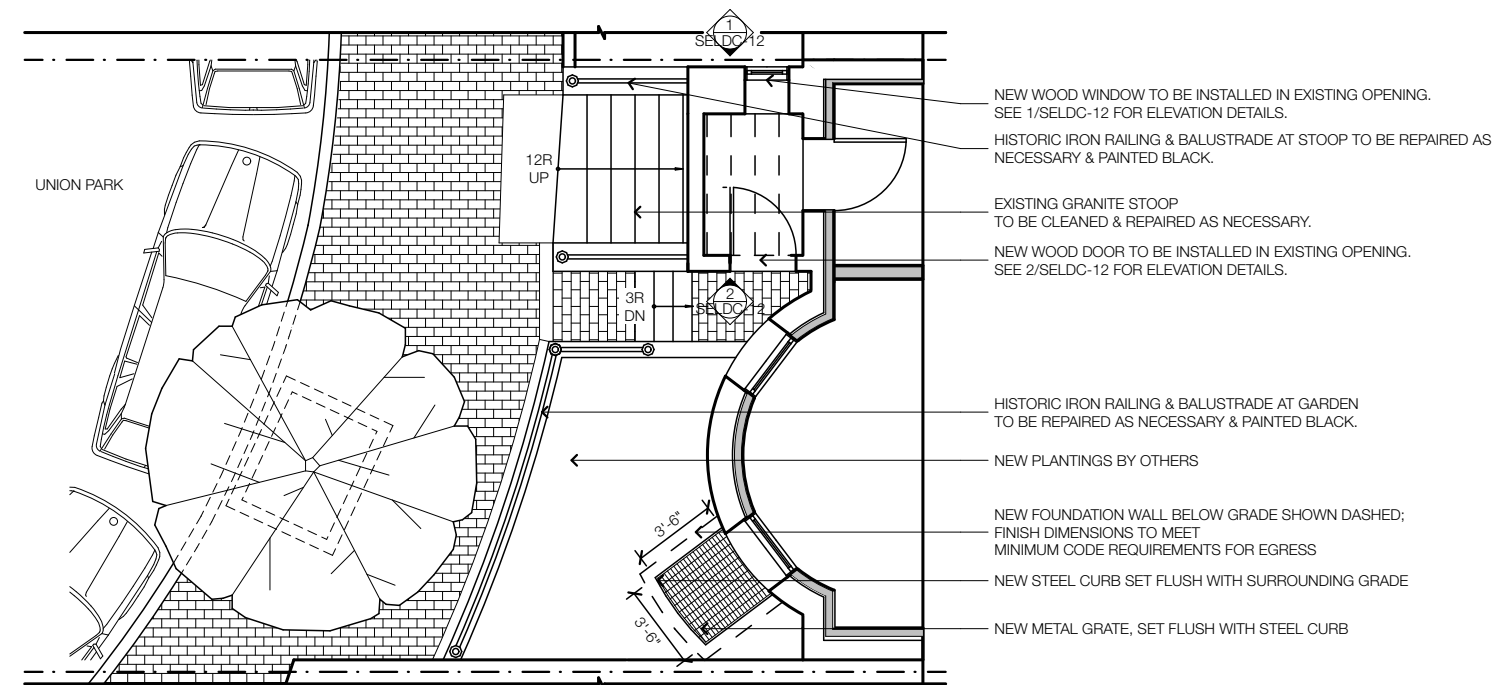
3 PROPOSED WINDOW WELL - WALL SECTION DETAIL
1/8" = 1'-0"



3 PROPOSED WINDOW WELL - WALL SECTION DETAIL
1/8" = 1'-0"



1 EXISTING STREET LEVEL PLAN
1/8" = 1'-0"



2 PROPOSED STREET LEVEL PLAN
1/8" = 1'-0"

Outline of Historical Records



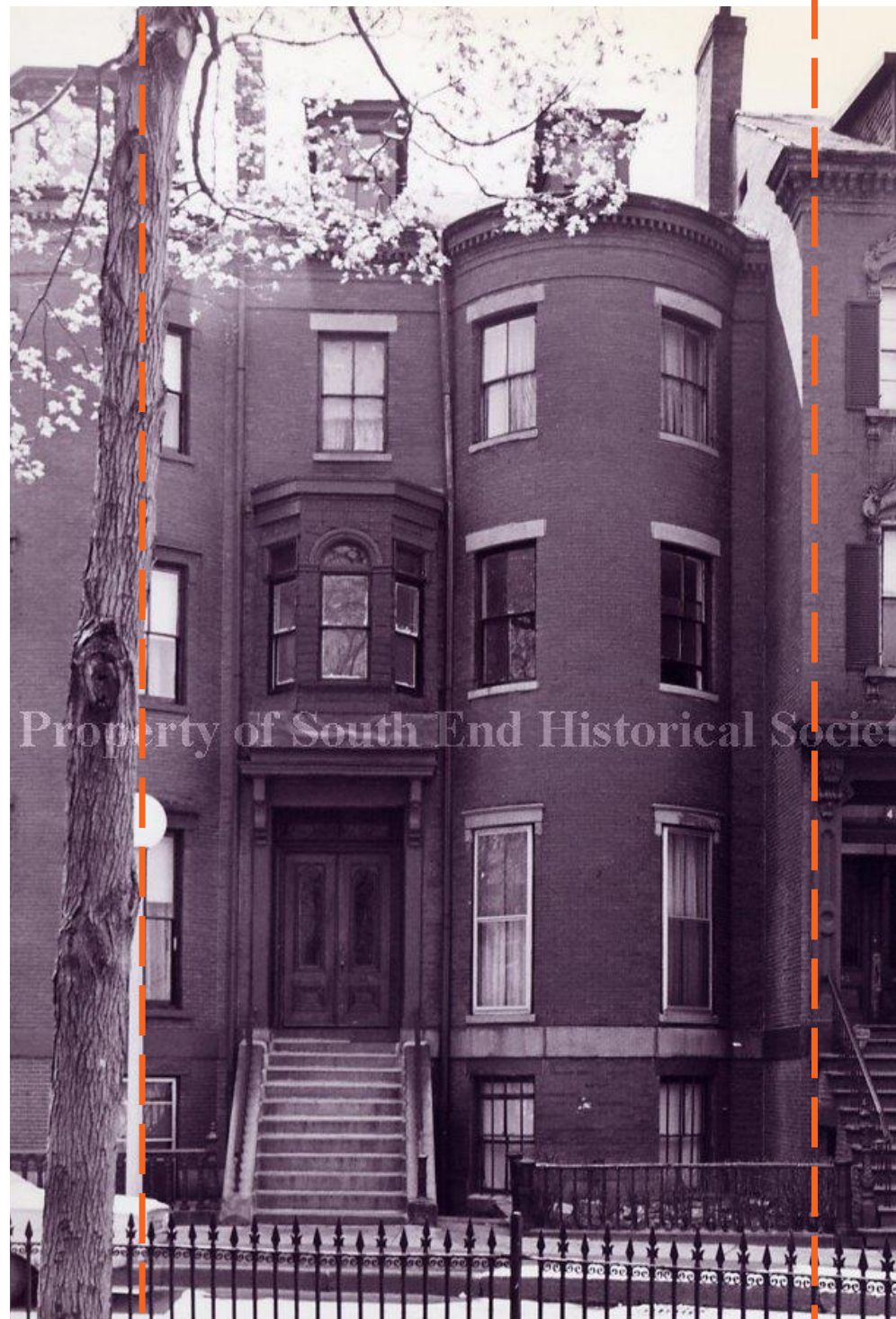
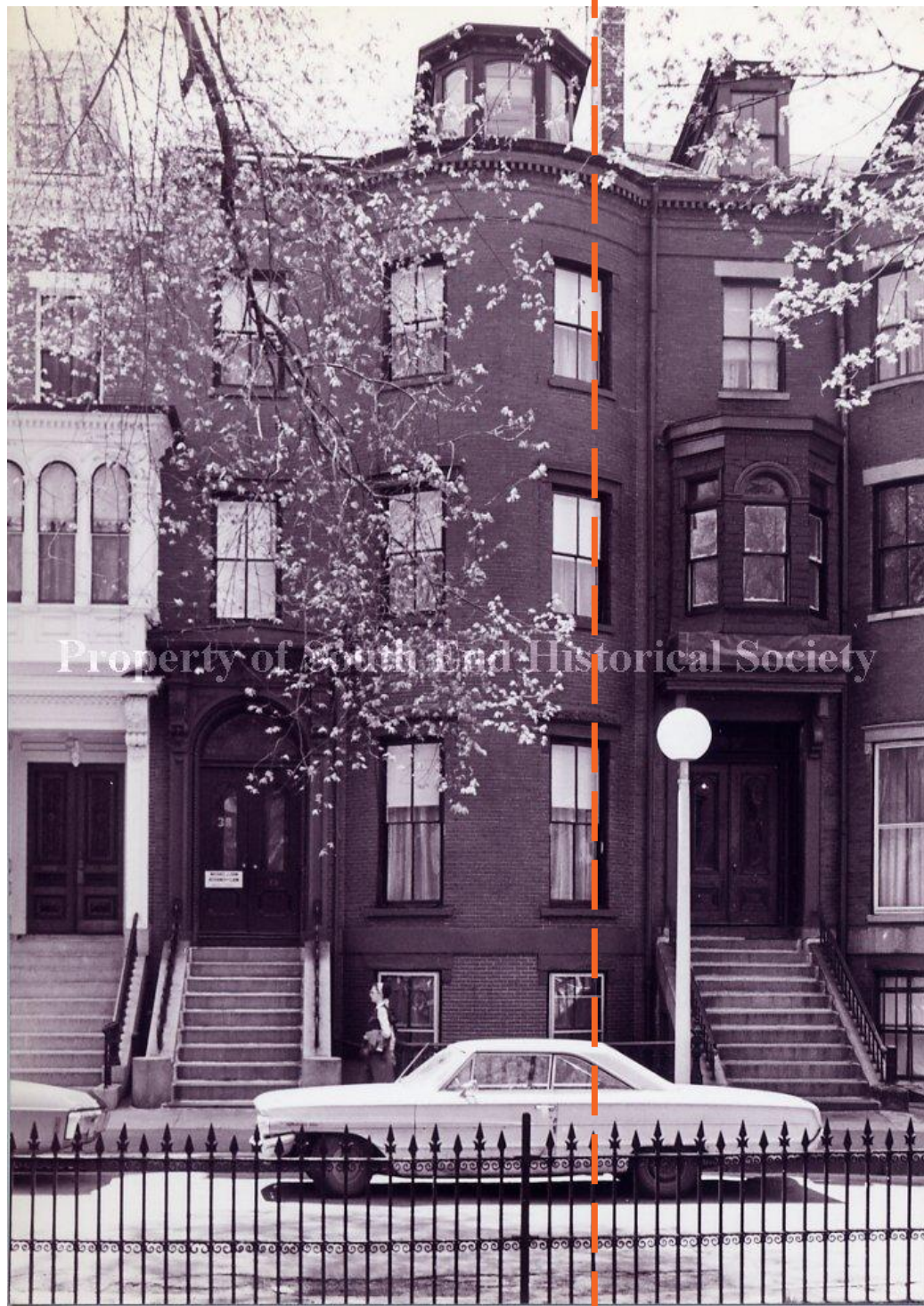
VIEW OF FRONT ELEVATION

View looking west-southwest of Front Elevation ca. 1900 (*South End Historical Society*)



STREET LEVEL VIEW

View looking west-southwest of (left to right) 40-48 Union Park, ca. 1870-1900 (*The Bostonian Society*)



FRONT ELEVATION

South End Historical Society Street Survey (1972) - Photographic Records for 38 Union Park (L), 40 Union Park (C) & 42 Union Park (R)

Front Door & Curved Sash Windows

Timeline of Alterations

Front Door & Curved Sash Windows

c. 1900

South End Historical Society: Photograph

Original Parlor-Level Door with Stepped Panel Detail & Single-Lite Glass with Inset Arch Detail

1972

South End Historical Society Streets Survey: Photograph

The door documented in the c. 1900 photographs remains in situ.

1988

ISD Special Permit Application

Written Detail of Proposed Work:

Install two (2) new window sashes; relocate entrance door; reframe & new header; close door; install new wood beam; close in transom.

