



NORSE ENVIRONMENTAL SERVICES, INC.

92 Middlesex Road, Unit 4

Tyngsboro, MA 01879

TEL. (978) 649-9932 • FAX (978) 649-7582

Website: www.norseenvironmental.com

NOTICE OF INTENT

FOR

116 LONDON STREET

WARD 01 PARCEL 05444000

EAST BOSTON, MA

APPLICANT: 116 LONDON STREET LLC

OCTOBER 2022

PROJECT: 116 LONDON STREET – EAST BOSTON

APPLICANT: 116 LONDON STREET LLC

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Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

East Boston

City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>116 London Street</u>	<u>East Boston</u>	<u>02128</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>42.37313</u>	<u>-71.03967</u>	
d. Latitude	e. Longitude	
<u>Ward 01</u>	<u>Parcel 05444000</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Thomas</u>	<u>Walsh, Manager</u>	
a. First Name	b. Last Name	
<u>116 London Street LLC</u>		
c. Organization		
<u>15 Monsignor Albert Jacobbe Road, Unit 326</u>		
d. Street Address		
<u>East Boston</u>	<u>MA</u>	<u>02128</u>
e. City/Town	f. State	g. Zip Code
<u>781-333-9382</u>	<u>twalsh@netwatchusa.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Maureen</u>	<u>Herald</u>	
a. First Name	b. Last Name	
<u>Norse Environmental Services, Inc.</u>		
c. Company		
<u>92 Middlesex Road, Unit 4</u>		
d. Street Address		
<u>Tyngsboro</u>	<u>MA</u>	<u>01879</u>
e. City/Town	f. State	g. Zip Code
<u>978-649-9932</u>	<u>mail@norseenv.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$110.00</u>	<u>\$42.50</u>	<u>\$67.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

The applicant is proposing to install rooftop infiltration within Land Subject to Coastal Storm Flowage (LSCSF).

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input checked="" type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk County ROD

a. County

61888

c. Book

b. Certificate # (if registered land)

34

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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Bureau of Resource Protection - Wetlands

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced

- f. Riverfront Area
- Name of Waterway (if available) - specify coastal or inland
 - Width of Riverfront Area (check one):
 - 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

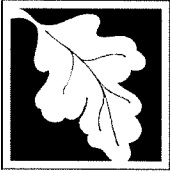
_____	_____	_____
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	295 s.f. _____	
	1. square feet _____	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW _____	b. square feet of Salt Marsh _____
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings _____	b. number of replacement stream crossings _____



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
 Division of Fisheries and Wildlife
 1 Rabbit Hill Road
 Westborough, MA 01581

- 2022 _____
 b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

- Percentage/acreage of property to be altered:

(a) within wetland Resource Area	
	percentage/acreage
(b) outside Resource Area	
	percentage/acreage

- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - Project description (including description of impacts outside of wetland resource area & buffer zone)
 - Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/mass-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

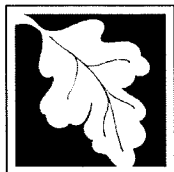
D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

116 London Street, East Boston, MA

a. Plan Title

Spruhan Engineering & Peter Nolan Assoc

Edmund T. Spruhan, P.E. & Peter Nolan P.L.S.

b. Prepared By

c. Signed and Stamped by

3/15/2022 & 10/26/19

d. Final Revision Date

e. Scale

Proposed Renovations and 4th Story Addition to: 116 London Street

3/15/2022

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. Attach NOI Wetland Fee Transmittal Form
9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

City of Boston Check #1243

10/5/2022

2. Municipal Check Number

3. Check date

Commonwealth of MA Check #1244

10/5/2022

4. State Check Number

5. Check date

Steven

Eriksen

6. Payor name on check: First Name

7. Payor name on check: Last Name



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Provided by MassDEP:

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City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

[Handwritten Signature]

10/03/22

[Handwritten Signature]

10/15/22

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



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NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

116 London Street East Boston
 a. Street Address b. City/Town
Check #1244 \$42.50
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Thomas Walsh, Manager
 a. First Name b. Last Name
116 London Street LLC
 c. Organization
15 Monsignor Albert Jacobbe Road, Unit 326
 d. Mailing Address
Boston MA 02128
 e. City/Town f. State g. Zip Code
781-333-9382 twalsh@netwatchusa.com
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

a. First Name b. Last Name

 c. Organization

 d. Mailing Address

 e. City/Town f. State g. Zip Code

 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



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B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 1(a)	1	\$110.00	\$110.00

Step 5/Total Project Fee: \$110.00

Step 6/Fee Payments:

Total Project Fee:	\$110.00
State share of filing Fee:	\$42.50
City/Town share of filing Fee:	\$67.50
	a. Total Fee from Step 5
	b. 1/2 Total Fee less \$12.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



116 London Street
a. Street Address
East Boston
b. City/Town
02128
c. Zip Code
Ward 01
f. Assessors Map/Plat Number
Parcel 05444000
g. Parcel /Lot Number

2. Applicant

Thomas
a. First Name
Walsh, Manager
b. Last Name
116 London Street, LLC
c. Company

15 Monsignor Albert Jacobbe Road, Unit 326
d. Mailing Address

Boston
e. City/Town
MA
f. State
02128
g. Zip Code

781-333-9382
h. Phone Number
i. Fax Number
i.i. Fax
twalsh@netwatchusa.com
j. Email address

3. Property Owner Number City/To

Thomas
a. First Name
Walsh, Manager
b. Last Name
116 London Street LLC
c. Company

15 Monsignor Albert Jacobbe Road, Unit 326
d. Mailing Address

Boston
e. City/Town
MA
f. State
02128
g. Zip Code

781-333-9382
h. Phone Number
i. Fax Number
j. Email address
twalsh@netwatchusa.com

Check if more than one owner Peter Ryan, Manager

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

Maureen
a. First Name
Herald
b. Last Name
Norse Environmental Services, Inc.
c. Company

92 Middlesex Road, Unit 4
d. Mailing Address

Tyngsboro
MA
01879
g. Zip Code

978-649-9932
h. Phone Number
i. Fax Number
j. Email address
mail@norseenv.com



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

Proposing to install rooftop infiltration within Land Subject to Coastal Storm Flowage (LSCSF).

7. Project Type Checklist

- a. Single Family Home
- b. Residential Subdivision
- c. Limited Project Driveway Crossing
- d. Commercial/Industrial
- e. Dock/Pier
- f. Utilities
- g. Coastal Engineering Structure
- h. Agriculture – cranberries, forestry
- i. Transportation
- j. Other

8. Property recorded at the Registry of Deeds

Suffolk County ROD

a. County

61888

c. Book

b. Page Number

34

d. Certificate # (if registered land)

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes No

1. Coastal Resource Areas

Resource Area

- Coastal Flood Resilience Zone

Resource Area Size

Square feet

Proposed Alteration*

Square feet

Proposed Mitigation

Square feet



25-foot Waterfront Area _____
Square feet Square feet Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Isolated Wetlands	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.

Yes No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

- Percentage/acreage of property to be altered:
 - (1) within wetland Resource Area _____
percentage/acreage
 - (2) outside Resource Area _____
percentage/acreage
- Assessor's Map or right-of-way plan of site

2. Is the proposed project subject to provisions of the Massachusetts Stormwater Management No.

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

Yes No



4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
 - Applying for a Low Impact Development (LID) site design credits
 - A portion of the site constitutes redevelopment
 - Proprietary BMPs are included in the Stormwater Management System
- No. Check below & include a narrative as to why the project is exempt
 - Single-family house
 - Emergency road repair
 - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?

- Yes No

D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

Signature of Applicant

10/03/22

Date

Signature of Property Owner (if different)

Date

Signature of Representative (if any)

10/5/22

Date



NOTIFICATION TO ABUTTERS BOSTON CONSERVATION COMMISSION

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. 116 London Street LLC has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and/or the Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is 116 London Street East Boston, MA.

C. The project involves installation of an infiltration system within Land Subject to Coastal Storm Flowage (LSCSF).

D. Copies of the application may be obtained by contacting the Boston Conservation Commission at CC@boston.gov.

E. Copies of the application may be obtained from Norse Environmental Services, Inc. by contacting them at mail@norseenv.com between the hours of 8 am - 6 pm M-TH, F/till noon.

F. In accordance with the Chapter 107 of the Acts of 2022, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing CC@boston.gov or calling (617) 635-3850 between the hours of 9 AM to 5 PM, Monday through Friday.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on www.boston.gov/public-notices and in Boston City Hall not less than forty-eight (48) hours in advance. If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

NOTE: If you plan to attend the public hearing and are in need of interpretation, please notify staff at CC@boston.gov by 12 PM the day before the hearing.



NOTIFICACIÓN A ABUTTERS BOSTON CONSERVATION COMMISSION

De acuerdo con la Ley de Protección de Humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza de Humedales de Boston, por la presente se le notifica como abutter a un proyecto presentado ante la Comisión de Conservación de Boston.

- A. 116 London Street LLC tiene Presentado a Aviso de intención con Boston Conservation Comisión que solicita permiso para alterar un Área Sujeta a Protección bajo la Ley de Protección de Humedales (Leyes Generales Capítulo 131, sección 40) y / o la Ordenanza de Humedales de Boston.
- B. La dirección del lote donde se propone la actividad es 116 London Street East Boston MA.
1. El proyecto implica la proponiendo instalar infiltración en la azotea dentro de la tierra sujeta a flujo de tormenta costera LSCSF.
- C. Se pueden obtener copias de la solicitud poniéndose en contacto con la Comisión de Conservación de Boston en CC@boston.gov.
- D. Se pueden obtener copias de la solicitud en Norse Environmental Services, Inc. poniéndose en contacto con ellos en mail@norseenv.com entre las 8 am - 6 pm de Lunes a Jueves, F / hasta el mediodía.
- E. De conformidad con el Capítulo 107 de las Leyes de 2022, la audiencia pública se llevará a cabo **virtualmente** en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar el ID de reunión 686 458 2044 # y usar # como su ID de participante.
- F. La información sobre la fecha y hora de la audiencia pública se puede obtener de la **Comisión de Conservación de Boston** enviando un correo electrónico a CC@boston.gov o llamando al **(617) 635-3850** entre las horas de **9 a.m. a 5 p.m., de lunes a viernes.**

NOTA: El aviso de la audiencia pública, incluyendo su fecha, hora y lugar, se publicará con al menos cinco (5) días de anticipación en el **Boston Herald**.

NOTA: El aviso de la audiencia pública, incluida su fecha, hora y lugar, se publicará [en www.boston.gov/public-notices](http://www.boston.gov/public-notices) y en el Ayuntamiento de Boston con no menos de cuarenta y ocho (48) horas de anticipación. Si desea proporcionar comentarios, puede asistir a la audiencia pública o enviar comentarios por escrito a CC@boston.gov o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201

NOTA: Si desea proporcionar comentarios, puede asistir a la audiencia pública o enviar comentarios por escrito a CC@boston.gov o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con DEP, llame a: la Región Noreste: (978) 694-3200.

NOTA: Si planea asistir a la audiencia pública y necesita interpretación, notifique al personal de CC@boston.gov antes de las 12 PM del día anterior a la audiencia.



BABEL NOTICE

English:

IMPORTANT! This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at cc@boston.gov or 617-635-3850.

Spanish:

¡IMPORTANTE! Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico cc@boston.gov o llamando al 617-635-3850.

Haitian Creole:

AVI ENPÒTAN! Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan cc@boston.gov oswa 617-635-3850.

Traditional Chinese:

非常重要！這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 cc@boston.gov 電話# 617-635-3850..

Vietnamese:

QUAN TRỌNG! Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ cc@boston.gov hoặc số điện thoại 617-635-3850.

Simplified Chinese:

非常重要！这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联系我们的邮箱 cc@boston.gov 电话# 617-635-3850.

Cape Verdean Creole:

INPURTANTI! Es dokumentu ó aplikason ten **informason inpurtanti** sobri bu direitus, rasponsabilidadis i/ó benefisius. Ê krusial ki bu intendi informason na es dokumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na cc@boston.gov ó 617-635-3850.

Arabic:

مهم! يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائدها. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على

617-635-3850 أو cc@boston.gov

Russian:

ВАЖНО! В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты cc@boston.gov, либо по телефону 617-635-3850.

Portuguese:

IMPORTANTE! Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: cc@boston.gov ou 617-635-3850.

French:

IMPORTANT ! Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à cc@boston.gov ou au 617-635-3850.



COVID-19 INFORMATION

([HTTPS://WWW.BOSTON.GOV/GOVERNMENT/CABINETS/BOSTON-PUBLIC-HEALTH-COMMISSION/COVID-19-BOSTON](https://www.boston.gov/government/cabinets/boston-public-health-commission/covid-19-boston))