Front Door & Curved Sash Windows

2010

ISD Special Permit Application

Written Detail of Proposed Work:

Rework five existing windows at Fifth Floor

2022

Proposal For Review by SELDC

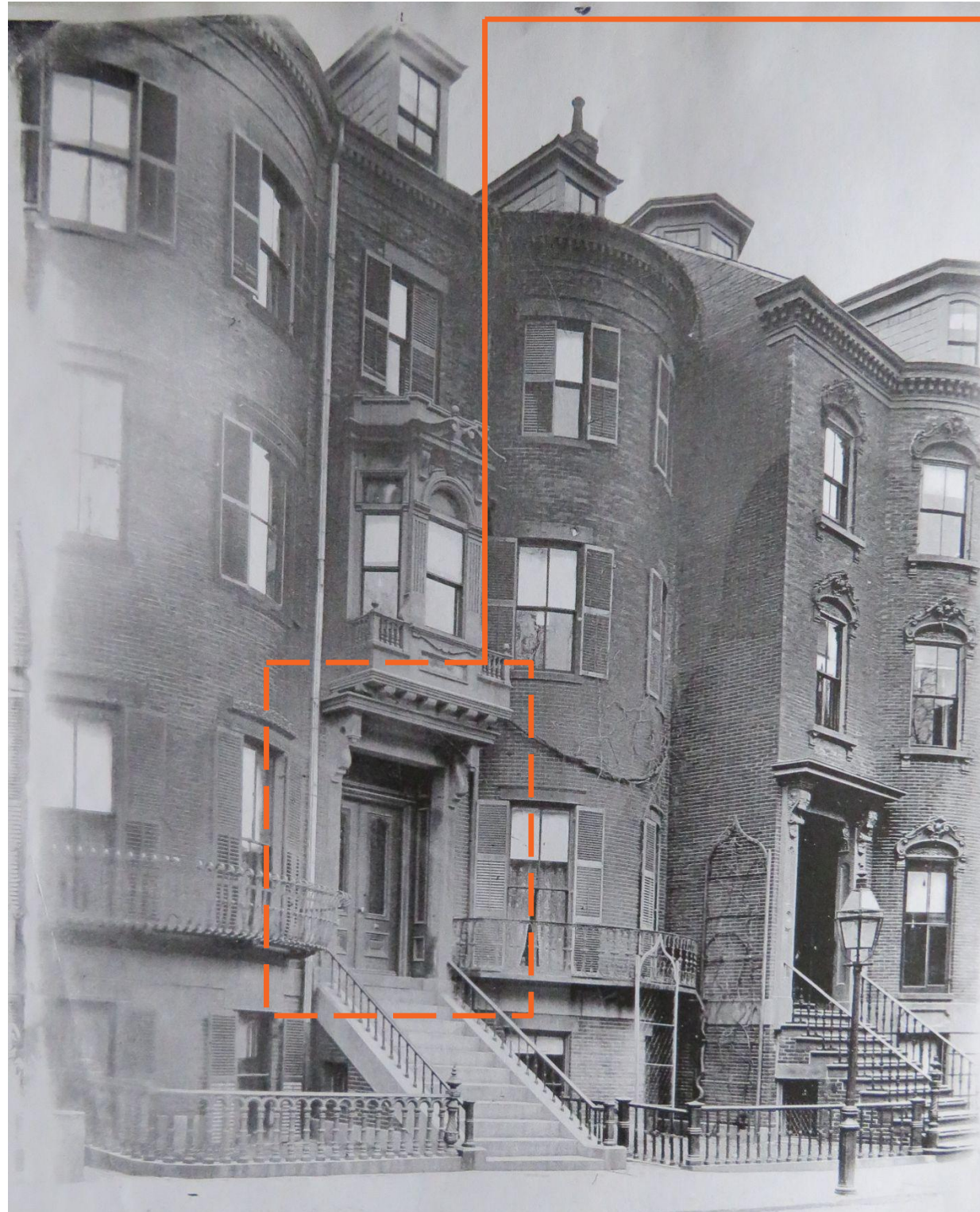
Replace existing parlor-level entry door and curved sash windows.

Evaluation by (2) Independent Window Experts indicates that the curved sash windows are not original to the building.

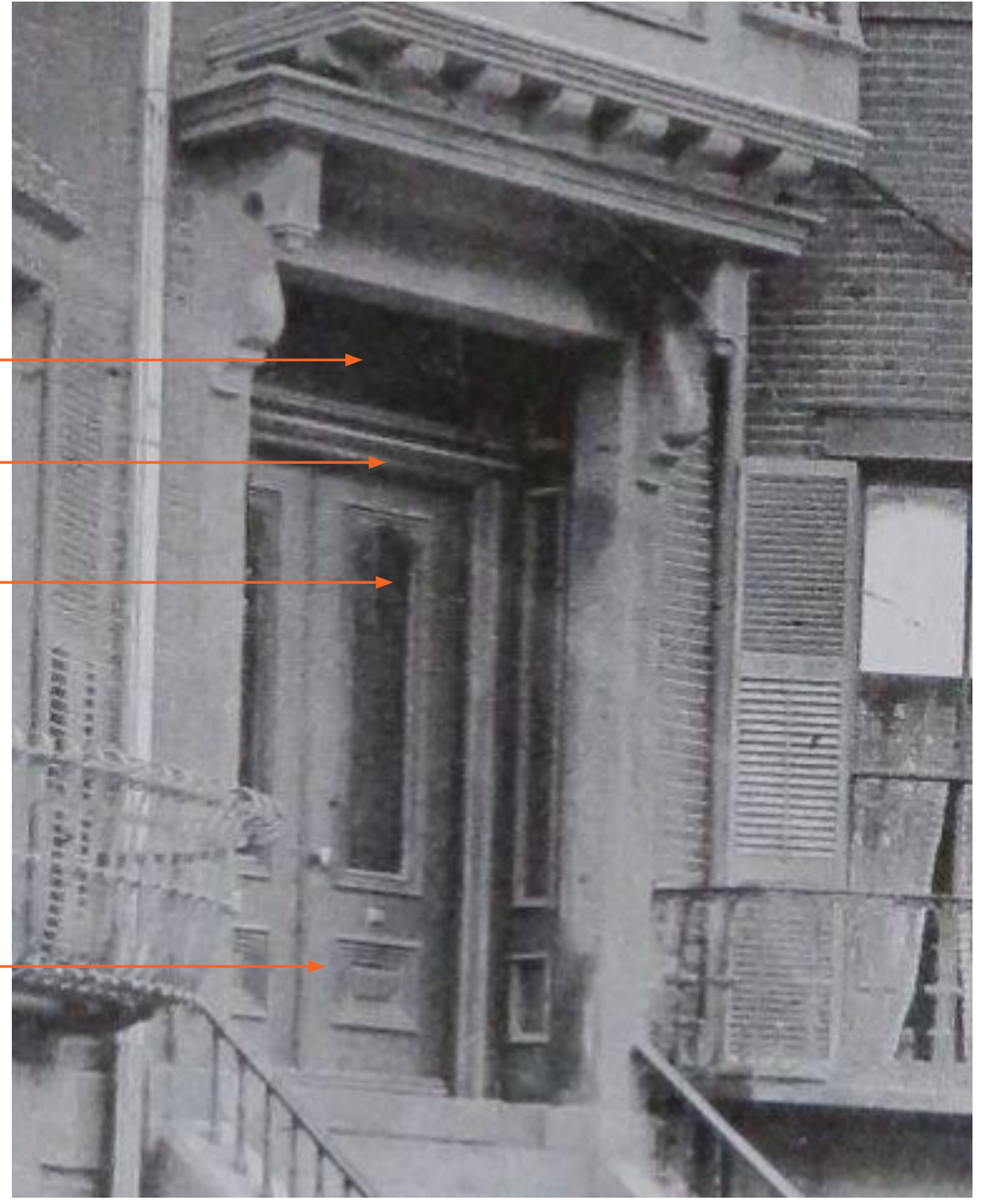
The application includes (as addendum) shop drawings for all-wood curved sash windows with historically accurate details by Liberty Revival.

Front Door & Curved Sash Windows

Historical Documentation



INSET VIEW



RECTANGULAR TRANSOM

T.O. DOOR ALIGNS WITH
T.O. SIDE PANEL

RECTANGULAR LITE
W/ INSET ARCHED DETAIL

SINGLE RAISED PANEL
W/ PROFILE DETAILING

VIEW OF FRONT ELEVATION

View looking west-southwest of Front Elevation ca. 1900 (*South End Historical Society*)

SINGLE TRANSOM →

RECTANGULAR LITE
W/ INSET
ARCHED DETAIL
& STEPPED STICKING →

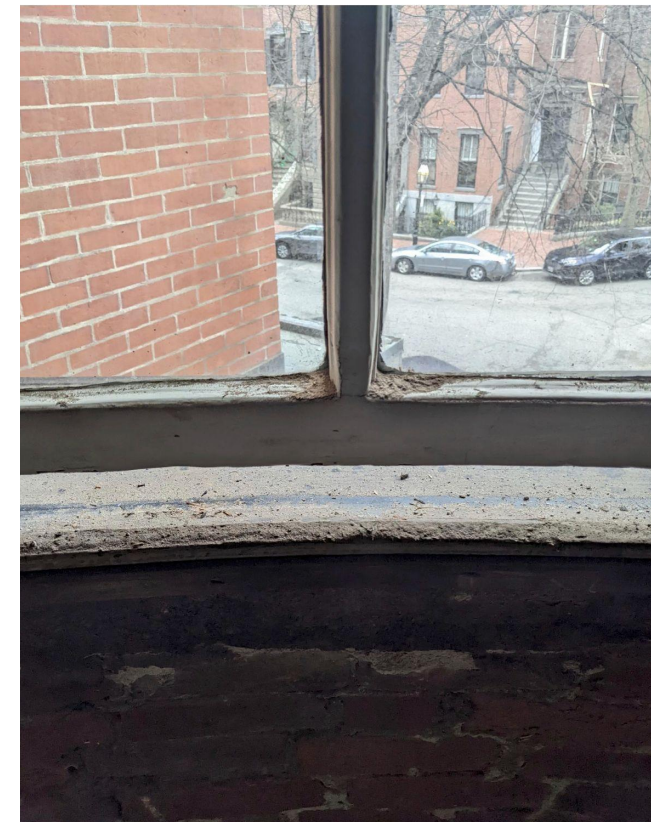
SINGLE
RAISED PANEL →



VIEW OF ENTRY DOOR
South End Streets Survey (1972)