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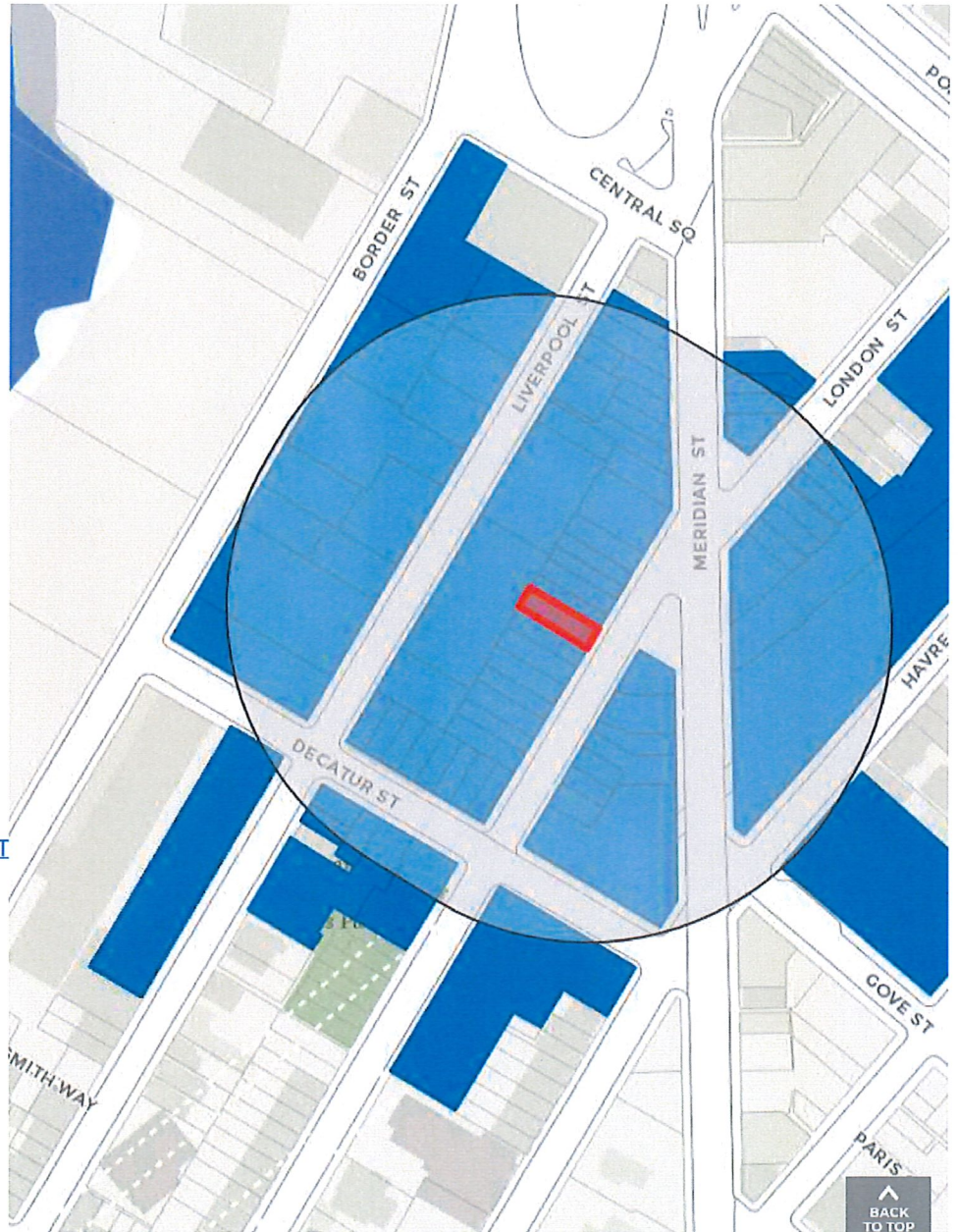
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105440100	122 LONDON ST 4	2128 CHESS VICTORIA	350 3RD ST #709	CAMBRIDGE	MA	2142
105440050	124 LONDON ST 3	2128 BARRERA MARIA LOERA CHAVEZ	124 LONDON ST #3	EAST BOSTON	MA	2128
105590200	78 106 LIVERPOOL ST	2128 COPPERSMITH CONDOMINIUM TRUST	143 BORDER ST	EAST BOSTON	MA	2128
105897000	137 141 MERIDIAN ST 3	2128 SEELEY JAMES	72 HILLSIDE DR	CENTERVILLE	MA	2632
105590200	92 LIVERPOOL ST 8	2128 TSENG LEIN WEI	92 LIVERPOOL ST, UNIT 8	EAST BOSTON	MA	2128
105866000	121 127 MERIDIAN ST	2128 SCHIRRIPA FRANK TS	84 JUNIPER DR	SAUGUS	MA	1906
105518000	89 LONDON ST	2128 T MOBILE NORTHEAST LLC	12920 SE 38TH ST	BELLEVUE	WA	98006
105440050	124 LONDON ST 1A	2128 ZAVAS ELVIN	124 LONDON ST # 1A	EAST BOSTON	MA	2128
105423000	108 110 LIVERPOOL ST	2128 SOLOMON JOSEPH TRST	129 BORDER ST &	E BOSTON	MA	2128
105440100	122 LONDON ST 3	2128 PANIAGUA JUAN P	16 KNOLL ST	ROSLINDALE	MA	2131
105470000	131 LONDON ST 2	2128 PINEDA MIGUEL	131 LONDON ST #2	E BOSTON	MA	2128
105423000	34 DECATUR ST	2128 BARNSTABLE VILLAGE	3 ALTON PLACE SUITE #2	BROOKLINE	MA	2446
105456000	26 DECATUR ST	2128 TWENTY SIX DECATUR LLC	50 FRANKLIN ST STE 400	EAST BOSTON	MA	2110
105433000	136 138 MERIDIAN ST	2128 NIGRO ISABELLE ETAL	PO BOX 14	EAST BOSTON	MA	2128
105450000	104 LONDON ST	2128 GOMEZ BERRIO JUAN D	104 LONDON ST	EAST BOSTON	MA	2128
105459000	20 DECATUR ST	2128 CONTRADA ANTONIO	124 HOWARD ST	SAUGUS	MA	1906
105590200	86 LIVERPOOL ST 5	2128 NGUYEN QUYEN H	86 LIVERPOOL ST, UNIT 5	EAST BOSTON	MA	2128
105569000	LIVERPOOL ST	2128 MASS TURNPIKE AUTHORITY	LIVERPOOL	EAST BOSTON	MA	2128
105464001	LIVERPOOL ST	2128 POULIN ISABELLA NIGRO ETAL	84 CALDWELL FARM RD	EAST BOSTON	MA	2128
105897000	137 141 MERIDIAN ST C-2	2128 GREGORY ROBERT J TS	PO BOX 14	EAST BOSTON	MA	2128
105468000	102 MERIDIAN ST	2128 MERIDIAN ROOMS INC	84 CALDWELL FARM RD	BYFIELD	MA	1922
105869000	127 129 LONDON ST	2128 ANDRADE MIGUEL	100 MERIDIAN ST	EAST BOSTON	MA	2128
105439000	126 128 LONDON ST	2128 EB WHITE DIAMOND LLC	129 LONDON ST	EAST BOSTON	MA	2128
105574000	107 LIVERPOOL ST	2128 THE 107 LIVERPOOL ST CONDO	50 FRANKLIN ST SUITE 400	BOSTON	MA	2128
105868000	123 125 LONDON ST	2128 CALSIMITTO DONNA	107 LIVERPOOL ST	EAST BOSTON	MA	2110
105447000	110 LONDON ST	2128 URSINO VINCENZA	123 LONDON ST	E BOSTON	MA	2128
105440100	122 LONDON ST	2128 ONE 22 LONDON ST CONDO TR	110 LONDON	EAST BOSTON	MA	2128
105590200	80 LIVERPOOL ST 2	2128 CARDOSI MATTHEW P	1 ROBIN HILL RD	DANVERS	MA	1923
105479000	101 LONDON ST	2128 WOOHOO HOLDINGS LLC	80 LIVERPOOL ST, UNIT 2	EAST BOSTON	MA	2128
105590200	84 LIVERPOOL ST 4	2128 CHEREF KAMAL	328 A ST UNIT 1A	BOSTON	MA	2210
105590200	96 LIVERPOOL ST 10	2128 SAFFOLD LAURA R	84 LIVERPOOL ST, UNIT 4	EAST BOSTON	MA	2128
105897000	137 141 MERIDIAN ST C-1	2128 GREGORY ROBERT J TS	96 LIVERPOOL ST, UNIT 10	EAST BOSTON	MA	2128
105422000	150 LIVERPOOL ST	2128 BIG ONE HUNDRED FIFTY TRUST	84 CALDWELL FARM RD	BYFIELD	MA	1922
105453000	DECATUR ST	2128 BARNSTABLE VILLAGE	150 LIVERPOOL ST APT 7	EAST BOSTON	MA	2128
105440100	122 LONDON ST 5	2128 MALANDRINO MOLLY RAE	8 ALTON PL STE 2	BROOKLINE	MA	2446
105460000	111 113 LIVERPOOL ST	2128 BIG JURASSIC PARKING LOT TRUST	122 LONDON ST #5	EAST BOSTON	MA	2128
105420020	156 LIVERPOOL ST	2128 CASTIELLO GINO	150 LIVERPOOL ST APT 7	EAST BOSTON	MA	2128
105440050	124 LONDON ST 2	2128 SACHS ERIC	156 LIVERPOOL ST	E BOSTON	MA	2128
105590200	78 LIVERPOOL ST 1	2128 PAN YUNCHI	124 LONDON ST # 2	EAST BOSTON	MA	2128
105417000	62 WM C KELLY SQ	2128 WILLIAM KELLY SQUARE LLC	78 LIVERPOOL ST, UNIT 1	EAST BOSTON	MA	2128
105470000	MERIDIAN ST	2128 MASS TURNPIKE AUTHORITY	103 CLAYTON ST	DORCHESTER	MA	2122
105897000	137 141 MERIDIAN ST 2	2128 KORKORIAN GREG B	141 MERIDIAN ST, UNIT 2	EAST BOSTON	MA	2128
105462000	151 153 LIVERPOOL ST	2128 CITY POINT LIVERPOOL LLC	1 GATEWAY CENTER SUITE #613	EAST BOSTON	MA	2128
105424000	129 BORDER ST	2128 FELDMAN SOLOMON	129 BORDER ST &	NEWTON	MA	2458
105590200	90 LIVERPOOL ST 7	2128 HAJIJA YOUSSEF	90 LIVERPOOL ST, UNIT 7	EAST BOSTON	MA	2128
105590200	102 LIVERPOOL ST 13	2128 NABHAN CHRISTOPHER	102 LIVERPOOL ST, UNIT 13	EAST BOSTON	MA	2128
105871000	133 LONDON ST	2128 MENDOZA WILFREDO P	133 LONDON ST	E BOSTON	MA	2128
105896000	149 LONDON ST	2128 CITY OF BOSTON	149 LONDON	EAST BOSTON	MA	2128
105898000	143 145 MERIDIAN ST	2128 143-145 MERIDIAN STREET LLC	18 CLAREMONT PK	BOSTON	MA	2118
105440050	124 LONDON ST	2128 ONE 24 LONDON STREET	124 LONDON ST	EAST BOSTON	MA	2128
105575000	109 LIVERPOOL ST	2128 LIVERPOOL CENTRAL MAV 109 LLC	126 MAIN ST	EAST BOSTON	MA	2471
105574000	107 LIVERPOOL ST 2	2128 THOMPSON SETH	107 LIVERPOOL ST # 2	EAST BOSTON	MA	2128
105899000	147 149 MERIDIAN ST	2128 EAST BOSTON MANAGEMENT &	8 ALTON PL SUITE : 2B	BROOKLINE	MA	2446
105870000	131 LONDON ST 1	2128 RIZKALLA MICHAEL	131 LONDON ST #1	EAST BOSTON	MA	2128
105435000	128 130 MERIDIAN ST	2128 NIGRO IDA	PO BOX 14	EAST BOSTON	MA	2128
105858000	HAVRE ST	2128 MASS TURNPIKE AUTHORITY	HAVRE	EAST BOSTON	MA	2128

ABUTTERS LIST: 116 LONDON STREET - EAST BOSTON

GIS_ID	FULL_ADDRESS	CITY	ZIPCODE	OWNER	ADDRESSEE	MAIL_ADDRESS	MAIL_CS	STATE	MAIL_ZIPCODE
105444000	116 LONDON ST	EAST BOSTON	2128	116 LONDON STREET LLC		116 LONDON ST	EAST BOSTON	MA	2128
105427000	143 BORDER ST	EAST BOSTON	2128	PEACE PROPERTIES INC		143 BORDER ST	E BOSTON	MA	2128
105431000	146 MERIDIAN ST	EAST BOSTON	2128	CALLEJAS REAL ESTATE LLC MASS LLC	C/O JOSE E CALLEJAS, RA	444 SUMNER ST	EAST BOSTON	MA	2128
105815000	10 GOVE ST	EAST BOSTON	2128	EAST BOSTON NEIGHBORHOOD		10 GOVE ST	EAST BOSTON	MA	2128
105458000	22 DECATUR ST	EAST BOSTON	2128	KIAER JOHN		25 PARK AV	WINCHESTER	MA	1890
105419000	160 162 LIVERPOOL ST	EAST BOSTON	2128	CASTIELLO GIOVANNI		160 LIVERPOOL	EAST BOSTON	MA	2128
105427000	143 BORDER ST	EAST BOSTON	2128	PEACE PROPERTIES INC		143 BORDER ST	EAST BOSTON	MA	2128
105446000	112 LONDON ST	EAST BOSTON	2128	GERARDI REALTY TRUST		112 LONDON ST	EAST BOSTON	MA	2128
105449000	106 LONDON ST	EAST BOSTON	2128	EVERBANK		301 WEST BAY ST	JACKSONVILLE	FL	32202
105455000	28 DECATUR ST	EAST BOSTON	2128	IGOE JOHN J		28 DECATUR ST	EAST BOSTON	MA	2128
105900000	151 153 MERIDIAN ST	EAST BOSTON	2128	ONE FIFTY ONE MERIDIAN LLC	C/O DAVID SHULMAN	50 FRANKLIN ST #400	BOSTON	MA	2110
105461000	121 123 LIVERPOOL ST	EAST BOSTON	2128	BIG JURASSIC PARKING LOT TRUST		150 LIVERPOOL ST APT 7	EAST BOSTON	MA	2128
105427000	143 BORDER ST	EAST BOSTON	2128	WALK FOR HUNGER INC		143 BORDER ST #B	E BOSTON	MA	2128
105533000	DECATUR ST	EAST BOSTON	2128	MASSACHUSETTS DEPARTMENT OF	C/O MASSDOT	10 PARK PLAZA ROOM 6160	BOSTON	MA	2110
105445000	114 LONDON ST	EAST BOSTON	2128	ZORAKI AHMAD R		114 LONDON ST	EAST BOSTON	MA	2128
105872000	135 LONDON ST	EAST BOSTON	2128	MODI JACQUELINE		135 LONDON ST	E BOSTON	MA	2128
105428000	155 173 BORDER ST	EAST BOSTON	2128	CRUOLO RAPHAEL	C/O RAPHAEL CRUOLO	157 COLERIDGE ST	EAST BOSTON	MA	2128
105427000	143 153 BORDER ST	EAST BOSTON	2128	ONE-43-153 BORDER ST CONDO	C/O N O A H PROP MANAGER	143 BORDER ST	E BOSTON	MA	2128
105867000	119 121 LONDON ST	EAST BOSTON	2128	DOMINIC AVELLANI MARITAL TRUST	C/O PAMELA M AVELLANI	12 ASH AV	SOMERVILLE	MA	2145
105590200	88 LIVERPOOL ST 6	EAST BOSTON	2128	SU GUOQUAN		88 LIVERPOOL ST, UNIT 6	EAST BOSTON	MA	2128
105420010	158 LIVERPOOL ST	EAST BOSTON	2128	CASTIELLO GIOVANNI		158 LIVERPOOL ST	E. BOSTON	MA	2128
105590200	100 LIVERPOOL ST 12	EAST BOSTON	2128	CRUIZ JUAN G SAAVEDRA DE LA	C/O JUAN G SAAVEDRA DE LA CRUIZ	100 LIVERPOOL ST #12	EAST BOSTON	MA	2128
105574000	107 LIVERPOOL ST 1	EAST BOSTON	2128	ST JEAN ERIK	C/O ERIK ST JEAN	107 LIVERPOOL ST # 1	EAST BOSTON	MA	2128
105440050	124 LONDON ST 4	EAST BOSTON	2128	DOHERTY SHAWN M		124 LONDON ST # 4	EAST BOSTON	MA	2128
105518000	89 LONDON ST	EAST BOSTON	2128	AT&T	AT& T SERVICES TOWER PROP. TAX TEAM	754 PEACHTREE ST 16TH FLOOR	ATLANTA	GA	30308
105466000	104 106 MERIDIAN ST	EAST BOSTON	2128	ONE ZERO FOUR MERIDIAN LLC		50 FRANKLIN ST #400	BOSTON	MA	2110
105448000	108 LONDON ST	EAST BOSTON	2128	MELGAR HECTOR GONZALEZ		108 LONDON ST	EAST BOSTON	MA	2128
105438000	130 LONDON ST	EAST BOSTON	2128	IGLESIA DEL DIOS VIVO	C/O IGLESIA DEL DIOS VIVO CORP	130 LONDON ST	EAST BOSTON	MA	2128
105478000	99 LONDON ST	EAST BOSTON	2128	SINICKAS AUDRIS	C/O TAMPA LFC UNION	PO BOX 95	S BOSTON	MA	2127
105590200	94 LIVERPOOL ST 9	EAST BOSTON	2128	CERRATO DEAN E		94 LIVERPOOL ST, UNIT 9	EAST BOSTON	MA	2128
105421000	152 154 LIVERPOOL ST	EAST BOSTON	2128	LIVERPOOL ONE FIFTY TWO LLC		50 FRANKLIN ST #400	BOSTON	MA	2110
105436000	124 126 MERIDIAN ST	EAST BOSTON	2128	NIGRO EUPREMIO TRSTS		PO BOX 14	EAST BOSTON	MA	2128
105576000	DECATUR ST	EAST BOSTON	2128	ST JEAN ERIK TS	C/O ERIK ST JEAN TS	107 LIVERPOOL ST	EAST BOSTON	MA	2128
105590200	106 LIVERPOOL ST 15	EAST BOSTON	2128	MINTZPOULOS DIONYSIOS		106 LIVERPOOL ST, UNIT 15	EAST BOSTON	MA	2128
105440050	124 LONDON ST 1	EAST BOSTON	2128	SACHS ERIK N		124 LONDON ST # 1	EAST BOSTON	MA	2128
105464000	LIVERPOOL ST	EAST BOSTON	2128	NIGRO IDA		PO BOX 14	EAST BOSTON	MA	2128
105425000	139 135 BORDER ST	EAST BOSTON	2128	BOSTON INDUSTRIAL GROUP REALTY TRU	C/O DAVID SHULMAN TS	150 LIVERPOOL ST APT 7	EAST BOSTON	MA	2128
105440100	122 LONDON ST 2	EAST BOSTON	2128	PANIAGUA JUAN A	C/O SANDRA GARZON	16 KNOLL ST	ROSLINDALE	MA	2131
105870000	131 LONDON ST 3	EAST BOSTON	2128	KRONK BRYAN		131 LONDON ST # 3	EAST BOSTON	MA	2128
105437000	120 122 MERIDIAN ST	EAST BOSTON	2128	NIGRO EUPREMIO TRSTS		PO BOX 14	EAST BOSTON	MA	2128
105426000	141 BORDER ST	EAST BOSTON	2128	MTHC LLC MASS LLC		6 AUTUMN HARVEST CT	GRAFTON	MA	1519
105434000	134 132 MERIDIAN ST	EAST BOSTON	2128	NIGRO IDA		PO BOX 14	EAST BOSTON	MA	2128
105451000	102 LONDON ST	EAST BOSTON	2128	RODRIGUEZ JORGE		105 MARGINAL ST	EAST BOSTON	MA	2128
105897000	137 141 MERIDIAN ST 1	EAST BOSTON	2128	MASSACHUSETTS TURNPIKE AUTHORITY		509 BOYLSTON ST 21ST FLR	EAST BOSTON	MA	2128
105590200	104 LIVERPOOL ST 14	EAST BOSTON	2128	CAMILO ALEXANDER J		104 LIVERPOOL ST, UNIT 14	BOSTON	MA	2116
105443000	118 LONDON ST	EAST BOSTON	2128	CORAL RAUL		118 LONDON ST	EAST BOSTON	MA	2128
105432000	140 142 MERIDIAN ST	EAST BOSTON	2128	PERDUE JONATHAN		0 WHITNEY DR	PEABODY	MA	1960
105465000	108 110 MERIDIAN ST	EAST BOSTON	2128	EBDIX HOLDINGS LLC		50 FRANKLIN ST	BOSTON	MA	2110
105480000	103 LONDON ST	EAST BOSTON	2128	THOMAS J HADDOCK TRUST	C/O ANTHONY QUILES TS	103 LONDON ST	EAST BOSTON	MA	2128
105870000	131 LONDON ST	EAST BOSTON	2128	ONE-31 LONDON ST CONDO TR		131 LONDON ST	E BOSTON	MA	2128
105440100	122 LONDON ST 1	EAST BOSTON	2128	REDDINGTON SHAYNE		122 LONDON ST, UNIT 1	EAST BOSTON	MA	2128
105454000	30 DECATUR ST	EAST BOSTON	2128	BARNSTABLE VILLAGE	C/O BARNSTABLE VILLAGE COMM RE LP	8 ALTON PL STE 2	BROOKLINE	MA	2446
105590200	82 LIVERPOOL ST 3	EAST BOSTON	2128	KOTBI MILOUDI		82 LIVERPOOL ST, UNIT 3	EAST BOSTON	MA	2128
105463000	LIVERPOOL ST	EAST BOSTON	2128	NIGRO EUPREMIO TRST		PO BOX 14	EAST BOSTON	MA	2128
105457000	24 DECATUR ST	EAST BOSTON	2128	MONTERRAZA ELMER		24 DECATUR ST #1	E BOSTON	MA	2128
105442000	120 LONDON ST	EAST BOSTON	2128	ZABALETA CECILIA TS		88 HILLTOP ST	MILTON	MA	2186
105469000	100 MERIDIAN ST	EAST BOSTON	2128	MERIDIAN ROOMS INC		100 MERIDIAN ST	EAST BOSTON	MA	2128
105897000	137 141 MERIDIAN ST	EAST BOSTON	2128	MERIDIAN CONDOMINIUM TRUST	C/O SAUL E PERLERA	137 MERIDIAN ST #1	E BOSTON	MA	2128



**AFFIDAVIT OF SERVICE
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act
and Boston Wetlands Ordinance**

I, Maureen Herald, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by 116 London Street LLC for installation of an infiltration system within Land Subject to Coastal Storm Flowage. located at 116 London Street - East Boston.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Maureen Herald
Name

10/5/22
Date



NORSE ENVIRONMENTAL SERVICES, INC.

92 Middlesex Road, Unit 4

Tyngsboro, MA 01879

TEL. (978) 649-9932 • FAX (978) 649-7582

Website: www.norseenvironmental.com

Notice of Intent Report

For

**116 London Street
Ward 01 Parcel 054444000
East Boston, MA**

Prepared For

116 London Street LLC
15 Monsignor Albert Jacobbe Road, Unit 326
East Boston, MA 02128

Prepared By

Norse Environmental Services, Inc.
92 Middlesex Road, Unit 4
Tyngsborough, MA 01879

September 2022

Narrative

The applicant is proposing to install rooftop infiltration within Land Subject to Coastal Storm Flowage (LSCSF). The infiltration system is for the proposed fourth-floor addition on the existing dwelling. The site shall be serviced by city sewer and water.

Site Description

The lot consists of 1800 +/- s.f. of land, located on the westerly side of London Street in East Boston, MA. An existing (3)-story residential building, landing, steps, party walls, concrete retaining walls, rear yard and fence are located on the property.

Soils

The Web Soil Survey maps this site as Urban land, wet substratum. Urban land, wet substratum consists of areas where 85 percent of the land surface is covered by structures or impervious surfaces such as buildings, pavement, industrial sites, and railroad yards, and where the underlying soil is dominated by fill material overlying wet soils. The underlying wet soils may include Freetown, Saco, Scarboro, and Swansea. The areas are irregular in shape range from 6 to 2,100 acres in size. A water table may be present in the lower substratum. Included with this unit in mapping are areas of Udorthents, loamy soils and Udorthents, wet substratum soils where the soil is exposed.

Resource Area

The FEMA Flood Insurance Rate Maps the entire site within LSCSF. The maps designate the property as a Zone AE, elevation 10 ft. or 16.46 ft. Boston City Base (BCB). 310 CMR 10.04 Land Subject to Coastal Storm Flowage means, "land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater". The Massachusetts Wetland Protection Act has no performance standards for work within LSCSF, however the City of Boston has Wetlands Regulations and Ordinance.

The project proposes temporary disturbance of 295 s.f. for the installation of the infiltration system. Once the unit is installed and backfilled, the grades shall be return to the original site conditions. The disturbed areas shall be loam and seeded. Please note, the 4th floor addition is above LSCSF elevation 16.46 ft.

Climate Change Resilience

The project is designed to implement and integrate climate change and adaptation planning considerations. These considerations include sea level rise, increase heat waves, extreme precipitation events, stormwater runoff, changing precipitation patterns and coastal and stormwater flooding.

Sea Level Rise

The Sea Level Rise (SLR) elevation is 19.5 ft. The buildings first floor elevation is 20.48 ft. or almost a one foot above the SLR. The applicant is proposing temporary disturbance to install an infiltration system, restore the existing grades, clean-up the rear yard, loam and seed.

Increase Heat Waves

The applicant is proposing to improve the existing conditions by cleaning up the rear yard, loam and seeding the area and providing rooftop infiltration. The rear yard is neglected with debris and trash. The rear yard will be returned to lawn and provide some green space within the city.

Extreme Precipitation Events

The applicant is proposing to improve the existing conditions by incorporating rooftop infiltration and green space. The downspout shall overflow during extreme precipitation event.

Outstanding Resource Water

The project is not located within an Outstanding Resource Water (ORW).

Section XVII. Land Subject to Coastal Storm Flowage

A. Preamble

Land Subject to Coastal Storm Flowage (LSCSF) is significant to the Ordinance's protected Resource Area Values of storm damage prevention, flood control, protection of wildlife and wildlife habitat, prevention of pollution, erosion and sedimentation control, and to mitigate the impacts of climate change.

E. Performance Standards

1. When the Commission determines that LSCSF overlays or overlaps with other resource areas protected under the Ordinance, the applicable performance standards for each resource area shall be independently as well as collectively applied, and the project shall be conditioned to protect the Resource Area Values of all resource areas affected by the project and the ability of such other resource areas to protect the Resource Area Values described in Section XVII(A).

The project proposes temporary work within LSCSF. The Resource Area Values of storm damage prevention, flood control, protection of wildlife and wildlife habitat, prevention of pollution erosion and sedimentation control and impacts of climate change are addressed throughout this Notice of Intent.

2. If LSCSF affected by proposed activity or work is significant to the Resource Area Values described in Section XVII(A), such activity shall not have an adverse impact on the subject site, adjacent properties, properties located in the adjacent Coastal Flood Resilience Zone, or any public or private way by increasing the elevation or velocity of flood or storm waters or by increasing flows due to a change in drainage or flowage characteristics.

The project proposes temporary disturbance within LSCSF for the installation of an infiltration system. The grades shall be returned to the original conditions. The proposed work shall not have an adverse impact on the subject site, adjacent properties, properties located in the adjacent Coastal Flood Resilience Zone or any public or private way. The project does not propose to increase the elevation or affect the velocity of flood or stormwater.

3. If LSCSF is significant to flood control or storm damage prevention, the proposed activity or work shall not result in flood damage due to filling, which causes lateral displacement of flood waters that, in the judgment of the Commission, would otherwise be confined within said area. The Commission, in its sole discretion, may permit such activity so long as the activity will not have an adverse impact on said area's ability to provide storm damage prevention and flood control; provided, further, that the activity or work incorporate best management practices to reduce or eliminate damage resulting from SLR and coastal storms.

The applicant is not proposing to change the grades or fill within LSCSF. As mentioned throughout this report, the applicant is proposing a temporary disturbance within LSCSF.

4. If LSCSF receives and holds coastal flood waters, the proposed activity or work shall not impact the ability of the area to receive, hold, and laterally spread flood waters if it causes unnatural redirection, refraction, diffraction, or reflection of coastal flood waters and waves.

The proposed temporary work shall not impact the ability of the area to receive, hold, laterally spread flood waters cause unnatural redirection, refraction, diffraction or reflection of flood waters. Once the infiltration is installed the grades shall be restored to the existing conditions.

5. If LSCSF receives coastal flood waters that naturally flow across the landform surface without redirecting or channeling the flow, the proposed activity or work shall not cause flood water to become redirected or channeled or increase in velocity, so as to cause erosion, scour, and increased storm damage to the project's locus and adjacent areas.

The proposed temporary work shall not cause flood water to become redirected or channeled or increase in velocity to cause erosion, scour and increase storm damage to the project and adjacent areas.

6. If LSCSF is significant to wildlife and their habitat, proposed activity or work shall not impair the capacity of those portions of LSCSF to provide important wildlife habitat functions.

The proposed temporary work within LSCSF shall not affect wildlife or their habitat. The site is not located within Priority/Estimated Habitat for Rare or Endangered Species please the enclosed MassGIS Map.

7. If LSCSF is significant to the prevention of pollution, proposed activity or work shall not have an adverse impact on the characteristic of the LSCSF to remove suspended solids and other contaminants from runoff before entering into other wetland resource areas or a body of water.

LSCSF is significant to the prevention of pollution. The applicant is proposing to clean up the rear yard, provide rooftop infiltration and return the grades to the existing conditions. Presently, the rear yard is neglected with debris and trash.

8. Proposed work or activity in LSCSF which results in alteration to vegetative cover, interruptions in the beneficial supply of sediment to other wetland resource areas, or changes to the form or volume of a dune or beach, and such result will have an adverse impact on said dune or beach's ability to provide storm damage prevention and flood control, is prohibited.

As mentioned above, the proposed work shall clean up the rear yard, provide rooftop infiltration and return the grades to the existing condition. Cleaning up the site will provide a vegetative cover of grass and significantly improve the existing conditions. The site is not located within or near a dune or beach.