CURRENT ENTRY DOOR (2022)
Modified In 1988 Per ISD Special Permit

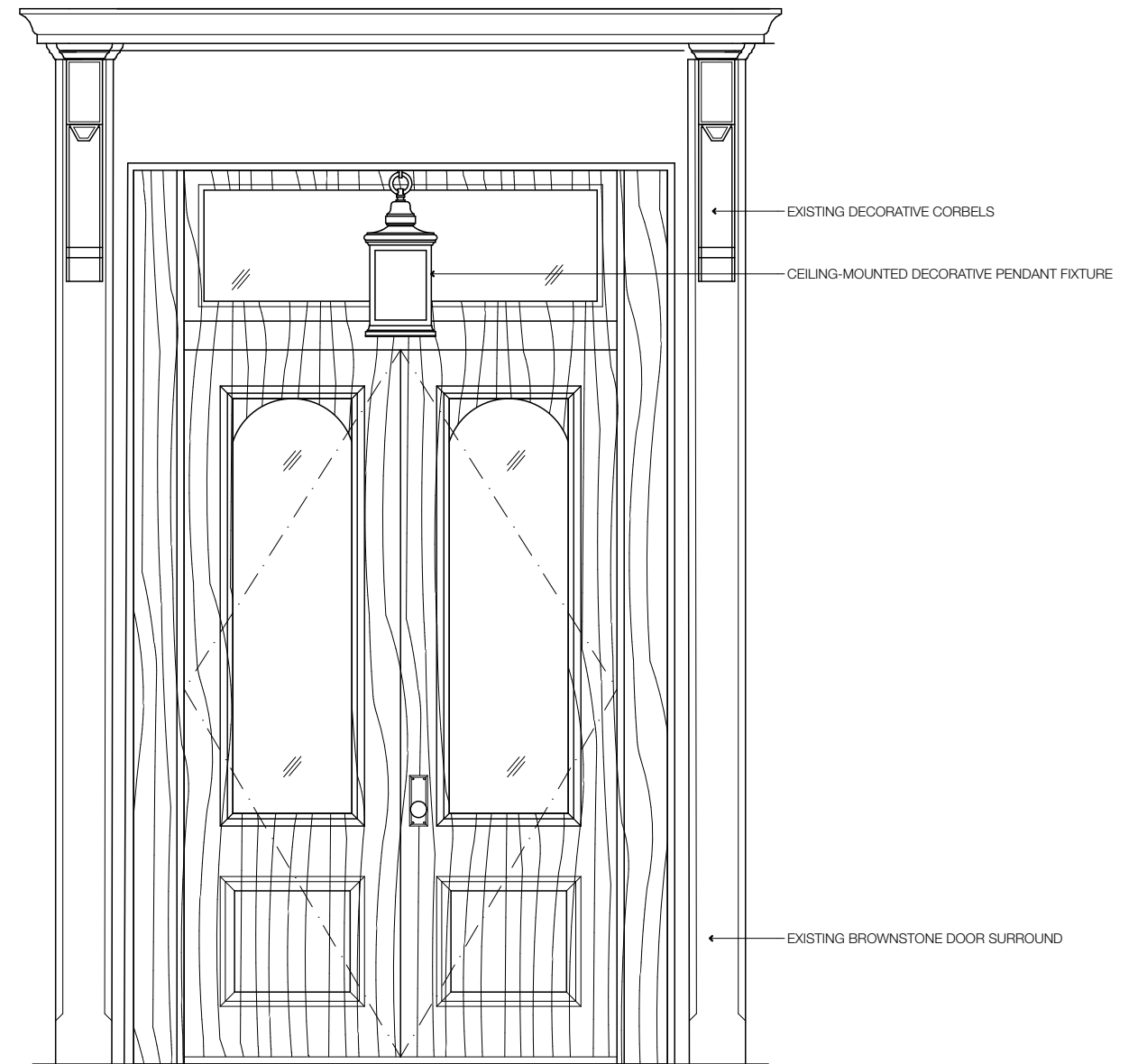
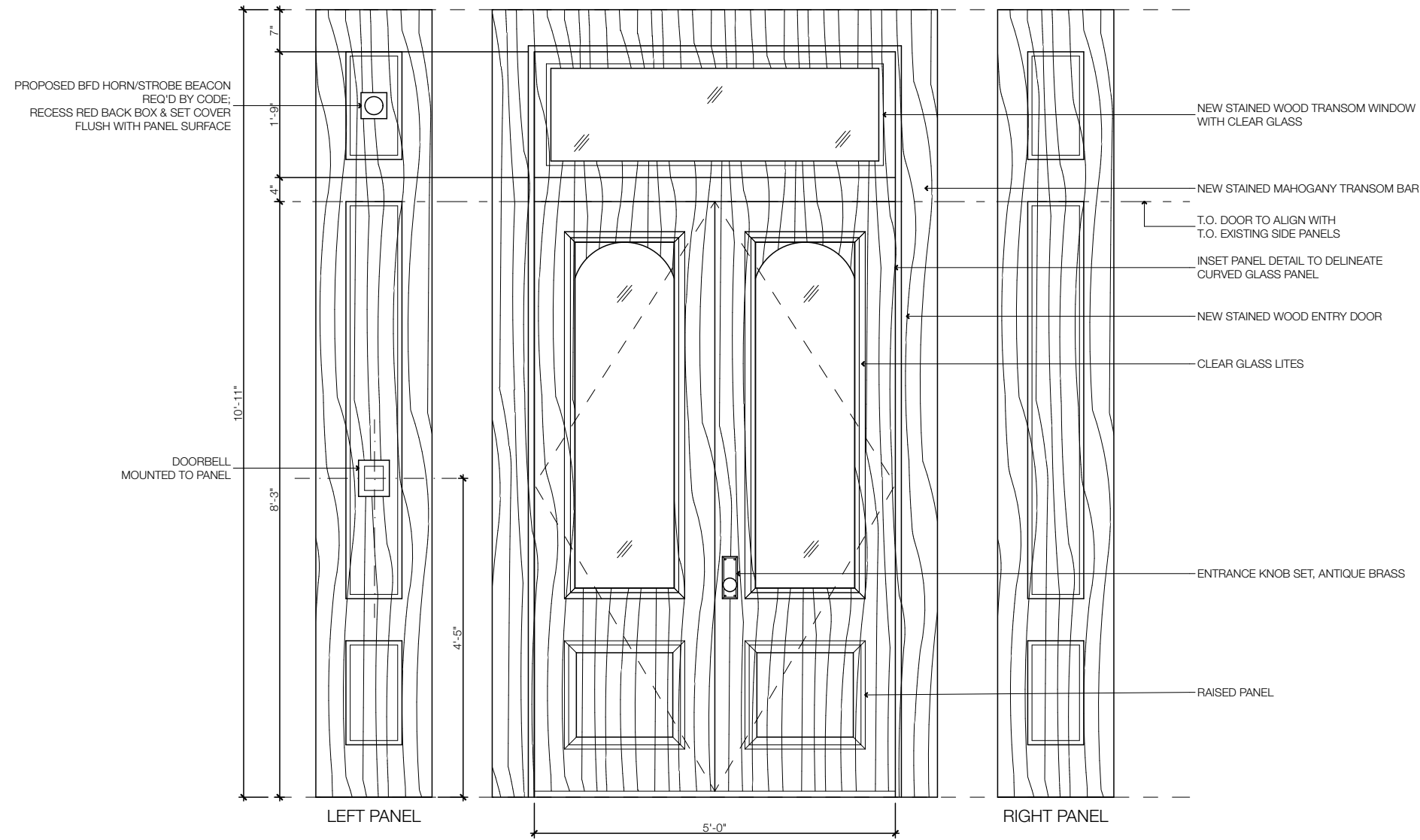


CURVED SASH CONDITION REPORT:

- 6 OF 8 CURVED SASH WINDOWS HAVE 1 ¼" MUNTINS & REPLACEMENT GLASS, WHICH IS WIDER THAN TYPICAL PERIOD WINDOWS
- PROFILES ON INTERIOR GLAZING STOPS HAVE BEEN SANDED AWAY
- SEVERAL WINDOW HAVE BOTTOM RAILS THAT SHOW RAGGED CUTS ALONG FULL WIDTH
- WOOD ROT & NEGLECT AT EXTERIOR OPENINGS (TYPICAL ACROSS ALL CURVED SASH WINDOWS)
- WINDOWS HAVE SLOTS CUT INTO FRAMES FOR INTERLOCKING ZINC WEATHERSTRIPPING
- SURFACE-MOUNTED BOX FRAMES FOR TRIPLE-TRACK STORM WINDOWS ARE INOPERABLE & NO LONGER WEATHERTIGHT
- ALL WINDOWS IN ORIEL ARE RECENT REPLACEMENT WINDOWS.

Front Door & Curved Sash Windows

Proposed Work





12 UNION PARK



14 UNION PARK



16 UNION PARK

ENTRY DOORS & SURROUNDS

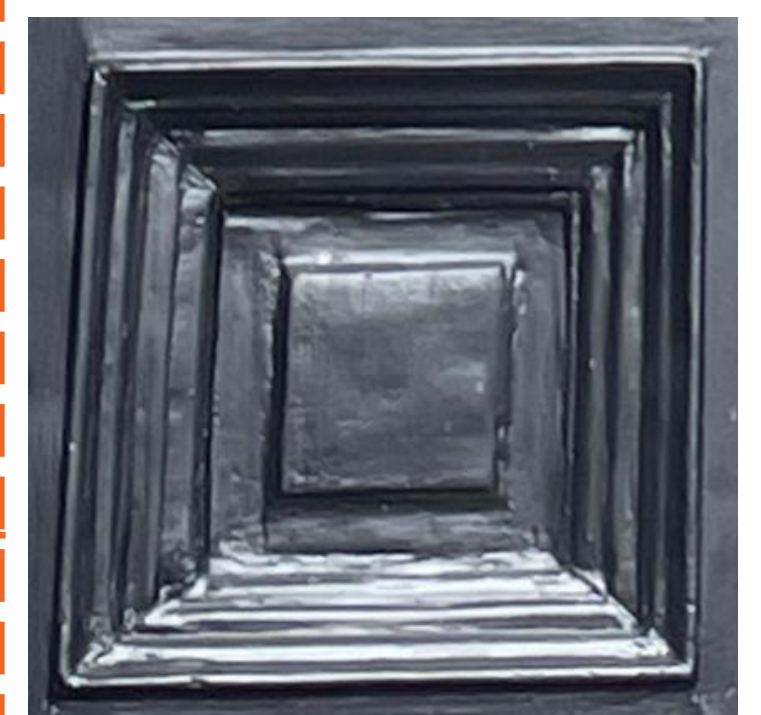
Examples of Wood Panel Entry Doors with Wood Panel Surrounds on Union Park



ENTRY DOOR AT 277 SHAWMUT AVENUE



INSET ARCHED LITE DETAIL



RAISED PANEL DETAIL

ENTRY DOOR PANEL DESIGN

Example Of Like Panel Details at 277 Shawmut Avenue

Front Stoop

Timeline of Alterations

Stoop Entry Door & Window

c. 1900

South End Historical Society: Photograph

Original Window Set Into Brick Infill Wall Below Stoop with Brick Coursing Below

2022

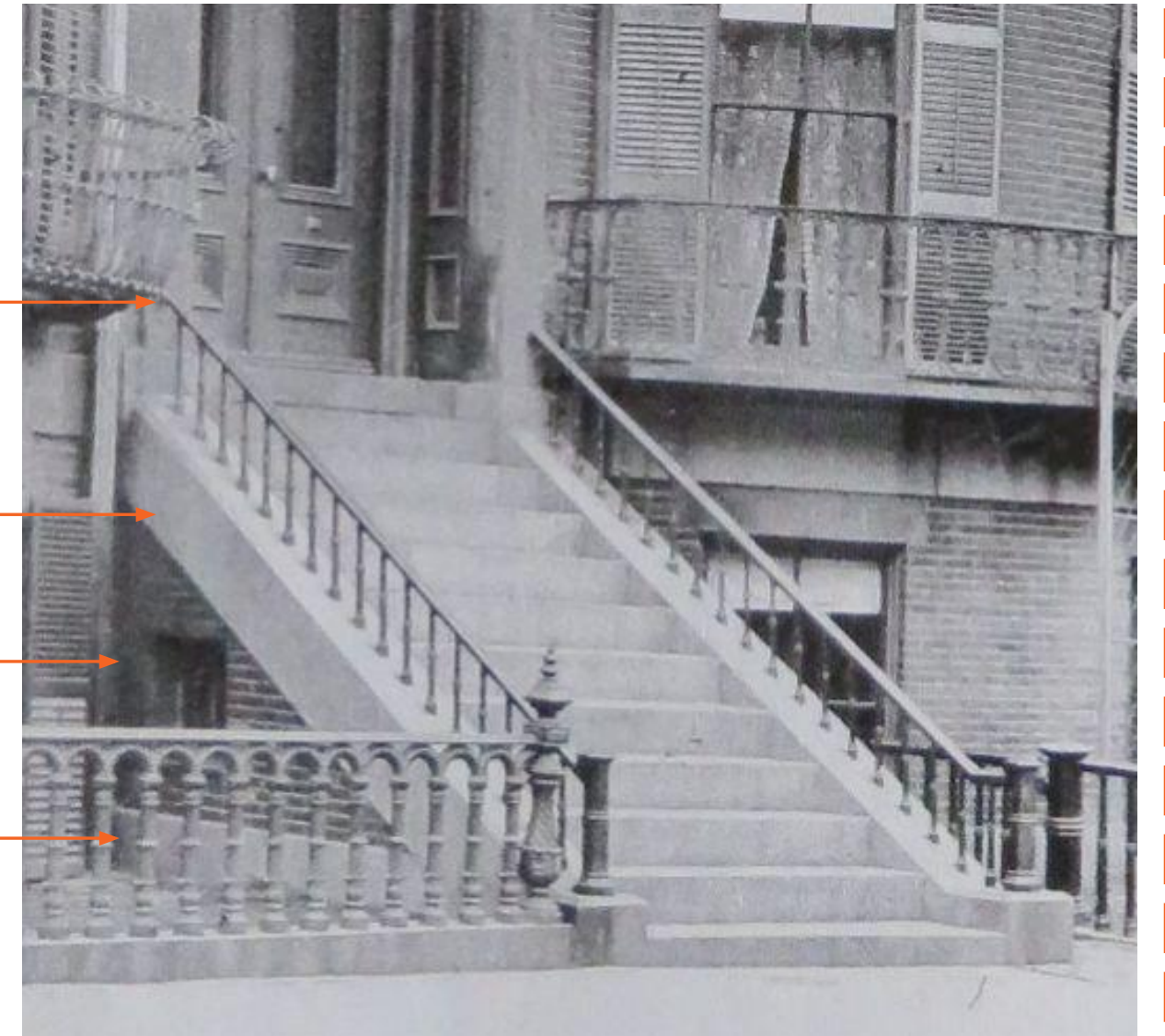
Evaluation by South End Historical Society