9. Notwithstanding Sections XVII(E)(1) through (8), the Commission may, in its sole discretion, permit the following activities provided that the applicant demonstrates to the satisfaction of the Commission that best available measures, as defined by the Ordinance, are utilized to minimize or eliminate adverse impacts on the critical characteristics of and Resource Area Values protected by LSCSF described in Section XVII(A) herein, and provided further that all other performance standards for overlapping or overlaying wetland resource areas are met:

n/a. The applicant is proposing temporary work in the rear yard.

10. In the interest of storm damage prevention, flood control, and prevention of pollution, should the Commission permit activity or work in LSCSF that is part of new construction or constitutes substantial improvement to an existing structure, the Commission may condition the permitted activity or work so that any critical building systems, infrastructure, or equipment is located two (2) feet above the anticipated BFE expected to occur within the next 50 years based on the best available data and projections of SLR.

The FEMA Flood Insurance Rate Maps the entire site within LSCSF. The FEMA maps the property as a Zone AE, elevation 10 ft. or 16.46 ft. Boston City Base (BCB). The existing buildings first floor elevation is 20.48 ft. or almost a one foot above the SLR of 19.5 ft.

- i. In the event that the proposed work or activity is temporary, then any critical building systems, infrastructure, or equipment shall be located two (2) feet above the anticipated BFE at the conclusion of the project's determined duration of the temporary work.

n/a. The applicant is proposing temporary work outside in the rear yard.

- ii. At a minimum, the anticipated BFE shall be based on the best available and most recent data and projections for SLR made available by the City or any of its agencies, boards, commissions, or quasi-City agencies, including, but not limited to, data and information made available through the Climate Ready Boston initiative or any successor initiative.

- iii. In the event that elevating or relocating critical building systems, infrastructure, or equipment is not practicable, as determined by the Commission, the Commission may require the Applicant to employ other floodproofing strategies such as floodwalls or shields, and the Applicant shall, at a minimum, secure such equipment with anchors or tie-downs to prevent flotation.

n/a. The applicant is proposing temporary work outside in the rear yard.

11. When any proposed work or activity in LSCSF is located within an ACEC, the proposed work or activity shall have no adverse impact upon the Resource Area Values described in Section XVII(A) and shall fully mitigate any impacts resulting from the proposed work or activity.

The project is not located within an Area of Critical Environmental Concern (ACEC). Please see MassGIS Map.

12. Section XVII(E)(11) shall supersede the provisions of Section XVII(E)(9)(i) through (viii), but it shall not apply if the presumption set forth in Section XVII(D) is overcome.

As stated above, the site is not located within ACEC.

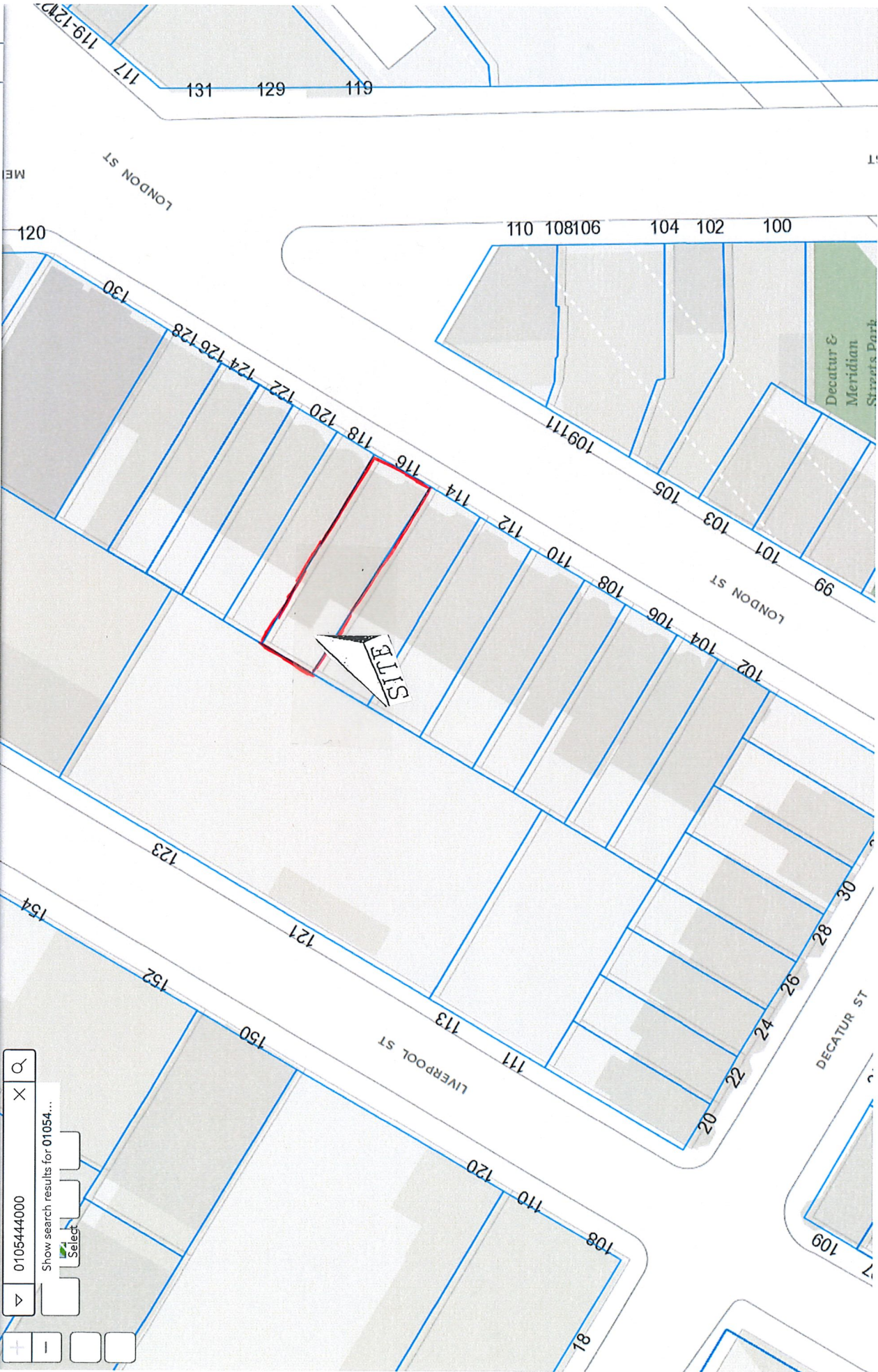
13. Notwithstanding the provisions of Section XVII(E)(2) through (X), no project may be permitted which will have any adverse impact on specified habitat sites of rare vertebrate or invertebrate species indicated on the most recent Estimated Habitat Map of State-listed Rare Wetlands Wildlife (if any) published by the Massachusetts NHESP.

The proposed work within LSCSF is outside of any areas found to be significant to the protection of wildlife habitat. There are no Priority/Estimated Habitat, please see the MassGIS Map.

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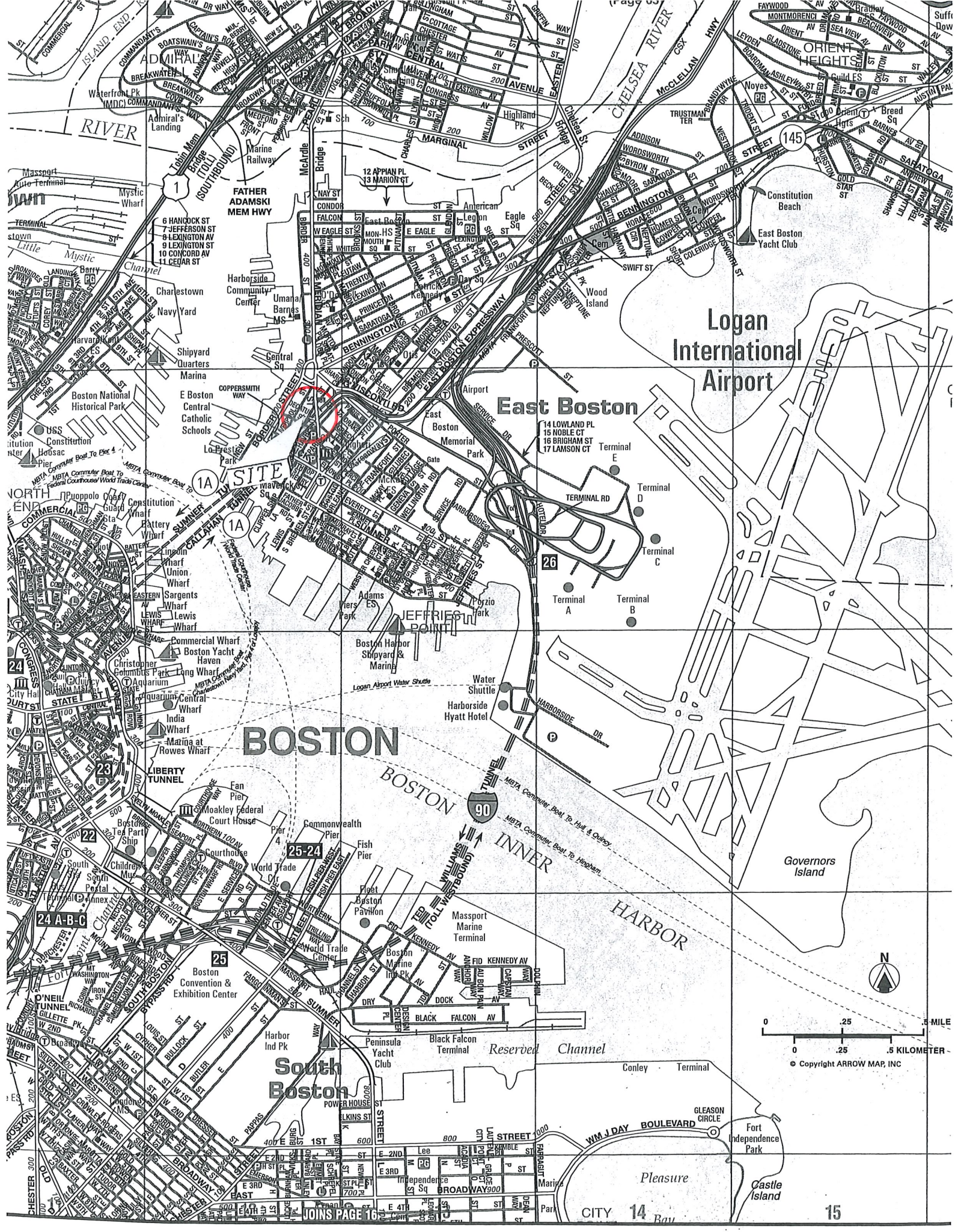
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40ft

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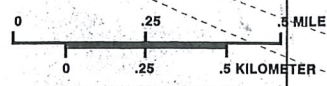


Logan International Airport

East Boston

BOSTON

South Boston



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JOINS PAGE 16

CITY 14 Bay

15

USGS Topographic Quadrangle Maps








































USGS 1:25,000 Topographic Maps for Massachusetts

MassGIS | USGS, MassGIS

Soil Map—Norfolk and Suffolk Counties, Massachusetts
(116 London Street - East Boston)



MAP LEGEND

-  Area of Interest (AOI)
-  Area of Interest (AOI)
- Soils**
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features
- Water Features**
-  Streams and Canals
- Transportation**
-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads
- Background**
-  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Norfolk and Suffolk Counties, Massachusetts
Survey Area Data: Version 17, Sep 3, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 22, 2022—Jun 5, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

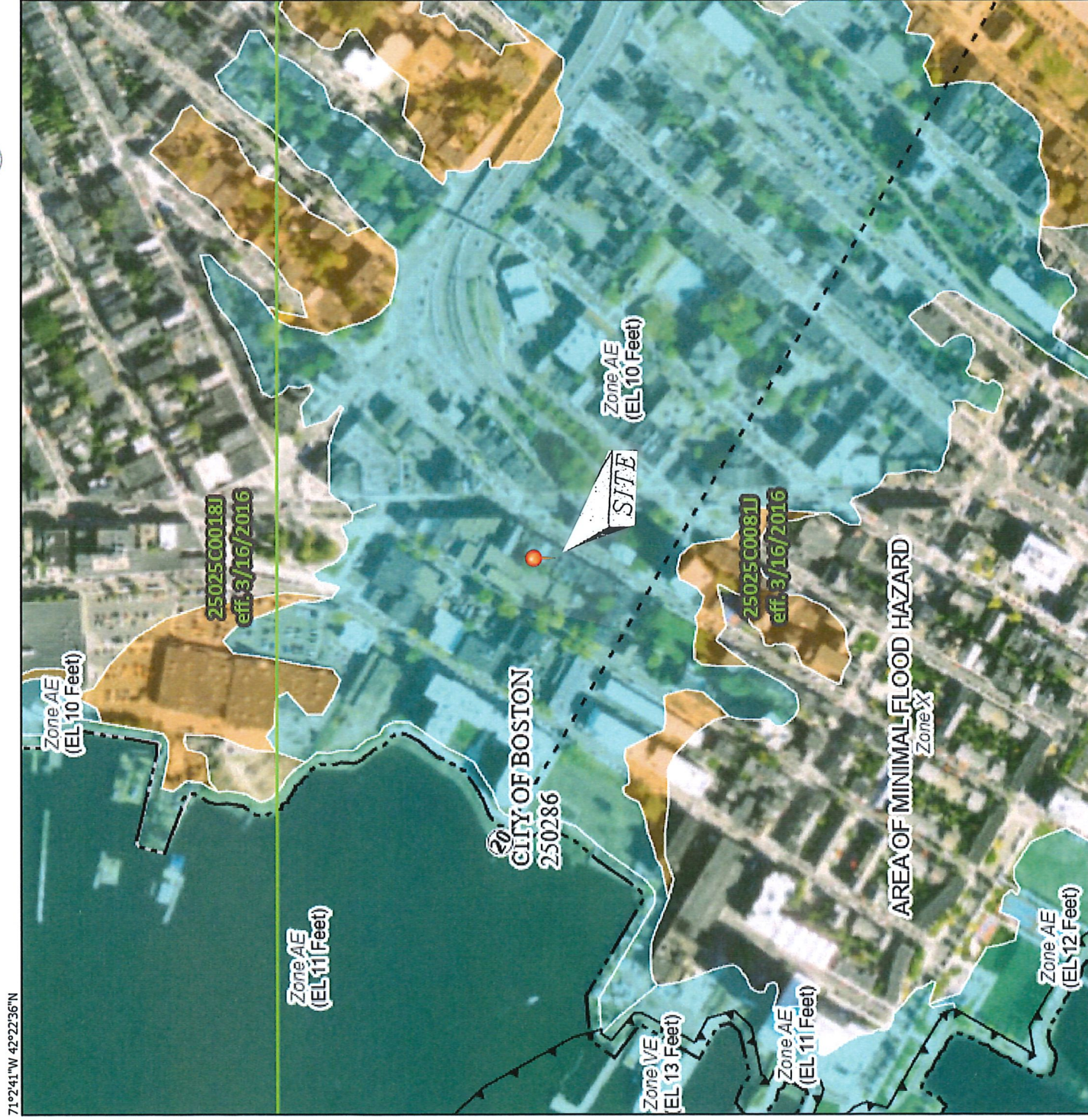
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
603	Urban land, wet substratum, 0 to 3 percent slopes	0.1	100.0%
Totals for Area of Interest		0.1	100.0%