Front Stoop

Historical Documentation



INSET VIEW



ORIGINAL IRON BALUSTRADE

ORIGINAL GRANITE
STRINGER W/ CHAMFER

WINDOW OPENING
WITH BRICK COURSING
BELOW

ORIGINAL GRANITE
WATER TABLE W/ CHAMFER

VIEW OF FRONT ELEVATION

View looking west-southwest of Front Elevation ca. 1900 (*South End Historical Society*)

Front Stoop

**Existing Conditions
&
Neighborhood Context**

ORIGINAL IRON
BALUSTRADE

ORIGINAL GRANITE
STRINGER W/ CHAMFER

REPLACEMENT
WINDOW
IN ORIGINAL MASONRY
OPENING

ORIGINAL GRANITE
WATER TABLE
W/ CHAMFER





STOOP WINDOWS IN BRICK AT 4 & 6 UNION PARK



DETAIL AT 6 UNION PARK



DETAIL AT 8 UNION PARK

GRANITE STRINGER WITH
DECORATIVE IRON
BALUSTRADE ABOVE

TRAPEZOIDAL WOOD DOOR
WITH PORTHOLE

WOOD INFILL BELOW STOOP

NOMINAL WOOD TRIM BOARDS AT DOOR

HIGH GRANITE COURSING
EXTENDING AROUND BOW
FRONT, TERMINATING AT DOOR

3-COURSE GRANITE WALL
BELOW STRINGER



MORTAR RESIDUE
SHOWING ORIGINAL
LOCATION OF BRICK INFILL



FRONT STOOP - EXISTING CONDITIONS AT DOOR
SCALE: AS INDICATED

SHARED FEATURES

GRANITE STRINGER WITH
DECORATIVE IRON
BALUSTRADE ABOVE

RUNNING BOND
BRICK MASONRY BELOW STRINGER

ARCHED DOORS BELOW THE
STRINGER

BRICK SOLDIER COURSE
ABOVE DOOR

HIGH GRANITE COURSING
EXTENDING AROUND BOW
FRONT, TERMINATING AT DOOR



STOOP DOOR AT 38 UNION PARK (NEIGHBORING)



STOOP DOOR AT 43 UNION PARK (ACROSS THE PARK)

Front Stoop

Proposed Work

T.O. 3RD FIN. FLOOR
EL.= +/- 124'-1 3/4" (EXISTING)

T.O. 2ND FIN. FLOOR
EL.= +/- 113'-0" (EXISTING)

T.O. 1ST FIN. FLOOR
EL.= 100'-0" (EXISTING)

T.O. STREET LEVEL FIN. FLOOR
EL.= +/- 89'-11" (EXISTING)



RESTORE WOOD BAY STRUCTURE TO MATCH EXISTING; REPLACE & REPAIR MISSING & DAMAGED PIECES AS REQUIRED.

NEW 1-OVER-1 DOUBLE-HUNG WINDOWS TO BE INSTALLED IN EXISTING OPENINGS.
NEW WINDOWS TO BE HISTORICALLY ACCURATE TO MATCH DESIGN STANDARDS PER SELDC.

EXISTING WOOD PEDIMENT & BRACKETS TO BE REPAIRED AS NECESSARY.
EXISTING STONE LINTELS TO BE REPAIRED AS REQUIRED (TYPICAL THROUGHOUT BUILDING).

NEW 2-OVER-2 DOUBLE-HUNG WOOD WINDOWS TO BE INSTALLED IN EXISTING MASONRY OPENINGS. NEW WINDOWS TO BE HISTORICALLY ACCURATE TO MATCH DESIGN STANDARDS PER SELDC (TYPICAL THROUGHOUT BUILDING).

NEW WOOD ENTRANCE DOORS & GLASS TRANSOM; STAINED MAHOGANY

EXISTING STONE LINTELS TO BE REPAIRED AS REQUIRED (TYPICAL THROUGHOUT BUILDING).

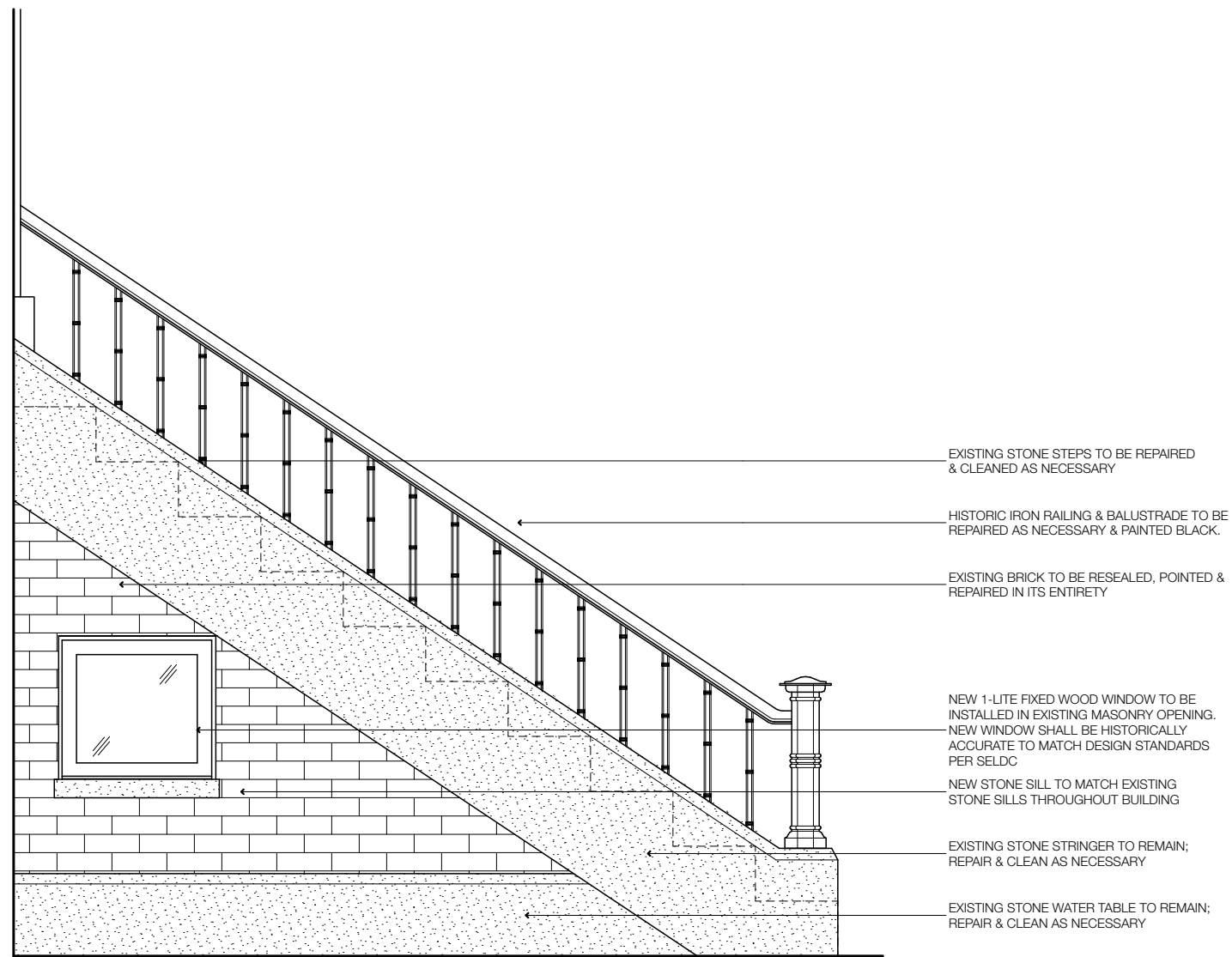
HISTORIC IRON RAILING & BALUSTRADE AT STOOP TO BE REPAIRED AS NECESSARY & PAINTED BLACK.

EXISTING (NON-HISTORIC) IRON RAILING TO BE REMOVED; GRANITE STOOP TO BE PATCHED & REPAIRED AS NECESSARY.

HISTORIC IRON RAILING & BALUSTRADE AT GARDEN TO BE REPAIRED AS NECESSARY & PAINTED BLACK.

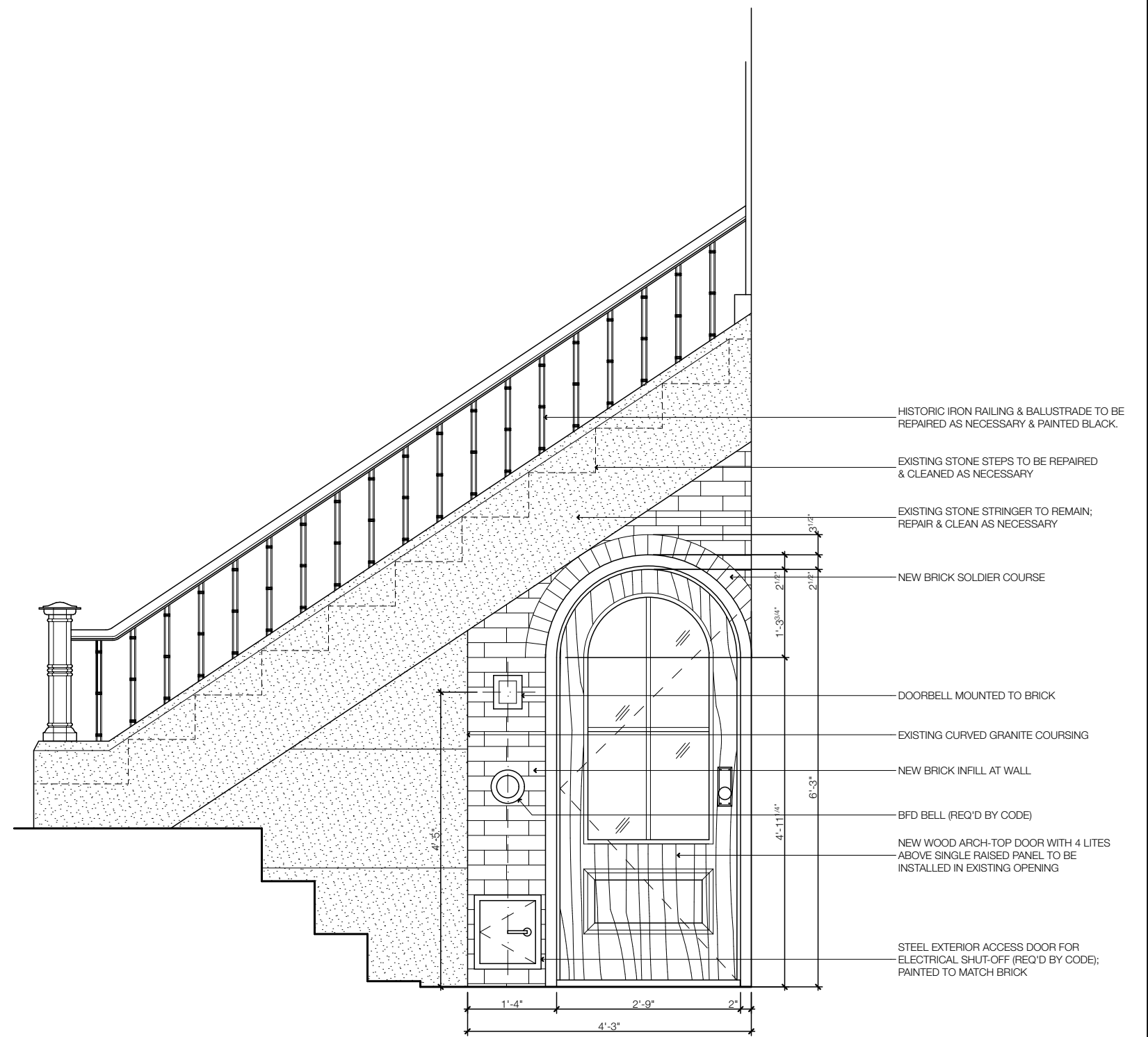
EXISTING STONE STOOP TO BE CLEANED & REPAIRED AS NECESSARY.

1 FRONT ELEVATION AT FRONT GARDEN
1/4" = 1'-0"



- EXISTING STONE STEPS TO BE REPAIRED & CLEANED AS NECESSARY
- HISTORIC IRON RAILING & BALUSTRADE TO BE REPAIRED AS NECESSARY & PAINTED BLACK.
- EXISTING BRICK TO BE RESEALED, POINTED & REPAIRED IN ITS ENTIRETY
- NEW 1-LITE FIXED WOOD WINDOW TO BE INSTALLED IN EXISTING MASONRY OPENING. NEW WINDOW SHALL BE HISTORICALLY ACCURATE TO MATCH DESIGN STANDARDS PER SELDC
- NEW STONE SILL TO MATCH EXISTING STONE SILLS THROUGHOUT BUILDING
- EXISTING STONE STRINGER TO REMAIN; REPAIR & CLEAN AS NECESSARY
- EXISTING STONE WATER TABLE TO REMAIN; REPAIR & CLEAN AS NECESSARY

1 PARTIAL NORTH ELEVATION AT STOOP
1/2" = 1'-0"



- HISTORIC IRON RAILING & BALUSTRADE TO BE REPAIRED AS NECESSARY & PAINTED BLACK.
- EXISTING STONE STEPS TO BE REPAIRED & CLEANED AS NECESSARY
- EXISTING STONE STRINGER TO REMAIN; REPAIR & CLEAN AS NECESSARY
- NEW BRICK SOLDIER COURSE
- DOORBELL MOUNTED TO BRICK
- EXISTING CURVED GRANITE COURSING
- NEW BRICK INFILL AT WALL
- BFD BELL (REQ'D BY CODE)
- NEW WOOD ARCH-TOP DOOR WITH 4 LITES ABOVE SINGLE RAISED PANEL TO BE INSTALLED IN EXISTING OPENING
- STEEL EXTERIOR ACCESS DOOR FOR ELECTRICAL SHUT-OFF (REQ'D BY CODE); PAINTED TO MATCH BRICK

2 PARTIAL SOUTH ELEVATION AT STOOP
1/2" = 1'-0"

Rear Dormer

Existing Conditions



SLOT VIEW LOOKING SOUTH ALONG PUBLIC ALLEY 701 FROM SIDEWALK AT TREMONT STREET
WITHOUT FOLIAGE



SLOT VIEW LOOKING SOUTH ALONG PUBLIC ALLEY 701 FROM SIDEWALK AT TREMONT STREET
WITH FOLIAGE



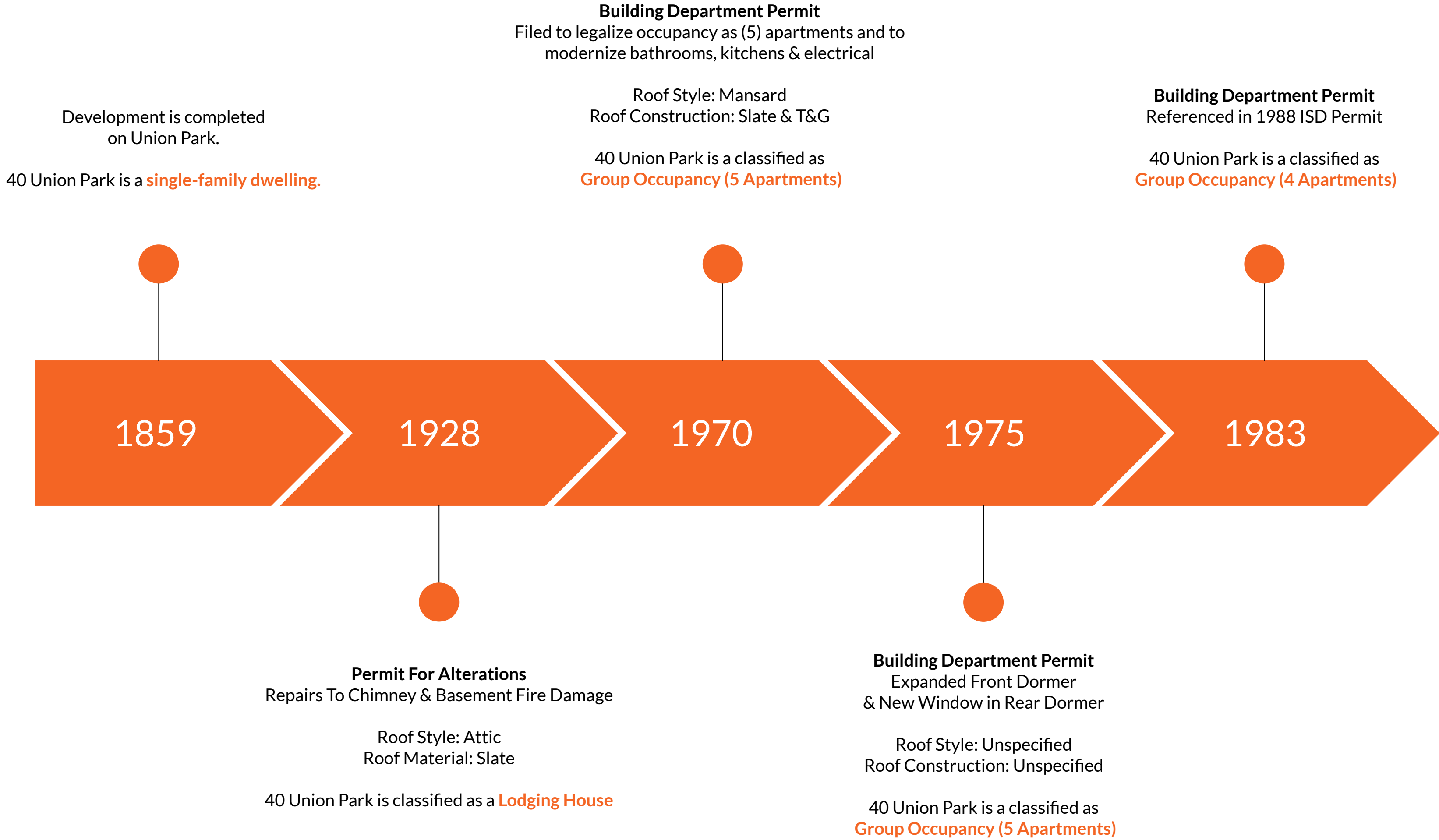
VIEW LOOKING EAST FROM PUBLIC ALLEY 701 (REAR ELEVATION)



DETAIL VIEW - CORNICE LINE & REAR DORMER (REAR ELEVATION)

Rear Dormer

Timeline of Alterations



Inspectional Services Department Permit
Interior Renovations &
Exterior Renovations to Front Door & Windows

Roof Style: Unspecified
Roof Construction: Unspecified

40 Union Park is classified as
Group Occupancy (4 Apartments)

Inspectional Services Department Permit
Interior Renovations At
Fourth, Fifth & Sixth Floors

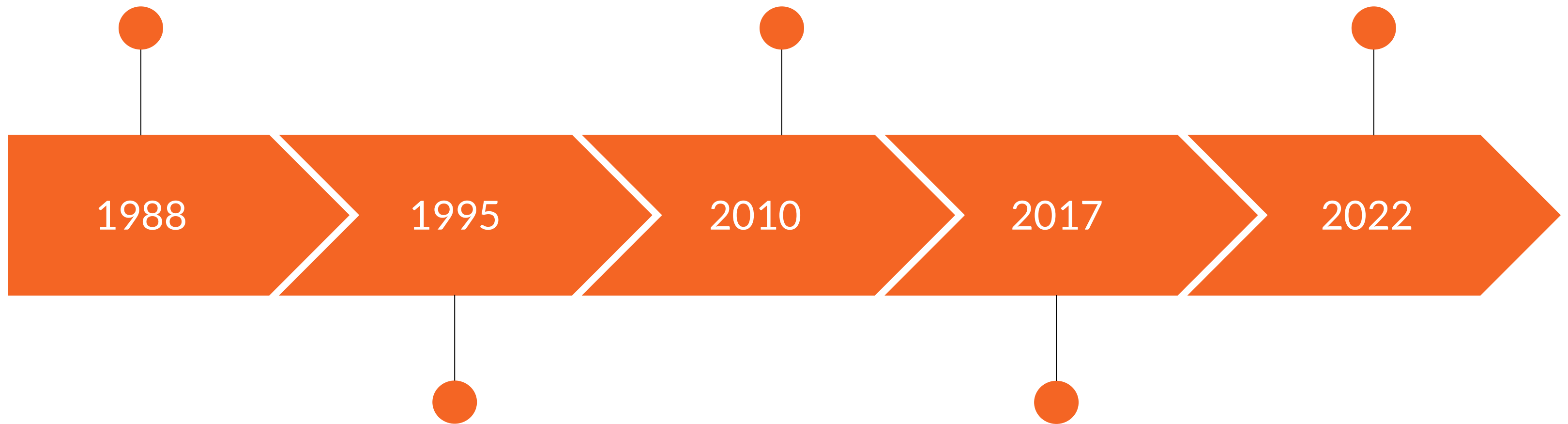
Roof Style: Unspecified
Roof Construction: Unspecified

40 Union Park is changed from Group Occupancy (4
Apartments) to **Single-Family Residence.**

SELDC Application
Full Building Restoration with a
Proposal For Expanded Rear Dormer & Roof Deck

Roof Style: Gable
Roof Construction: Slate

40 Union Park is a **Single-Family Residence.**



Inspectional Services Department Permit
Interior Renovations

Roof Style: Mansard
Roof Construction: Slate

40 Union Park is classified as
Group Occupancy (4 Apartments)

Inspectional Services Department Permit
Exterior Renovation To Construct
New Rear Deck & Patio

Roof Style: Unspecified
Roof Construction: Unspecified

40 Union Park is classified as
Single-Family Residence.

Rear Dormer

1975

ISD Special Permit Application

Written Detail of Proposed Work:

Install picture window (top floor, front of building).

Install vinyl siding on dormer together with full coverage aluminum on trim.

Install one casement window in rear dormer.

2022

Proposal For Review by SELDC

Return dormer footprint to single-dormer footprint, centered on building and roof.

Add shed dormers on both sides of single dormer, set back from single dormer, to highlight historic dormer form.

Rear Dormer

Historical Context & Dormer Forms



THIS PHOTO IS DATED AROUND THE TIME OF COMPLETION
OF THE DEVELOPMENT OF UNION PARK.
NOTE THE PROMINENT FRONT DORMERS ON MOST OF THE BROWNSTONES, WHICH WERE CENTERED OVER THE BOW FRONT FACADES.
THESE LARGE THREE-FACETED DORMERS ARE COMMONLY KNOWN AS “BALLOON BAY DORMERS”,
AND EACH FACET (SIDE) FEATURES A CURVED-TOP WINDOW SASH.

UNION PARK CONTEXTUAL VIEW (ca. 1860)
View looking north towards Tremont Street from Shawmut Avenue

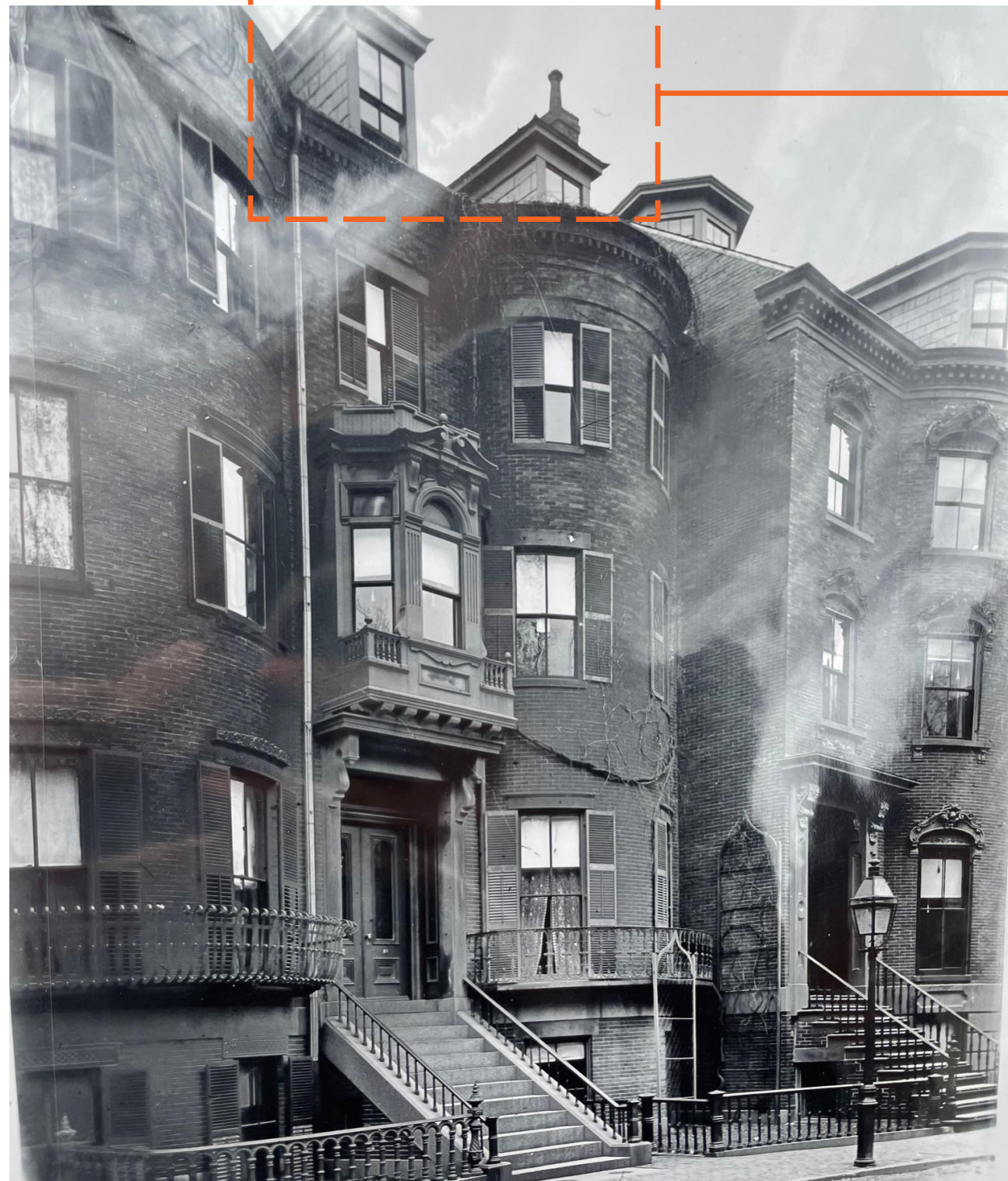


THE DASHED LINE HIGHLIGHTS THE LOCATION OF 40 UNION PARK IN THIS PHOTOGRAPH.