National Flood Hazard Layer FIRMette



71°24'1"W 42°22'36"N



71°24'W 42°22'10"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard. Area of 1% annual chance flood with average depth less than one foot or with draining areas of less than one square mile Zone .
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- Area of Minimal Flood Hazard Zone X
- Effective LOMFRs
- Area of Undetermined Flood Hazard Zone

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

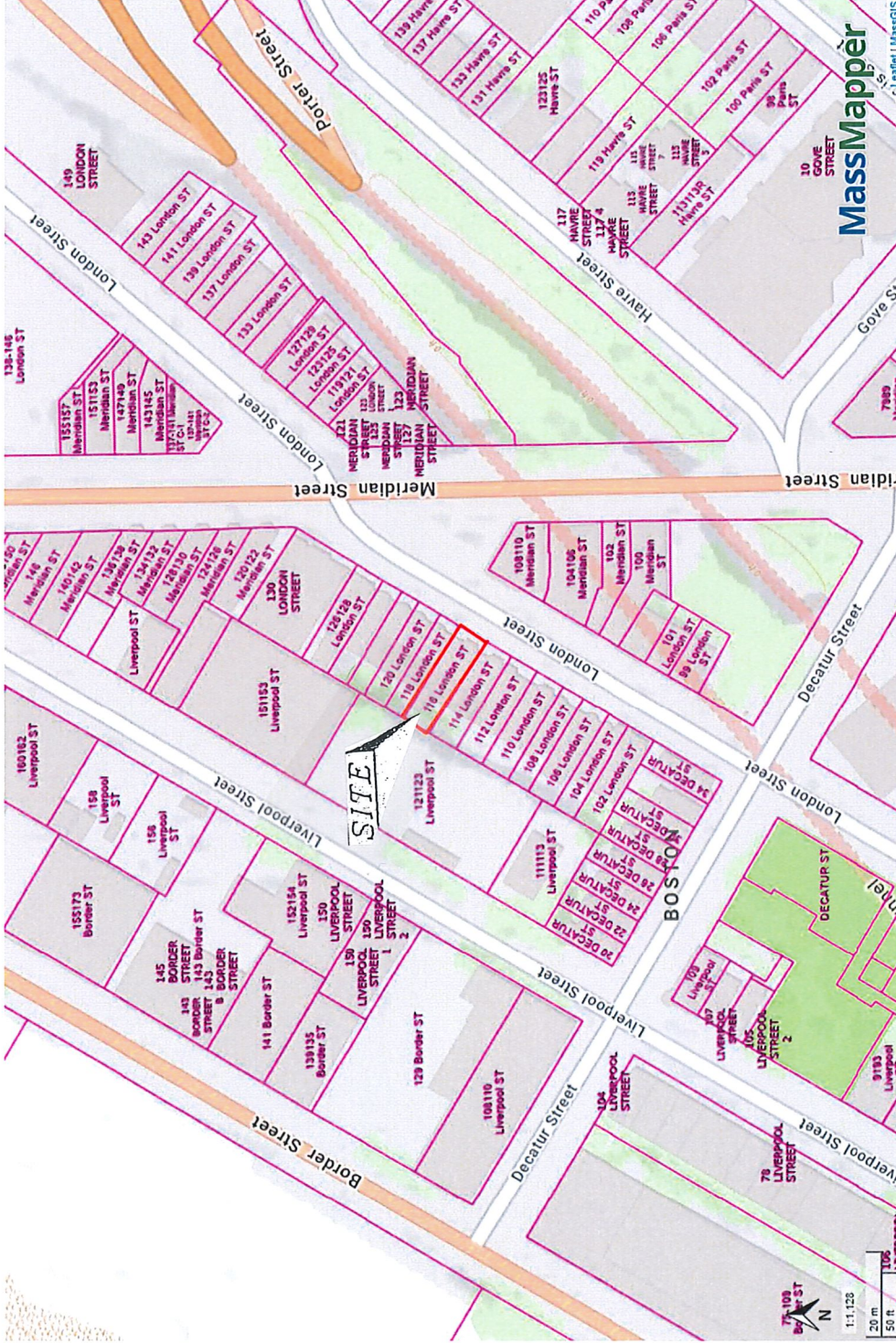
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/28/2022 at 8:27 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

116 London Street - East Boston



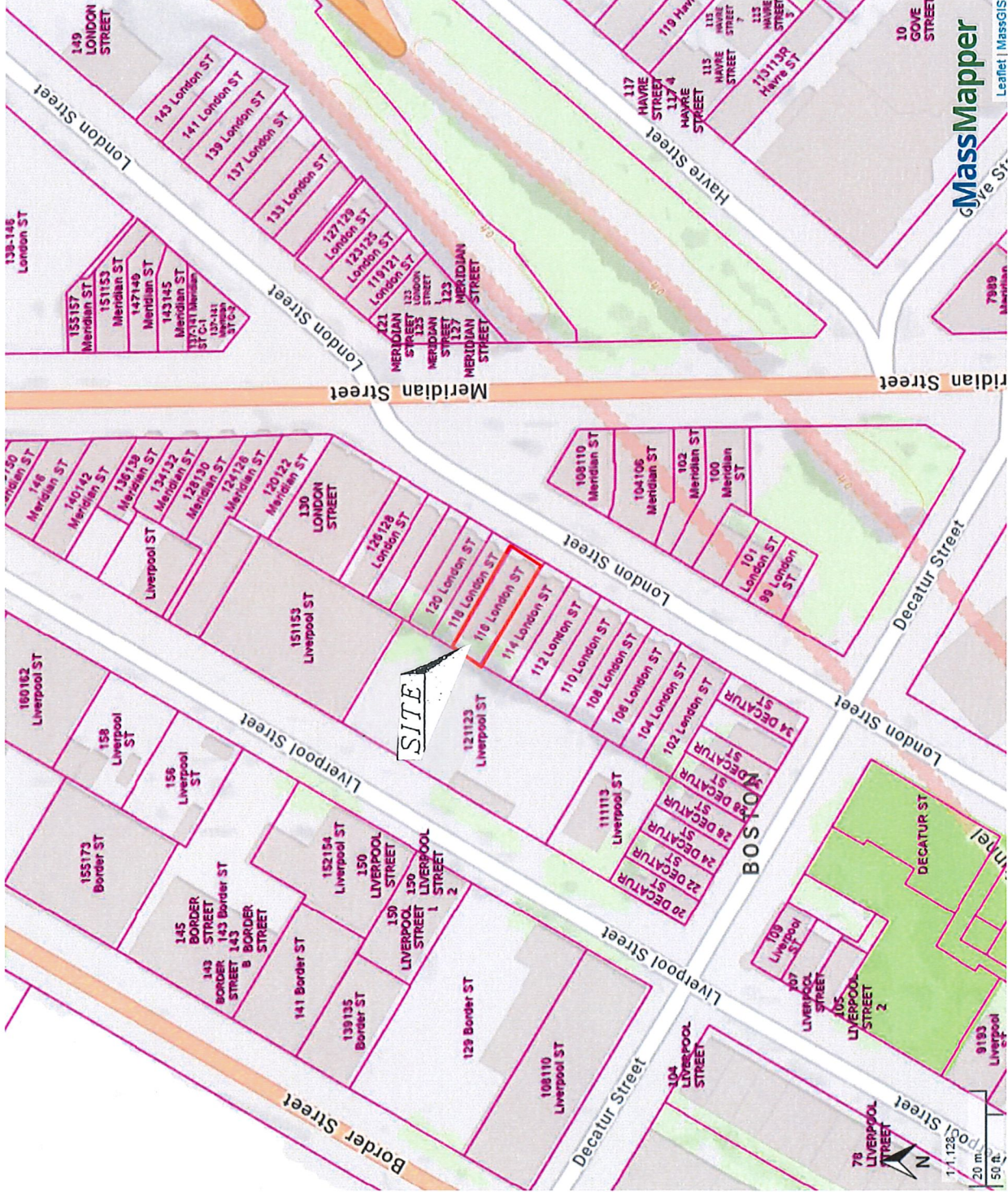
- Potential Vernal Pools
- NHESP Priority Habitats of Rare Species
- NHESP Estimated Habitats of Rare Wildlife
- NHESP Certified Vernal Pools
- Property Tax Parcels

116 London Street - East Boston

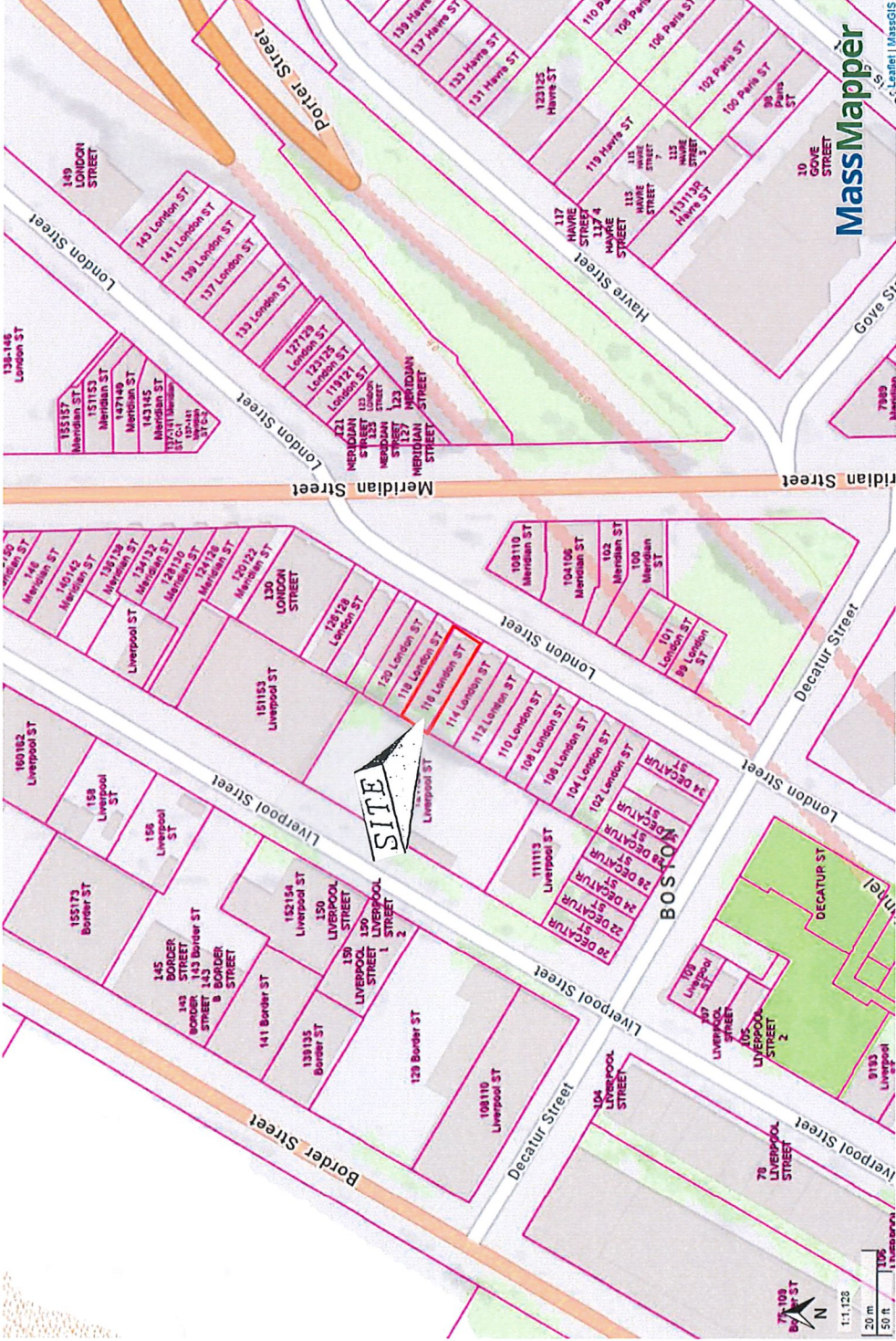
Areas of Critical Environmental Concern
ACECs



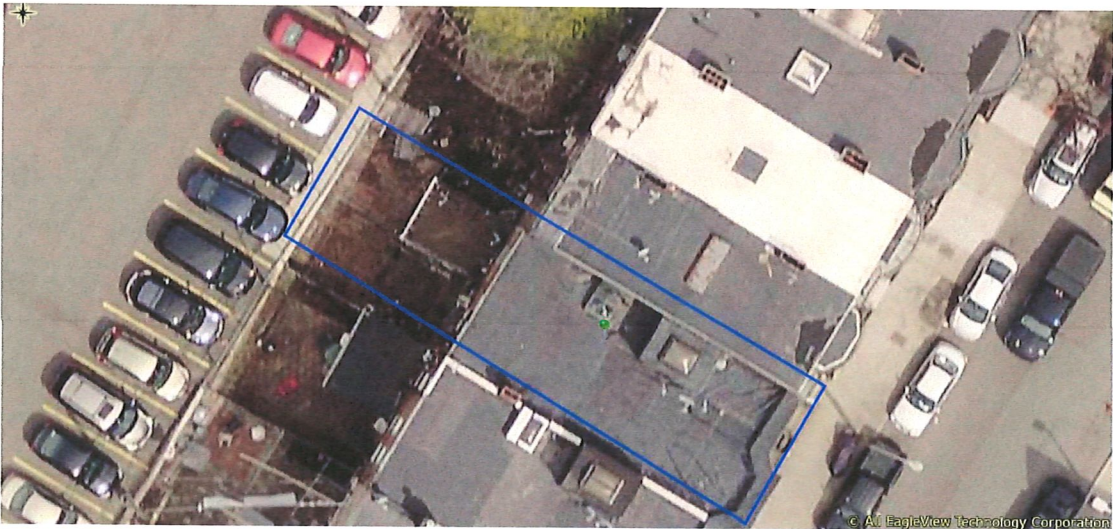
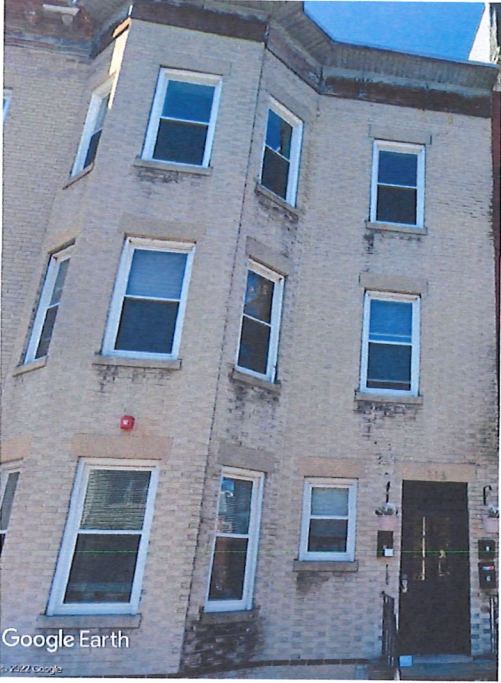
Property Tax Parcels



116 London Street - East Boston



- Outstanding Resource Waters**
- ACEC
 - Cape Cod National Seashore
 - Protected Shoreline
 - Public Water Supply Watershed
 - Retired Public Water Supply
 - Scenic/Protected River
 - Wildlife Refuge
- Property Tax Parcels**



116 LONDON STREET – EAST BOSTON



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

East Boston

City/Town

C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing.

a. NHESP Tracking # _____

b. Date submitted to NHESP _____

3. Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project?

- d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).

Proposed Renovations and 4th Story Addition to: 116 London Street BOSTON, MA

BOA 1161114. Any changes to these plans must be submitted to the BPDA for approval. All PVC trim and siding is to be painted.

LOCUS MAP:



DRAWING LIST:

T1.1 - TITLE SHEET

Z1.1 - ZONING - GFA, FAR ANALYSIS

Z1.2 - ZONING - SETBACKS

Z1.3 - ZONING - OPEN SPACE ANALYSIS

D1.1 -EXISTING - DEMO PLANS

D1.2 -EXISTING - DEMO PLANS

D2.1- EXISTING - DEMO ELEVATIONS

A1.1 -PROPOSED PLANS

A1.2 -PROPOSED PLANS

A2.1-PROPOSED ELEVATIONS

A3.1- BUILDING SECTION ENVELOPE

GENERAL DEMOLITION NOTES:

1. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF WORK TO BE PERFORMED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL SCOPE WITH FIELD CONDITIONS AND THE REQUIREMENTS SET FORTH IN THE CONTRACT DOCUMENTS.
2. SELECTIVE DEMOLITION SHALL INCLUDE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT AND SUPPLIES, AND THE PERFORMANCE OF ALL OPERATIONS REQUIRED TO COMPLETE THE INDICATED SCOPE OF WORK.
3. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE ACTUAL WORK SCOPE WITH FIELD CONDITIONS AND DESIGN PLAN REQUIREMENTS.
4. THE SELECTIVE DEMOLITION SCOPE OF WORK IS INDICATED ON THE DRAWINGS AND SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
 - DEMOLITION OF INDICATED ITEMS PER THE DRAWINGS;
 - PROTECTION FROM DAMAGE OF ALL EXISTING ITEMS TO REMAIN;
 - SALVAGE AND STORAGE OF ALL INDICATED ITEMS PER THE DRAWINGS;
 - COMPLETE REMOVAL FROM THE PREMISES AND THE LEGAL DISPOSAL THEREOF OF ALL REMOVED OR DEMOLISHED MATERIALS, OTHER THAN THOSE ITEMS EITHER DIRECTED BY THE ARCHITECT OR INDICATED ON THE DRAWINGS TO BE SALVAGED.
 - LANDFILL DUMPING SLIPS SHALL BE RETAINED BY THE CONTRACTOR AND GIVEN TO THE OWNER UPON REQUEST.
5. THE CONTRACTOR SHALL USE DUE CARE IN CUTTING INTO AND WORKING ADJACENT TO EXISTING CONDITIONS WHICH ARE TO REMAIN. ALL CUTTING OF EXISTING MATERIALS SHALL BE HELD TO THE ABSOLUTE MINIMUM AS REQUIRED TO PROPERLY PERFORM THE WORK, AND SHALL BE SUBJECT AT ALL TIMES TO THE ARCHITECT'S APPROVAL.
6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THE SELECTIVE DEMOLITION PROCESS REVEALS PRE-EXISTING AND UNFORESEEN LATENT CONDITIONS OR DEFECTS REQUIRING IMMEDIATE REMEDIAL REPAIRS, TEMPORARY SUPPORT, OR OTHER ATTENTION.
7. WHERE WORK INVOLVES LOAD BEARING STRUCTURES, PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED TO SAFELY TRANSFER REQUIRED LOAD. DO NOT PROCEED WITH WORK UNLESS ALL SHORING IS IN PLACE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK, AND ARRANGING FOR ANY REQUIRED INSPECTIONS.

GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE MASSACHUSETTS COMMERCIAL BUILDING CODE 9TH ADDITION, ASSOCIATED MASS AMENDMENTS, AND THE RULES AND REGULATIONS OF ALL GOVERNING BODIES.
2. THE CONTRACTOR SHALL APPLY FOR AND MAINTAIN IN GOOD ORDER ALL REQUIRED PERMITS AND SHALL COORDINATE WITH OFFICIALS ALL REQUIRED INSPECTIONS AND CERTIFICATIONS
3. THE CONTRACTOR SHALL DETERMINE EXISTING CONDITIONS WHERE REQUIRED AND VERIFY ALL FIELD CONDITIONS FOR CLEARANCES, DIMENSIONS, AND ELEVATIONS SHOWN ON DRAWINGS. ANY DISCREPANCIES SHALL BE MARKED ON A PRINT OF THE RELEVANT DRAWING AND FORWARDED IMMEDIATELY TO THE ARCHITECT.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT ALL REQUIREMENTS FOR INSTALLATION OF REQUIRED FURNISHINGS, WINDOWS, FIXTURES AND EQUIPMENT
5. DIMENSIONS ARE FINISH TO FINISH, UNLESS OTHERWISE NOTED
6. GC TO INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS
7. ALL PLUMBING, ELECTRICAL & HVAC PER CODE

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ajglassman@hotmail.com
www.glassmanchungdesign.com



Drawing Title:

TITLE SHEET

Scale: Drawing No.:

Job No.: 54
Date: 08/26/2021

T1.1

GFA/FAR -EXISTING-

1 BASEMENT PLAN - EXISTING-
Scale 1/8"=1'
CEILING HEIGHT = 7'-5"
NO CHANGE
STORAGE 12'-3" x 8'-2"
STORAGE / UTILITY
STORAGE
STORAGE
NO CHANGE
BASEMENT:
TOT S.F.: 1,250 SF
GFA: 0 SF

2 1ST FLOOR PLAN - EXISTING-
Scale 1/8"=1'
CEILING HEIGHT = 8'-5"
BEDROOM
KITCHEN
LIVING ROOM
FAMILY ROOM
FOYER
VESTIBULE
CLOSET
BATH
1ST FLOOR:
TOT S.F.: 1,250 SF
GFA: 1,250 SF

3 2ND FLOOR PLAN - EXISTING-
Scale 1/8"=1'
CEILING HEIGHT = 8'-6"
LIVING ROOM
BEDROOM
DINING ROOM
KITCHEN
BEDROOM
BATH
CLOSET
2ND FLOOR:
TOT S.F.: 1,115 SF
GFA: 1,115 SF
PREVIOUSLY PERMITTED AS OF RIGHT

4 3RD FLOOR PLAN - EXISTING-
Scale 1/8"=1'
CEILING HEIGHT = 9'-2"
LIVING ROOM
BEDROOM
DINING ROOM
KITCHEN
BEDROOM
BATH
CLOSET
3RD FLOOR:
TOT S.F.: 1,115 SF
GFA: 1,115 SF
PREVIOUSLY PERMITTED AS OF RIGHT

5 4TH FLOOR PLAN - EXISTING-
Scale 1/8"=1'
ROOF
4TH FLOOR:
TOT S.F.: 78 SF
GFA: 78 SF

GFA - FAR SUMMARY

EXISTING CONDITION			PROPOSED CONDITION		
G.F.A. SQUARE FOOTAGE CALCULATION			G.F.A. SQUARE FOOTAGE CALCULATION		
	S.F.	G.F.A.		S.F.	G.F.A.
BASEMENT (S.F.)	1,250	0	BASEMENT (S.F.)	1,250	0
1ST (S.F.)	1,250	1,250	1ST (S.F.)	1,250	1,235
2ND (S.F.)	1,115	1,115	2ND (S.F.)	1,115	1,094
3RD (S.F.)	1,115	1,115	3RD (S.F.)	1,115	1,083
4TH (S.F.)	78	78	4TH (S.F.)	1,115	1,093
TOT (S.F.)	4808.00	3558.00	TOT (S.F.)	5845.00	4505.00

F.A.R. CALCULATION			F.A.R. CALCULATION		
ALLOWABLE F.A.R.	1		ALLOWABLE F.A.R.	1	
LOT SIZE (S.F.)	1,800		LOT SIZE (S.F.)	1,800	
EXISTING G.F.A. (S.F.)	3,558.00		PROPOSED G.F.A. (S.F.)	4,505.00	
EXISTING F.A.R.	1.9767		PROPOSED F.A.R.	2.5028	

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www.glassmanchungdesign.com



GFA/FAR -PROPOSED-

5 BASEMENT PLAN - PROPOSED-
Scale 1/8"=1'
CEILING HEIGHT = 7'-5"
NO CHANGE
STORAGE 12'-3" x 8'-2"
STORAGE / UTILITY
STORAGE
STORAGE
NO CHANGE
BASEMENT:
TOT S.F.: 1,250 SF
GFA: 0 SF

6 1ST FLOOR PLAN - PROPOSED-
Scale 1/8"=1'
CEILING HEIGHT = 8'-5"
OFFICE
BEDROOM 2
LIVING ROOM
DINING ROOM
UNIT 1
KITCHEN
BEDROOM 1
FOYER
VESTIBULE
CLOSET
BATH 1
BATH 2
15 S.F. W/D NOT INCLUDED IN GFA
1ST FLOOR:
TOT S.F.: 1,250 SF
GFA: 1,235 SF

7 2ND FLOOR PLAN - PROPOSED-
Scale 1/8"=1'
CEILING HEIGHT = 8'-6"
LIVING ROOM
BEDROOM 3
DINING ROOM
UNIT 2
KITCHEN
BEDROOM 1
BEDROOM 2
BATH
CLOSET
21 S.F. W/D AND MECH. NOT INCLUDED IN GFA
2ND FLOOR:
TOT S.F.: 1,115 SF
GFA: 1,094 SF

8 3RD FLOOR PLAN - PROPOSED-
Scale 1/8"=1'
CEILING HEIGHT = 9'-2"
DINING ROOM
LIVING ROOM
UNIT 4
KITCHEN
BATH
UNIT 3
MASTER BEDROOM
BEDROOM 2
CLOSET
32 S.F. W/D AND MECH. NOT INCLUDED IN GFA
3RD FLOOR:
TOT S.F.: 1,115 SF
GFA: 1,083 SF

9 4TH FLOOR PLAN - PROPOSED-
Scale 1/8"=1'
MAX. CEILING HEIGHT = 9'-0"
MASTER BEDROOM
BEDROOM 2
BATH
UNIT 4
KITCHEN
UNIT 3
LIVING ROOM
DINING ROOM
CLOSET
22 S.F. W/D AND MECH. NOT INCLUDED IN GFA
4TH FLOOR:
TOT S.F.: 1,115 SF
GFA: 1,093 SF

ZONING SUMMARY

Dimension Regulations

Table F - East Boston Neighborhood - Three Family Residential Subdistrict - 3F-2000 - Dimensions regulation

ITEM	EXISTING	REQUIRED	PROPOSED	CONFORMING
Min. Lot Area	1,800 sq. ft 3,000 sq. ft. REQ'D	1,000 sq. ft for 1 unit 1,000 sq. ft per additional units	1,800 sq. ft 4,000 sq. ft. REQ'D	Existing Non-Conforming
Min. Lot Width	22.50'	20'	22.50'	YES
Min. Lot Frontage	22.50'	20'	22.50'	YES
Max Allowable FAR	1.97	1.00	2.50	Existing Non-Conforming
Max. Allowable Building Height	36.2' (*) 3 Stories	35' 3 Stories	44.20' (*) 4 Stories	Existing Non-Conforming
Min. Usable Open Space per dwelling	465 sq. ft. 900 sq. ft. REQ'D	300 sq. ft.	465 sq. ft. 1,200 sq. ft. REQ'D	Existing Non-Conforming
Min Front Yard	3.94'	5'	3.94'	Existing Non-Conforming
Min Right Side Yard	0'	0'	0'	YES
Min Left Side Yard	0'	0'	0'	YES
Min. Rear Yard	13.13'	40'	13.13'	Existing Non-Conforming

(*) Refer to Plot Plan by Peter Nolan and Ass. LLC for Average Grade and Building Height Measurements