40 UNION PARK DID NOT FEATURE A BALLOON BAY DORMER ABOVE THE BOW FRONT.
RATHER, IT HAD TWO SINGLE DORMERS SET FURTHER BACK ON THE GABLE ROOF.

UNION PARK CONTEXTUAL VIEW (ca. 1860)

View looking north towards Tremont Street from Shawmut Avenue



INSET VIEW



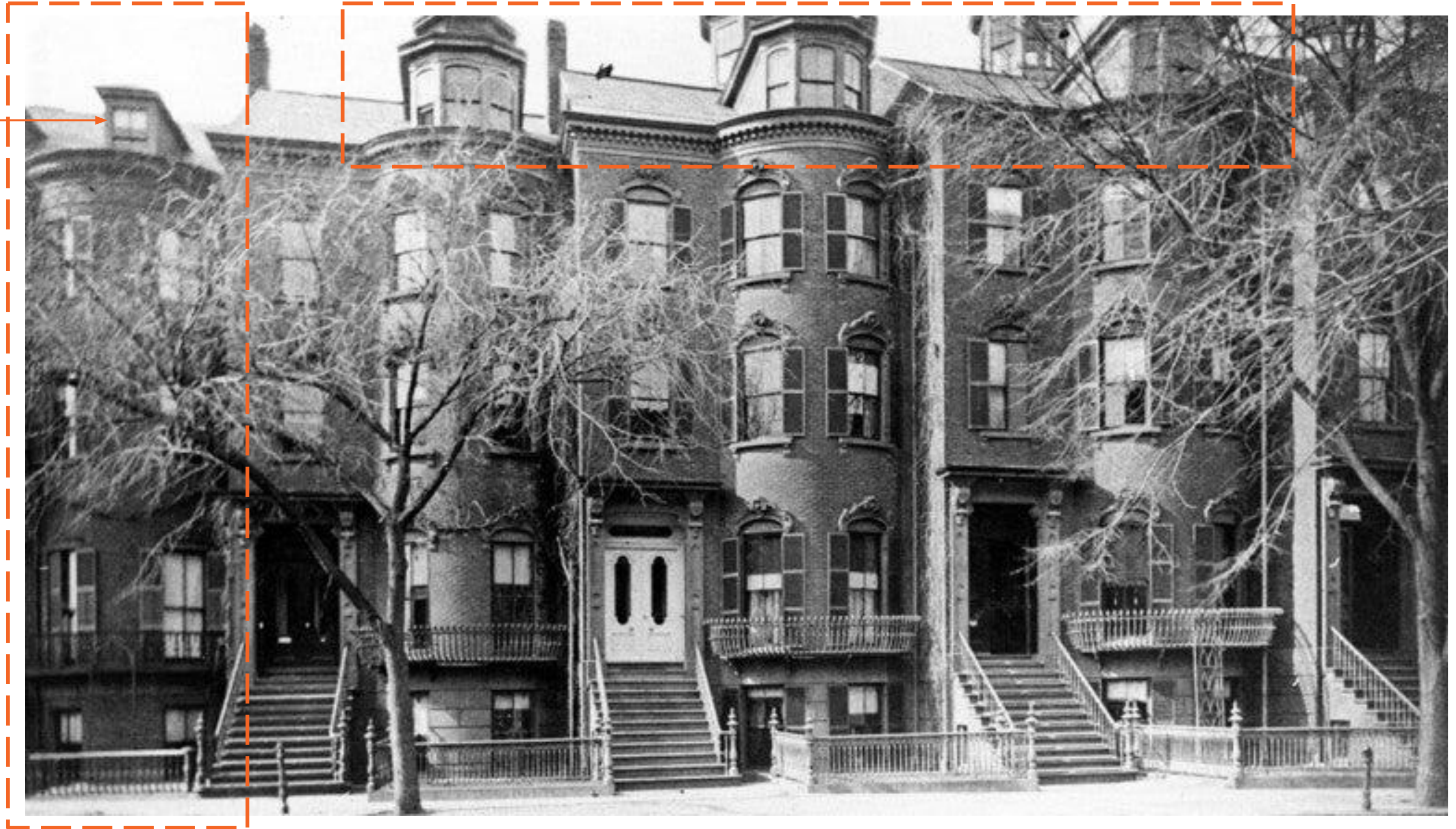
- PLAIN RECTILINEAR FOOTPRINT WITH SHED ROOF
- SQUARE WINDOW SASHES, PAINTED BLACK
- NO CURVED TOPS ON UPPER SASHES
- DORMER CHEEKS FINISHED WITH RECTANGULAR SLATE (LIKELY CLASSIC GREY COLOR)

VIEW OF FRONT ELEVATION

View looking west-southwest of Front Elevation ca. 1900 (*South End Historical Society*)

"BALLOON BAY DORMERS"

SINGLE DORMERS



40 UNION PARK

VIEW OF FRONT ELEVATION

View looking west-southwest (left to right) 40-48 Union Park, ca. 1870-1900 (*The Bostonian Society*)

Rear Dormer

Corresponding Forms: Front & Back



REAR DORMER AT 10 UNION PARK
(ORIGINAL DORMER)



ORIGINAL FRONT DORMER
AT 40 UNION PARK

- COMMON FEATURES:**
- PLAIN RECTILINEAR FOOTPRINT WITH SHED ROOF
 - SQUARE WINDOW SASHES
 - NO CURVED TOPS ON UPPER SASHES
 - DORMER CHEEKS FINISHED WITH RECTANGULAR SLATE (LIKELY CLASSIC GREY COLOR)