Zoning Regulations

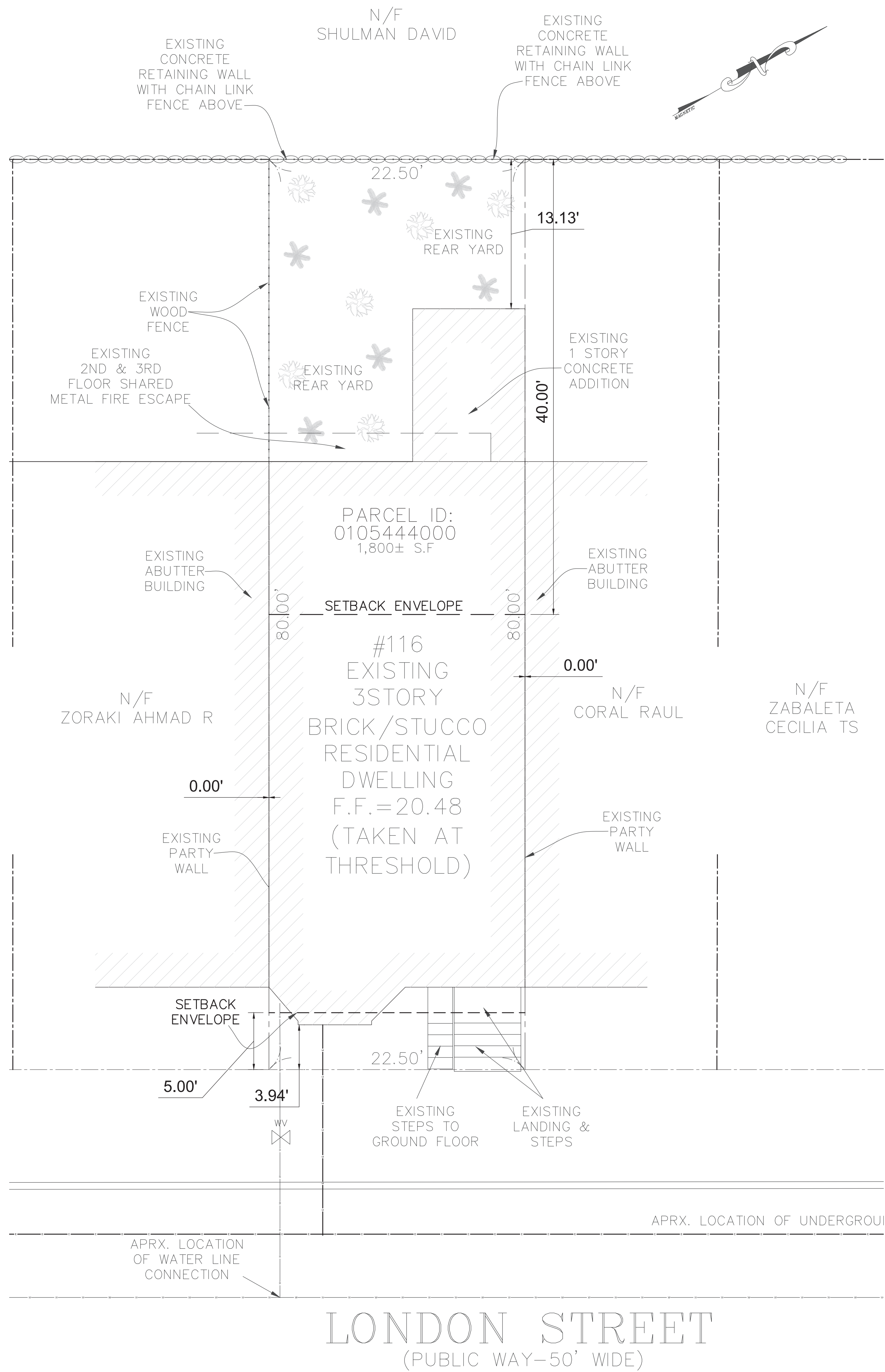
Zoning District :	East Boston Neighborhood
Zoning Subdistrict :	3F-2000
Subdistrict Type :	Three-Family Residential
Existing use:	Residential Multifamily (3 Units)
Proposed Use:	Residential Multifamily (4 Units)
Overlays :	Interim Planning Overlay District
Map No. :	3A-3C
Article :	53 (Table, Appendix)
Lot Area:	1,800 s.f.
Existing GFA:	3,558.00 s.f.
Proposed GFA:	4,505.00 s.f.

Drawing Title:

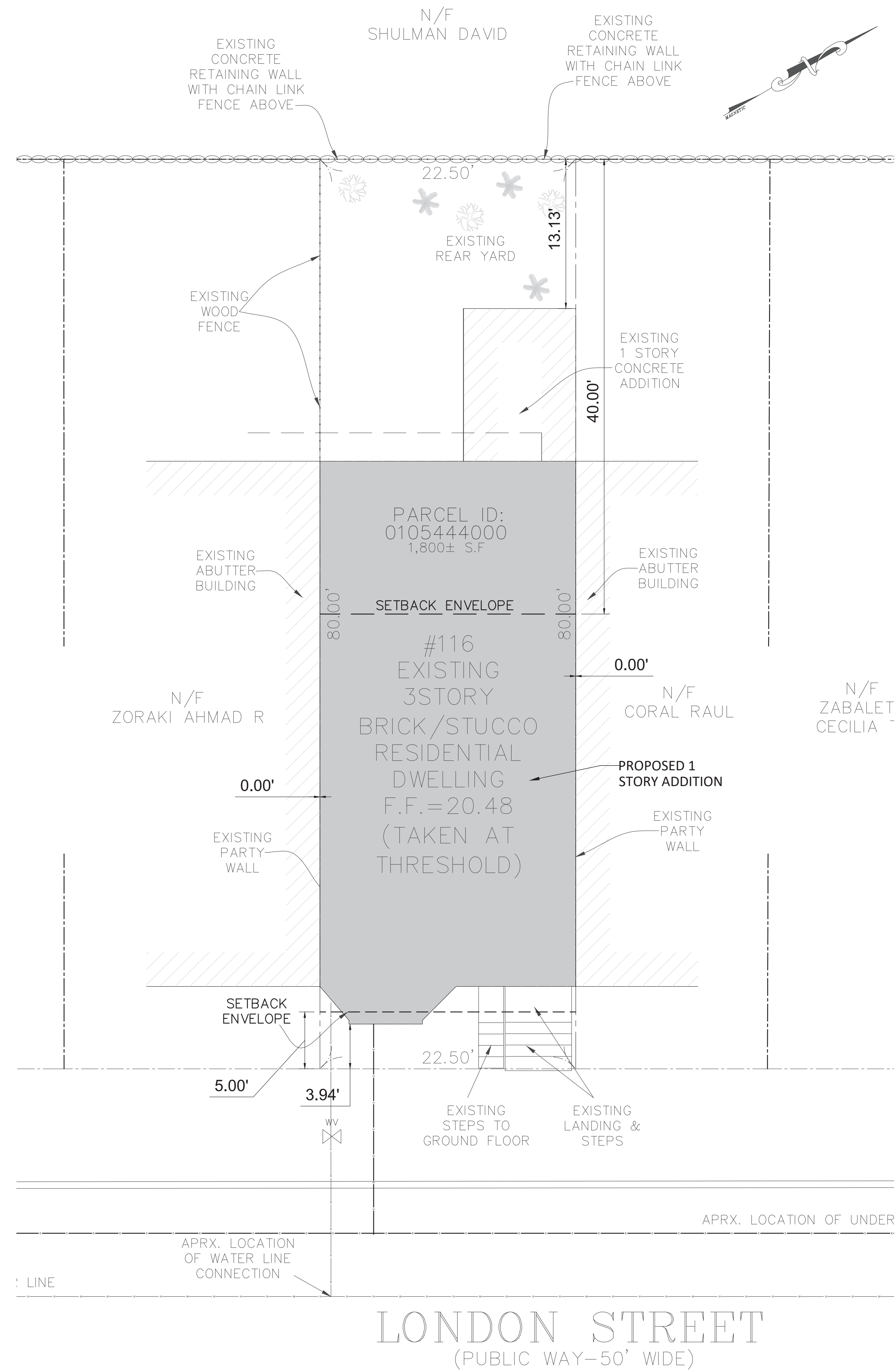
ZONING GFA-FAR ANALYSIS

Scale: AS NOTED Drawing No.:
Job No.:
Date: 08/29/2021

Z1.1



1 EXTG./DEMO SITE PLAN
Scale 3/16"=1'-0"



2 PROPOSED SITE PLAN
Scale 3/16"=1'-0"

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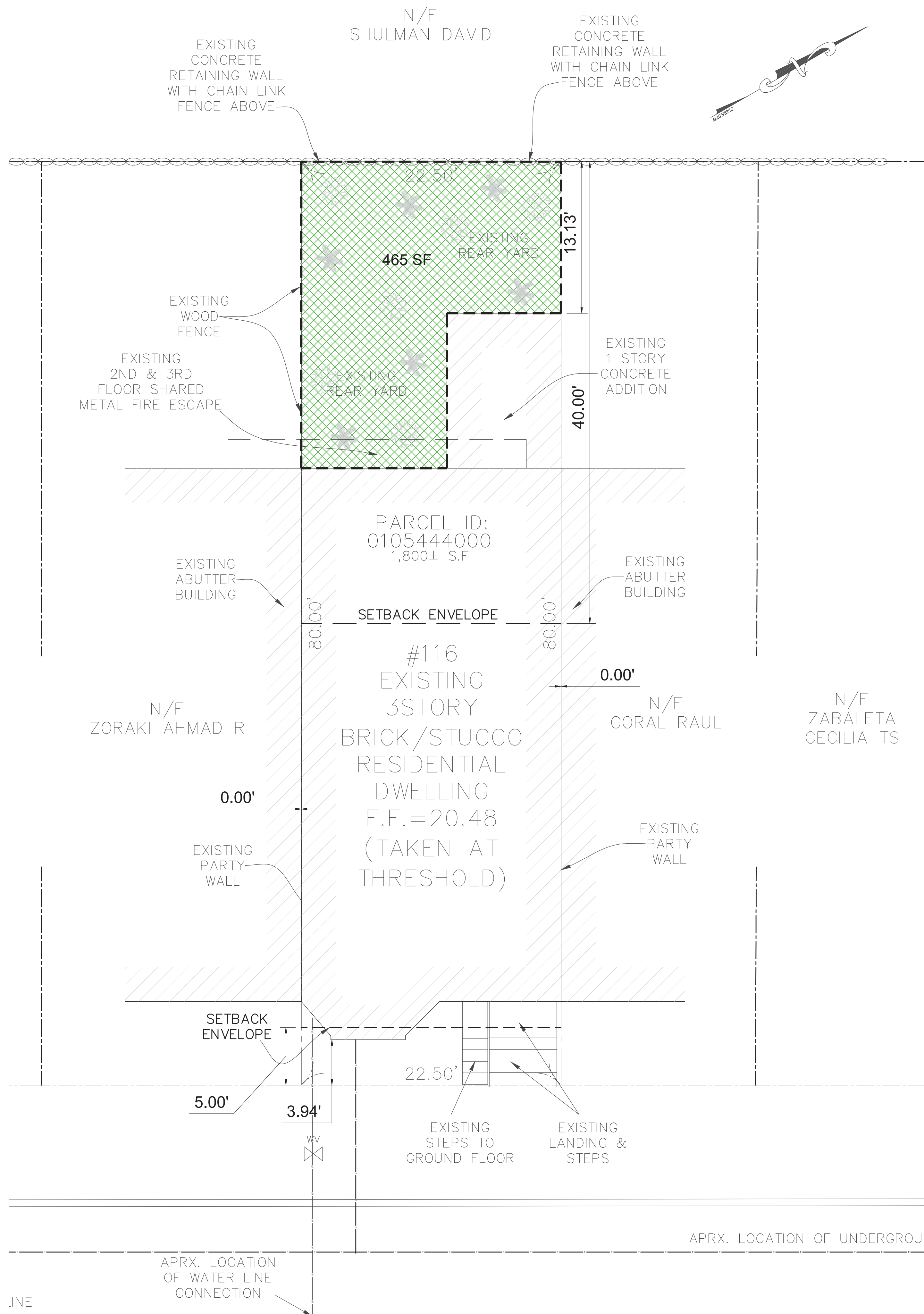


Drawing Title:

ZONING SETBACKS

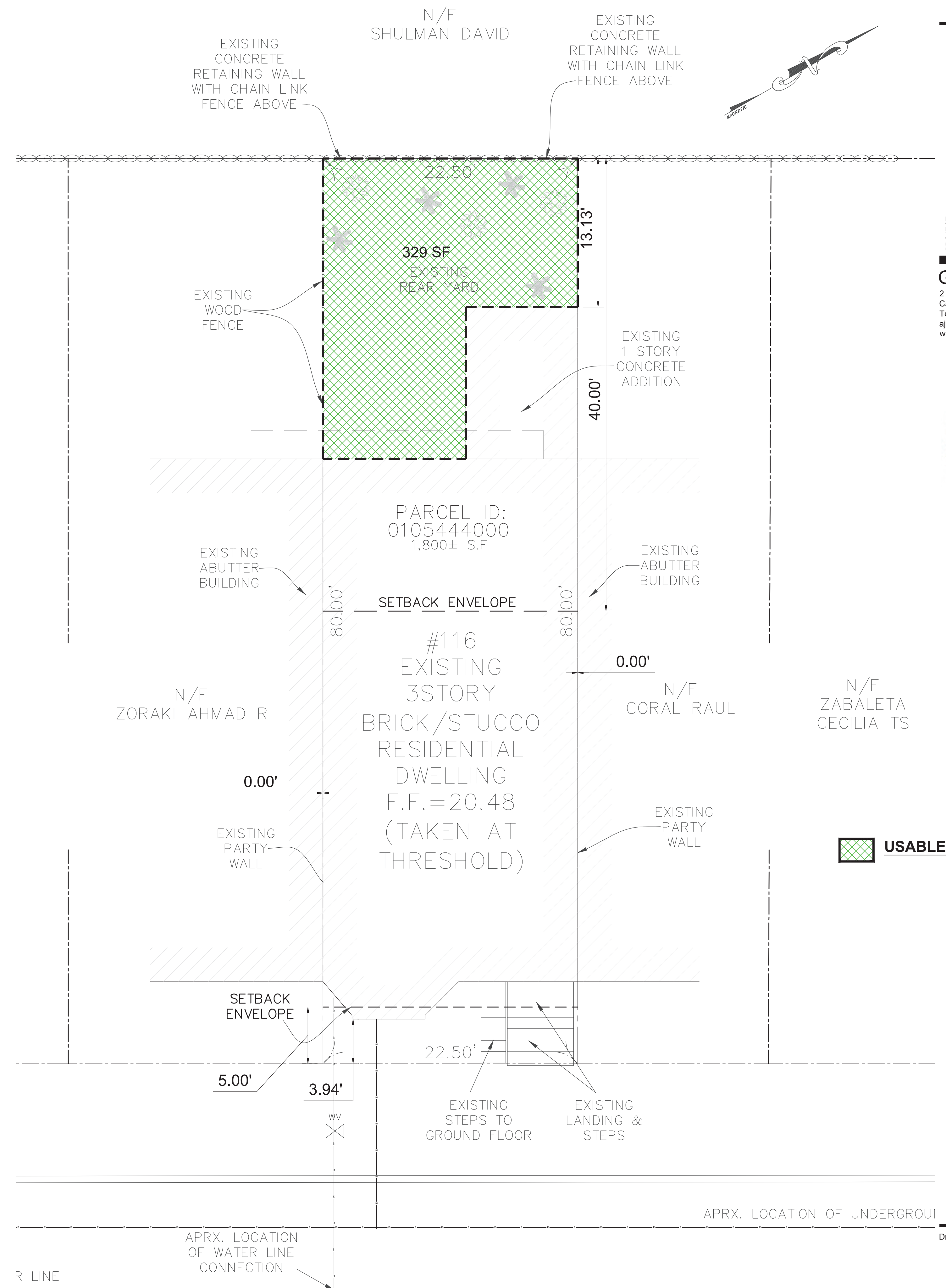
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Job No.:
Date: 08/26/2021