REAR DORMER AT 40 UNION PARK

Rear Dormer

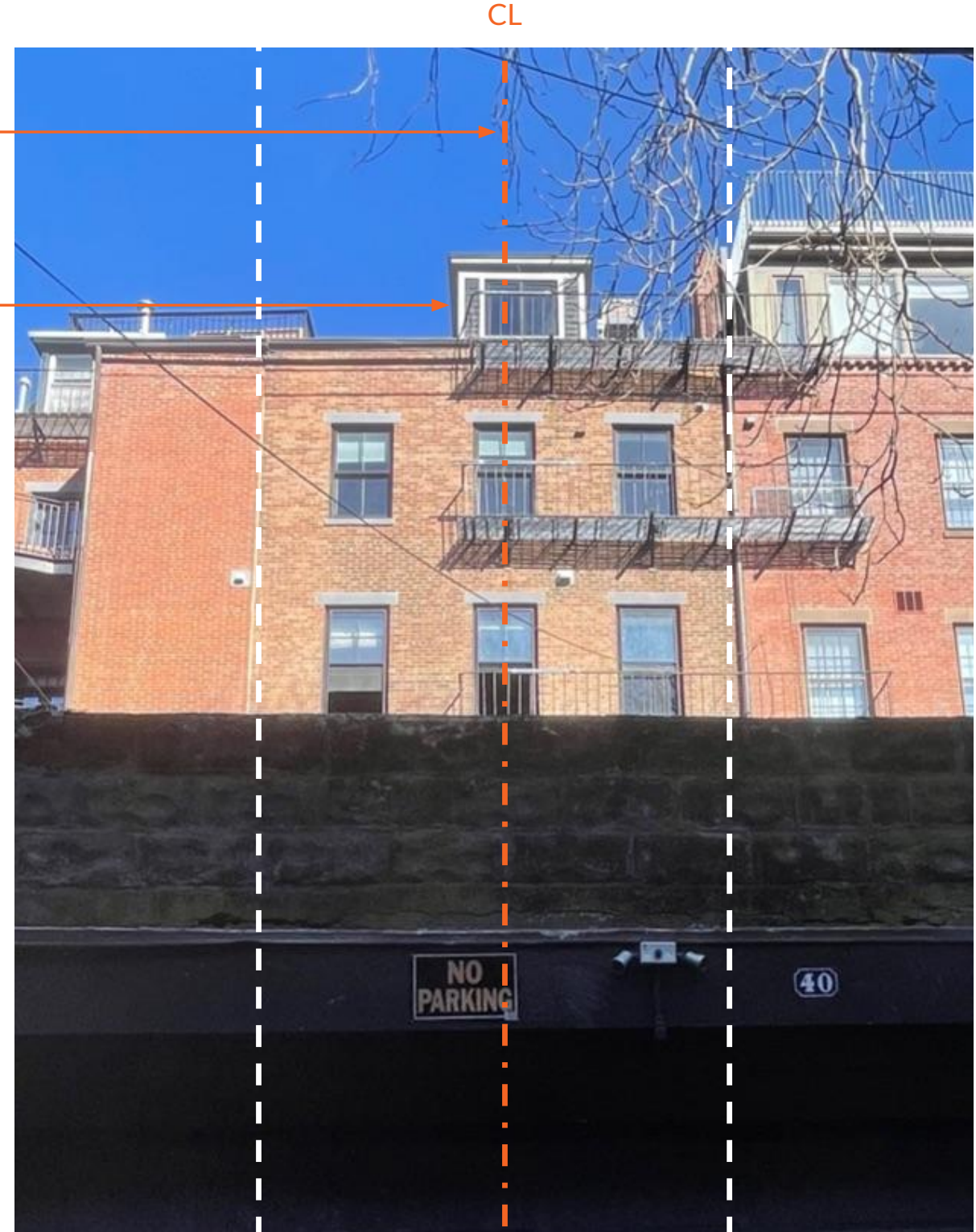
Building Centerlines



10 UNION PARK

OFF-CENTER
PLACEMENT
MISALIGNED W/
REAR WINDOWS

LARGER FOOTPRINT
& HIPPED ROOFLINE,
COMPARED TO
ORIGINAL FRONT
DORMERS W/
NARROW
FOOTPRINT,
SINGLE WINDOWS &
SHED ROOFS



40 UNION PARK

Rear Dormer

Interior Alterations

ROUGH SAWN ACTUAL DIM.
ROOF RAFTER

ROUGH SAWN ROOF SHEATHING

ROUGH SAWN WALL
SHEATHING

MASONRY
KNEE WALL



2X4 NOMINAL TIMBER
HEADER AT
DORMER OPENING

CHOPPED ROOF RAFTER

2X4 NOMINAL TIMBER
CHEEK WALL

2X4 NOMINAL TIMBER
FRAMING AT
ROUGH OPENING



2X4 TIMBER
HEADER AT
DORMER OPENING

CHOPPED ROOF RAFTER

2X4 TIMBER
CHEEK WALL

2X4 TIMBER
FRAMING AT
ROUGH OPENING



INSET VIEW



ROUGH SAWN ROOF RAFTER

DOUBLE RAFTER
SHOWS LIKELY
LOCATION WHERE
DORMER WAS CUT INTO
ROOF FRAMING

CONTINUOUS
MASONRY SILL PLATE

MASONRY KNEE WALL



2X4 TIMBER
COLLAR TIES
& BRACING

2X4 TIMBER
CHEEK WALL

VINYL CASEMENT
WINDOW

2X4 TIMBER
FRAMING AT
ROUGH OPENING

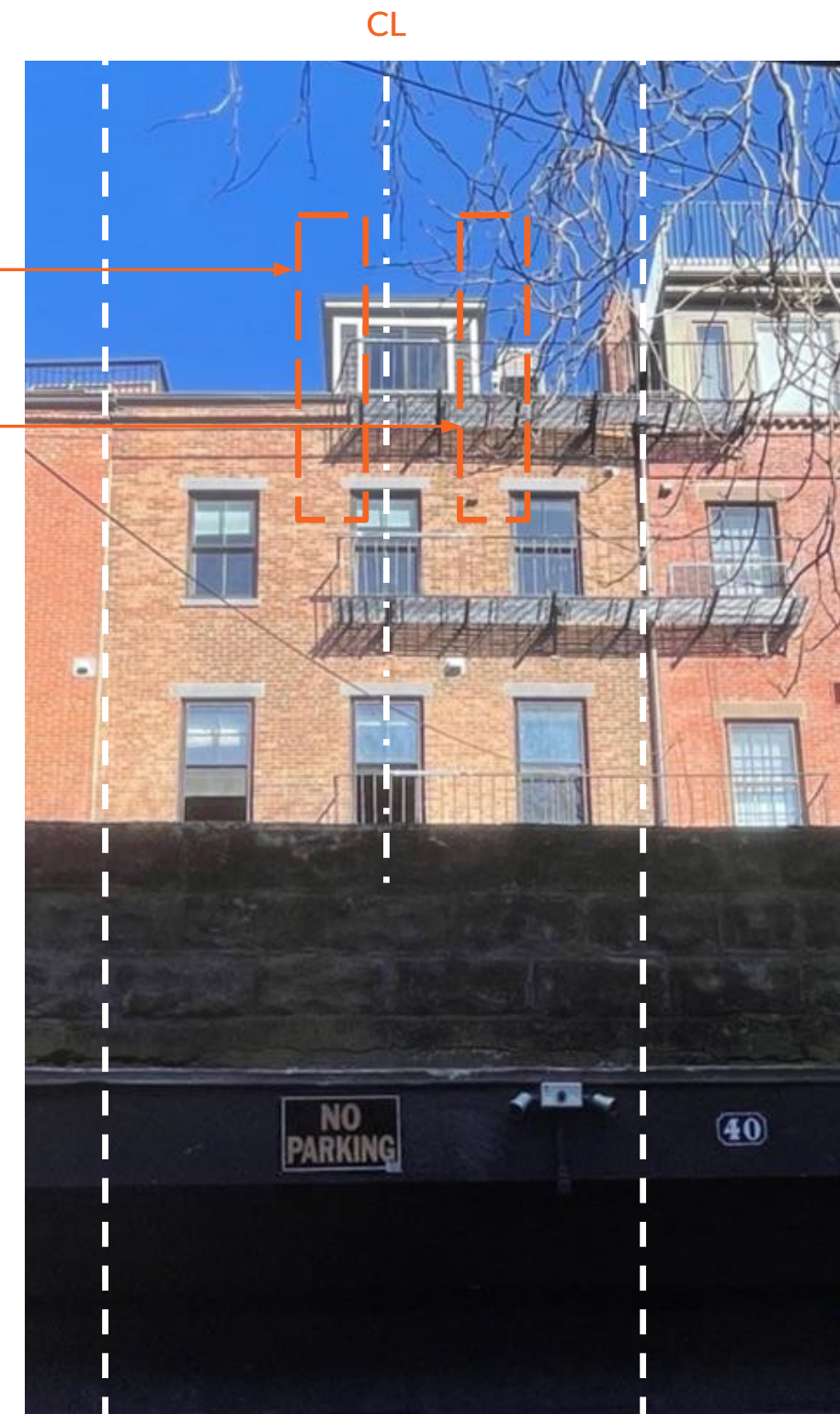
2X4 TIMBER
DOUBLE SILL PLATE AT
DORMER OPENING





LIKELY LOCATION
SINGLE DORMER WALL

LOCATION OF WIDER
DORMER WALL,
RESULTING IN
OFF-CENTER
DORMER
FOOTPRINT



Rear Dormer

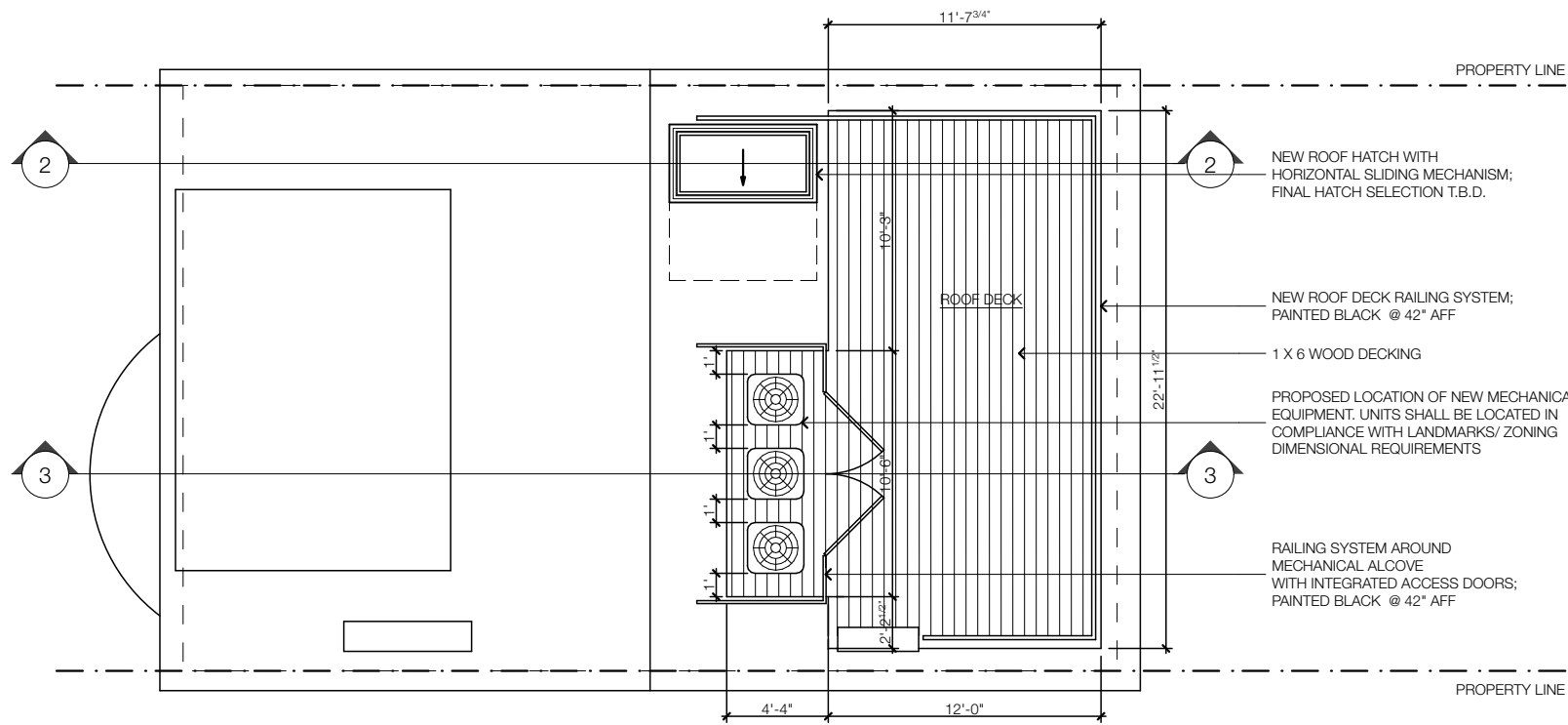
Conclusions

The date of the original dormer is unknown, but it has changed form & footprint over the years. Its original form likely echoed the forms of the narrow single dormers on the front of the building.

As occupancy changed, the upper floors (previously attic space) were converted to habitable space. We contend that the rear dormer footprint has been expanded from its original form - likely between 1928 and 1970 - to create more habitable space under the eaves on the top floor of the building. This is reflective of the change of occupancy from a lodging house with attic space to a 5-apartment building during this period.

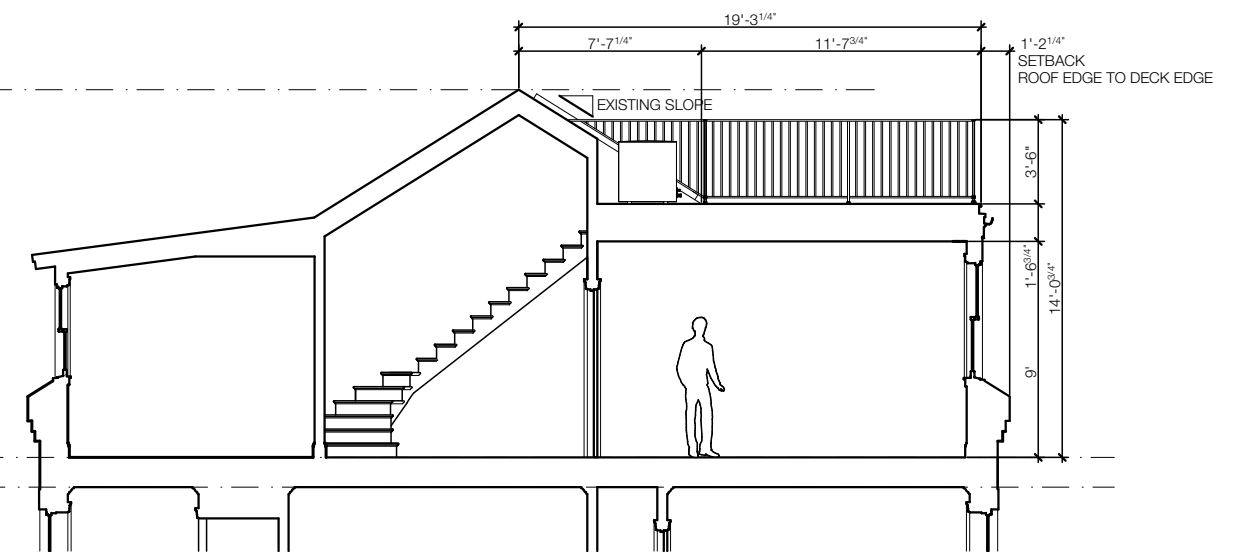
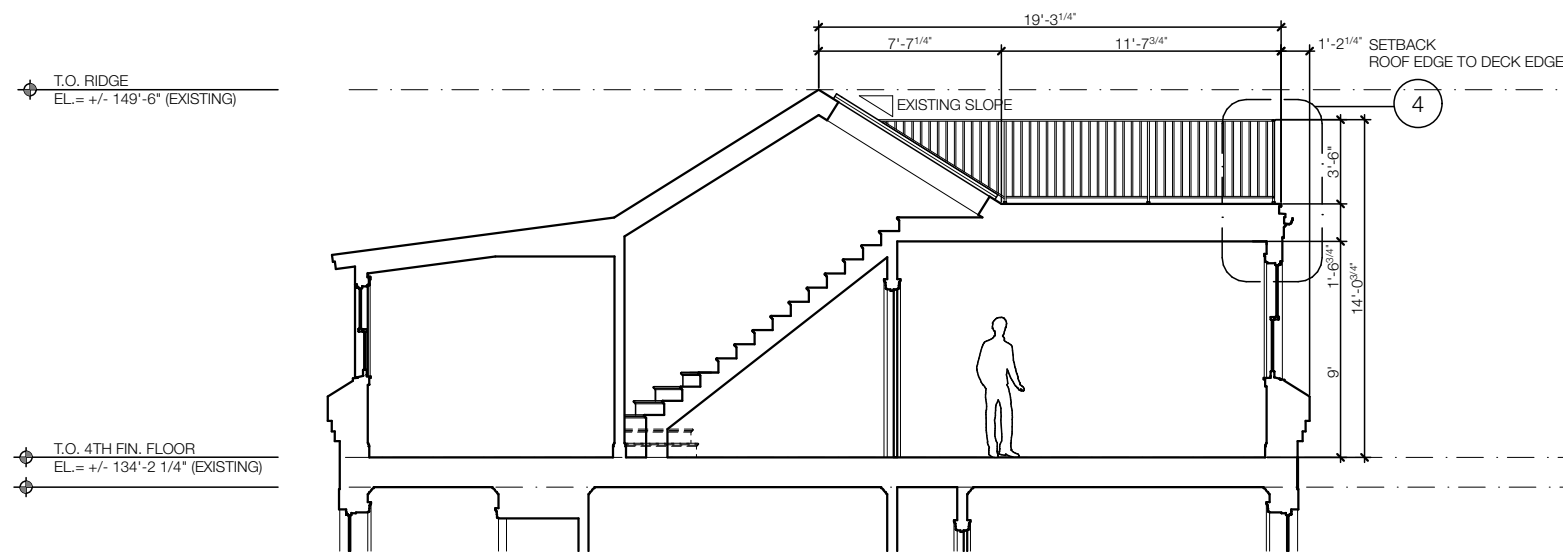
Rear Dormer

Proposed Work



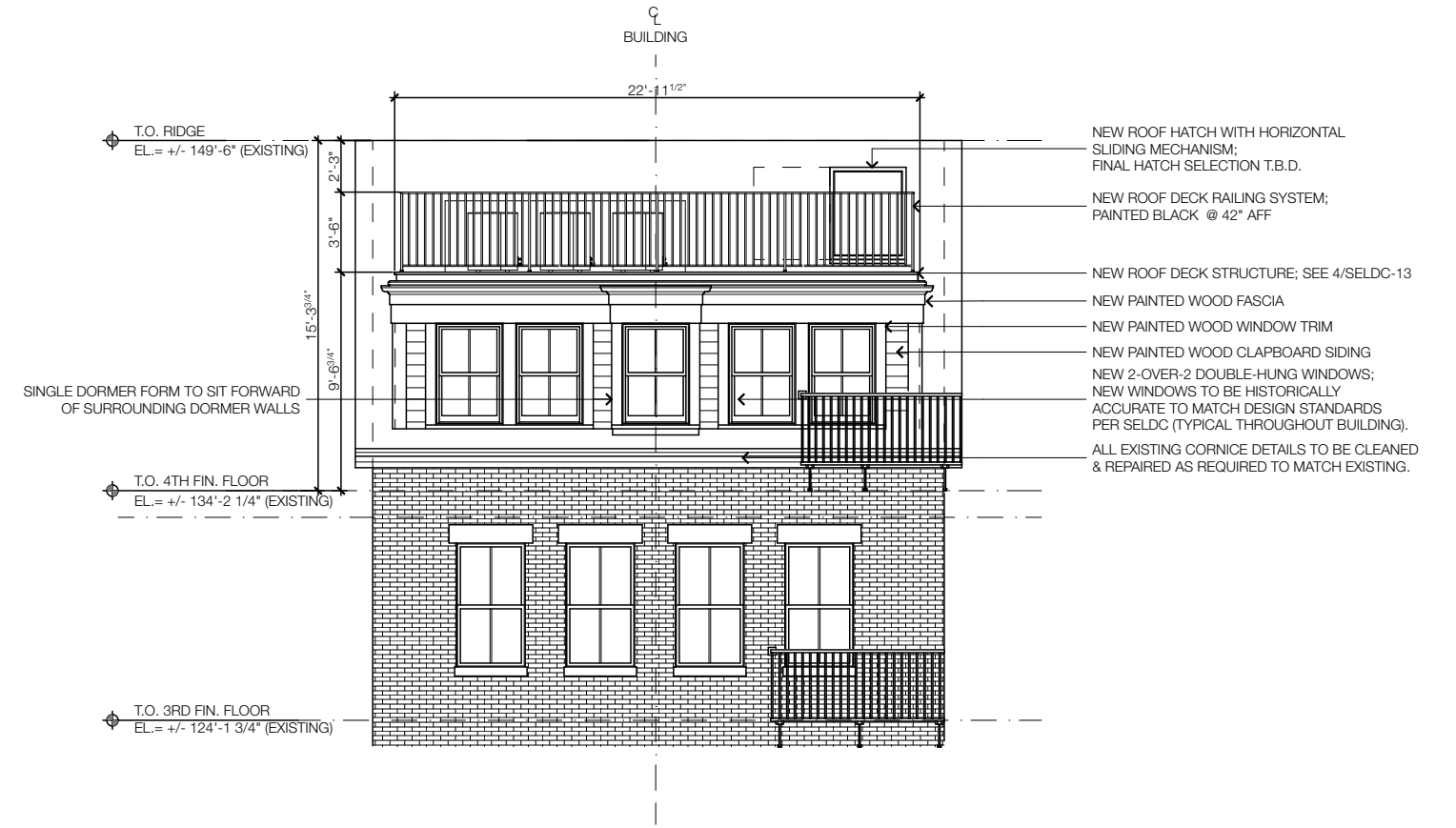
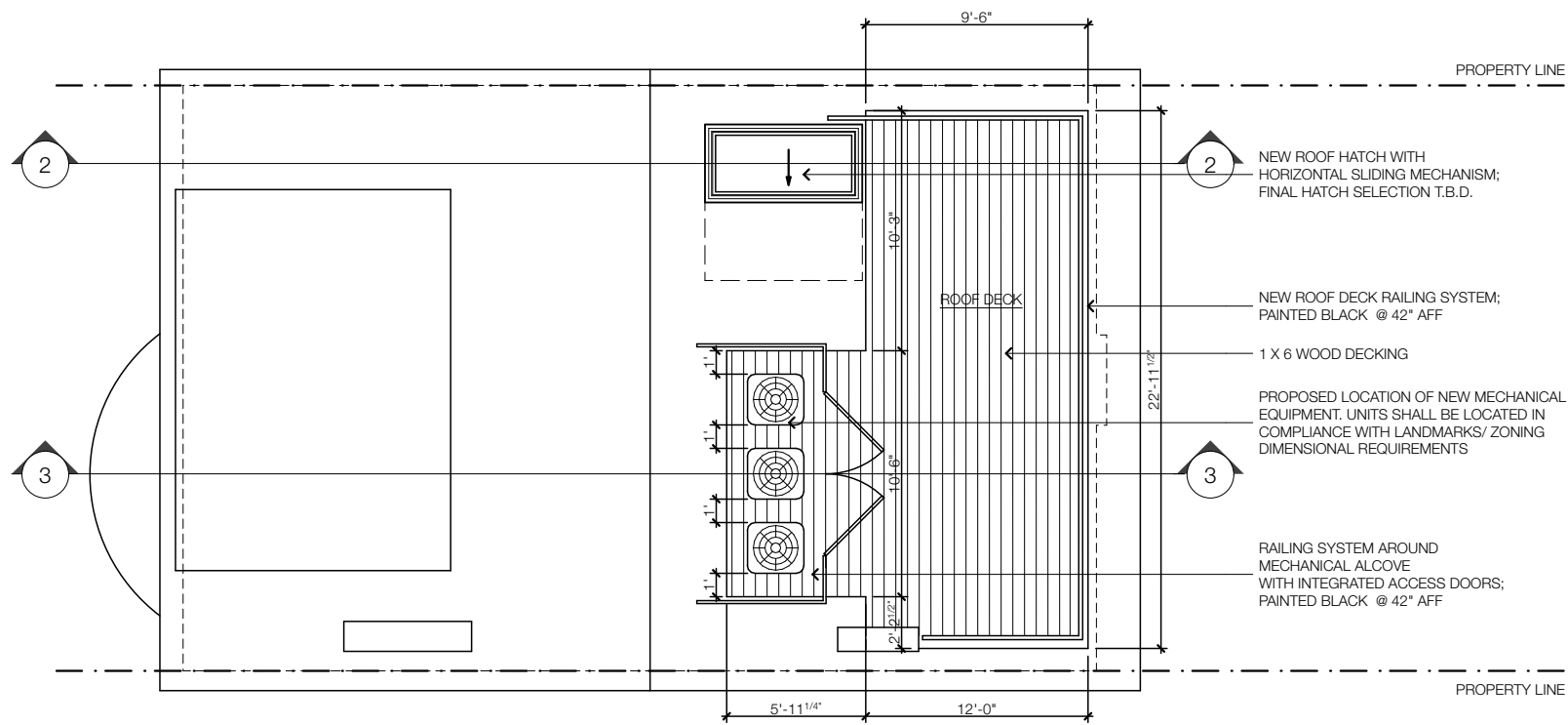
1 PROPOSED ROOF PLAN
1/8" = 1'-0"

4 PARTIAL REAR ELEVATION
1/8" = 1'-0"



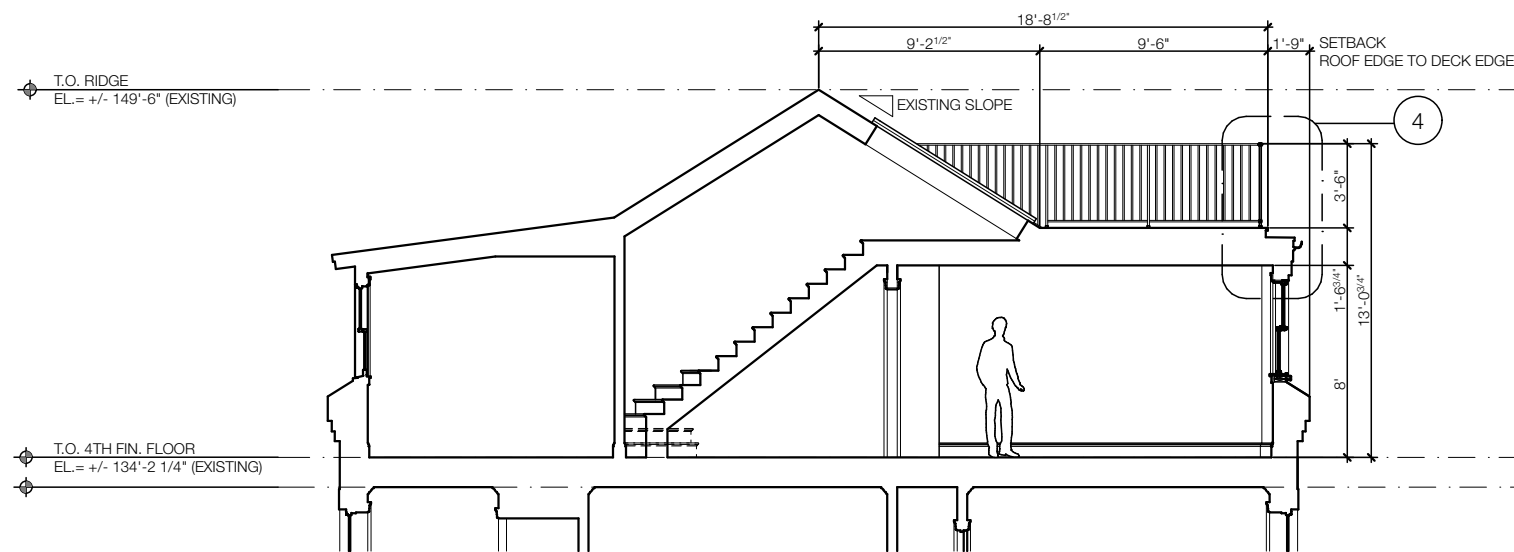
2 PARTIAL SECTION AT ROOF DECK HATCH
1/8" = 1'-0"

3 PARTIAL SECTION AT CONDENSER ALCOVE
1/8" = 1'-0"

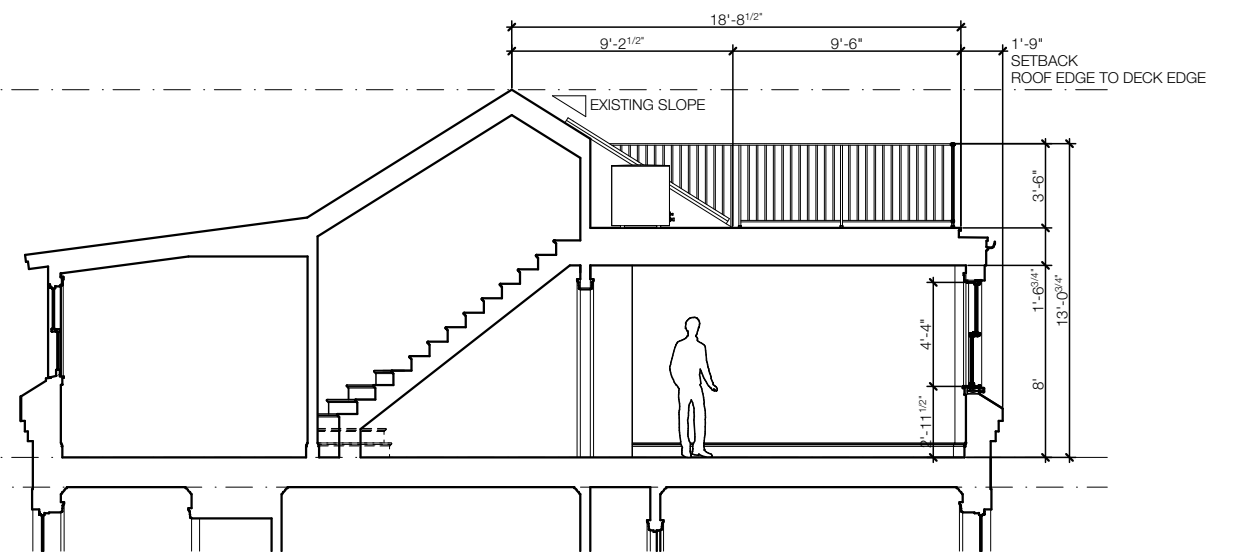


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