Z1.2



LONDON STREET
(PUBLIC WAY-50' WIDE)

1 EXTG. SITE PLAN
Scale 3/16"=1'-0"



LONDON STREET
(PUBLIC WAY-50' WIDE)

2 PROPOSED SITE PLAN
Scale 3/16"=1'-0"

USABLE OPEN SPACE

PROJECT:
Prop. Renovations and 4th Story Addition to:
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Boston, MA

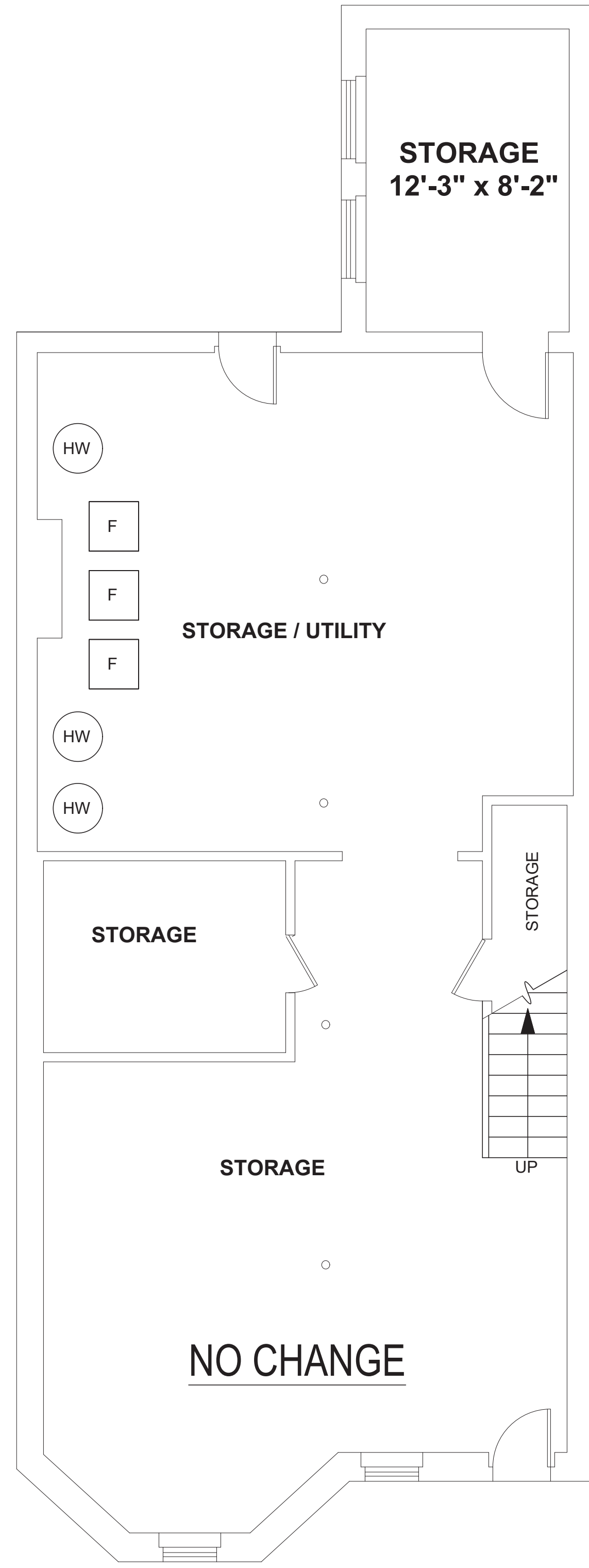
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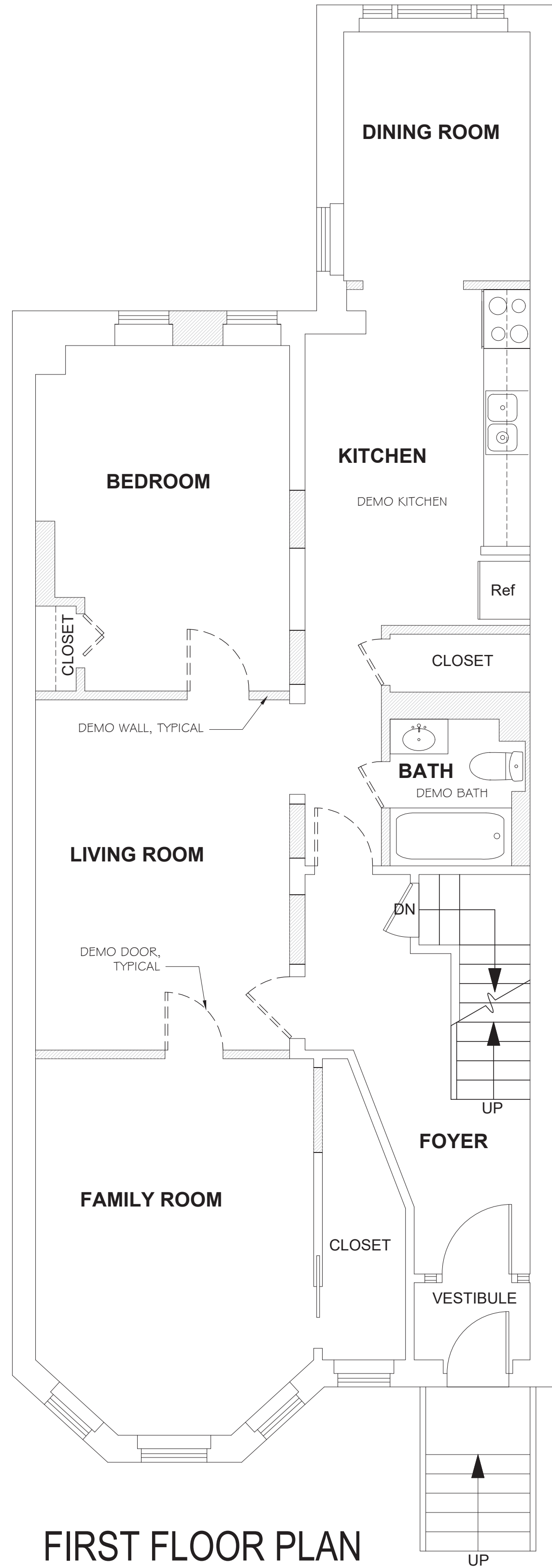
Drawing Title:

**ZONING
OPEN SPACE
ANALYSIS**

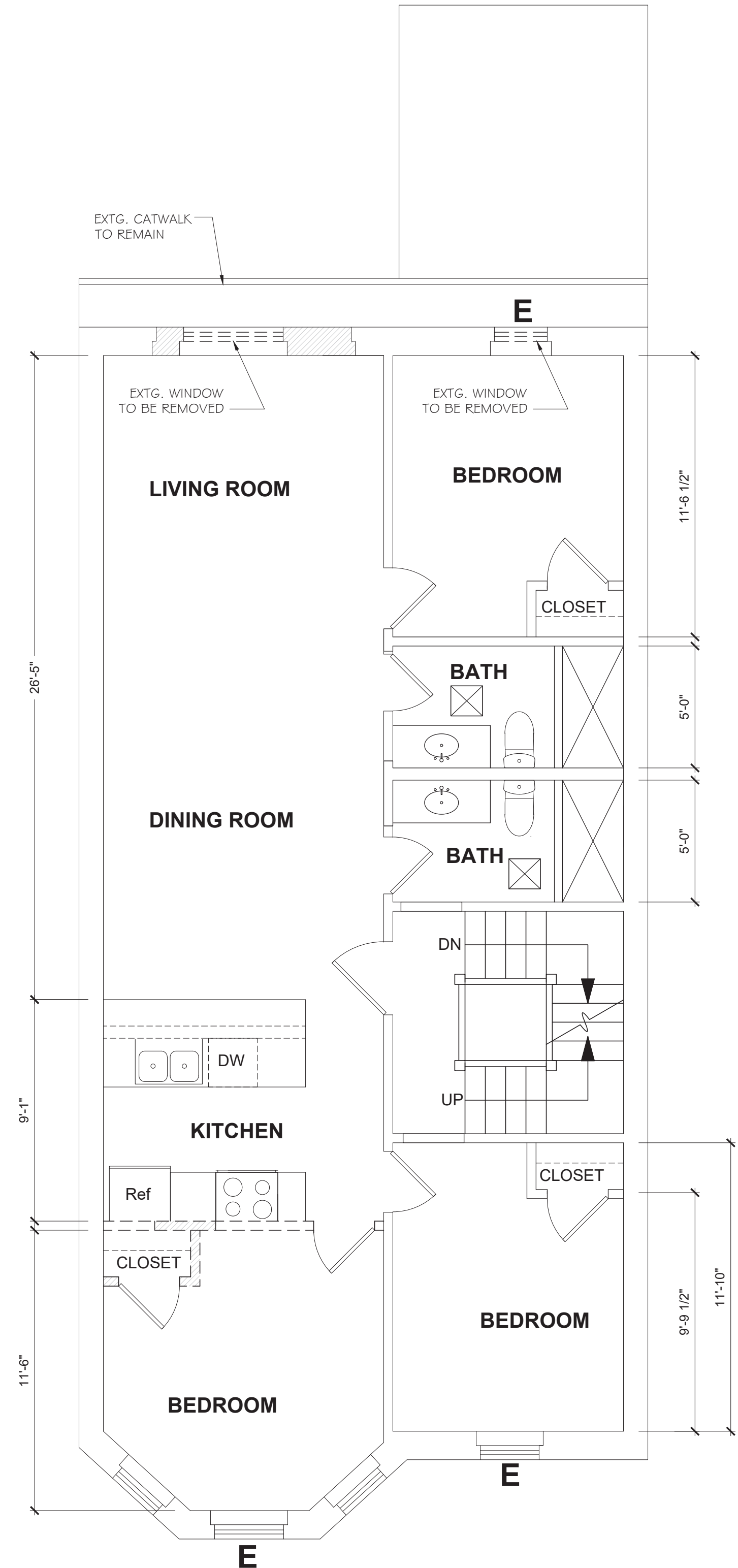
Scale: AS NOTED Drawing No.:
Job No.: **Z1.3**
Date: 08/26/2021



BASEMENT PLAN
CEILING HEIGHT = 7'-5"



FIRST FLOOR PLAN
CEILING HEIGHT = 8'-5"



SECOND FLOOR PLAN
CEILING HEIGHT = 8'-6"

DEMO PLAN LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR/ WINDOW/MILLWORK/ FINISHES TO BE REMOVED

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Drawing Title:

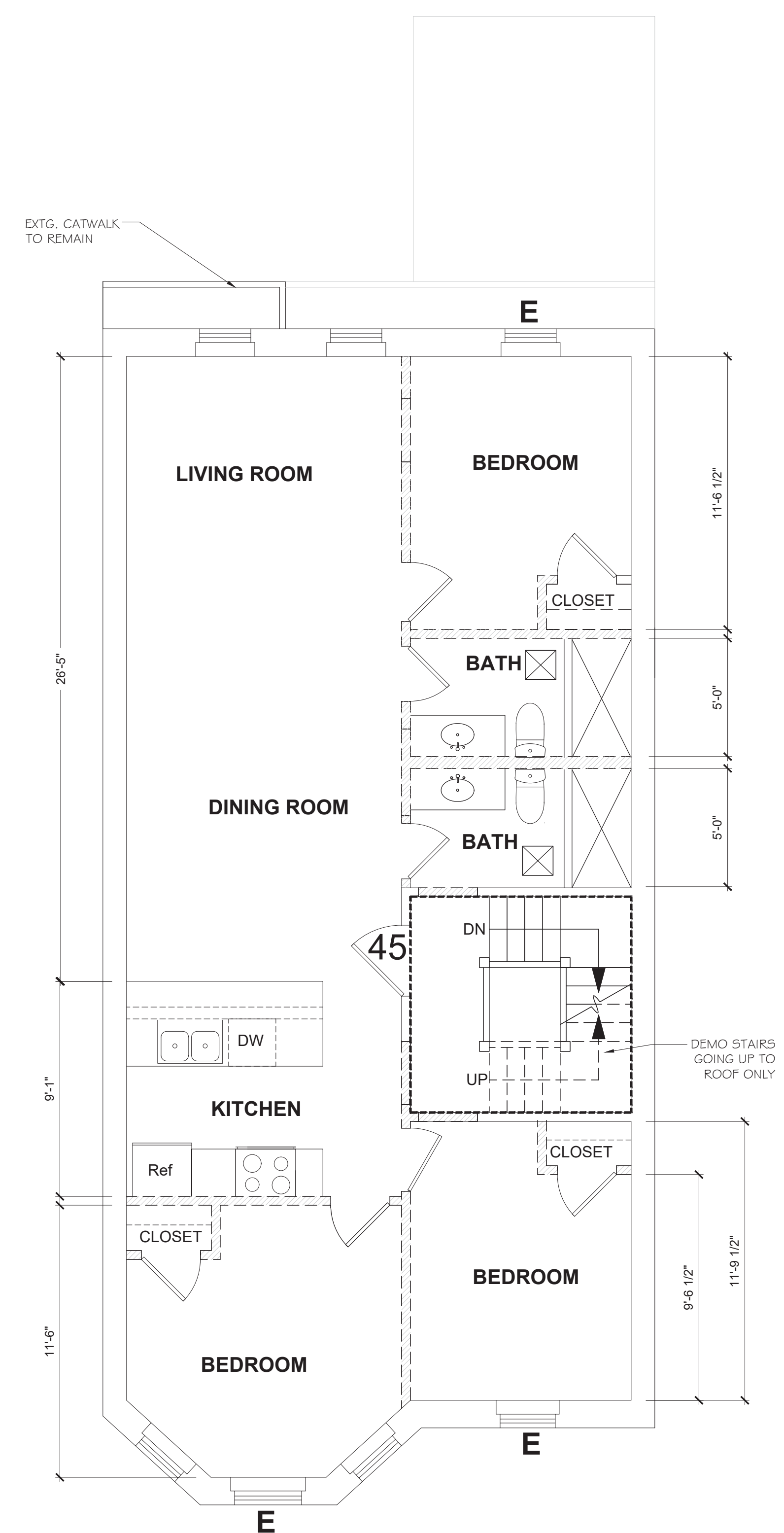
EXTG./ DEMO PLANS

Scale: 1/2" = 1'-0" Drawing No.:
Job No.:
Date: 08/26/2021

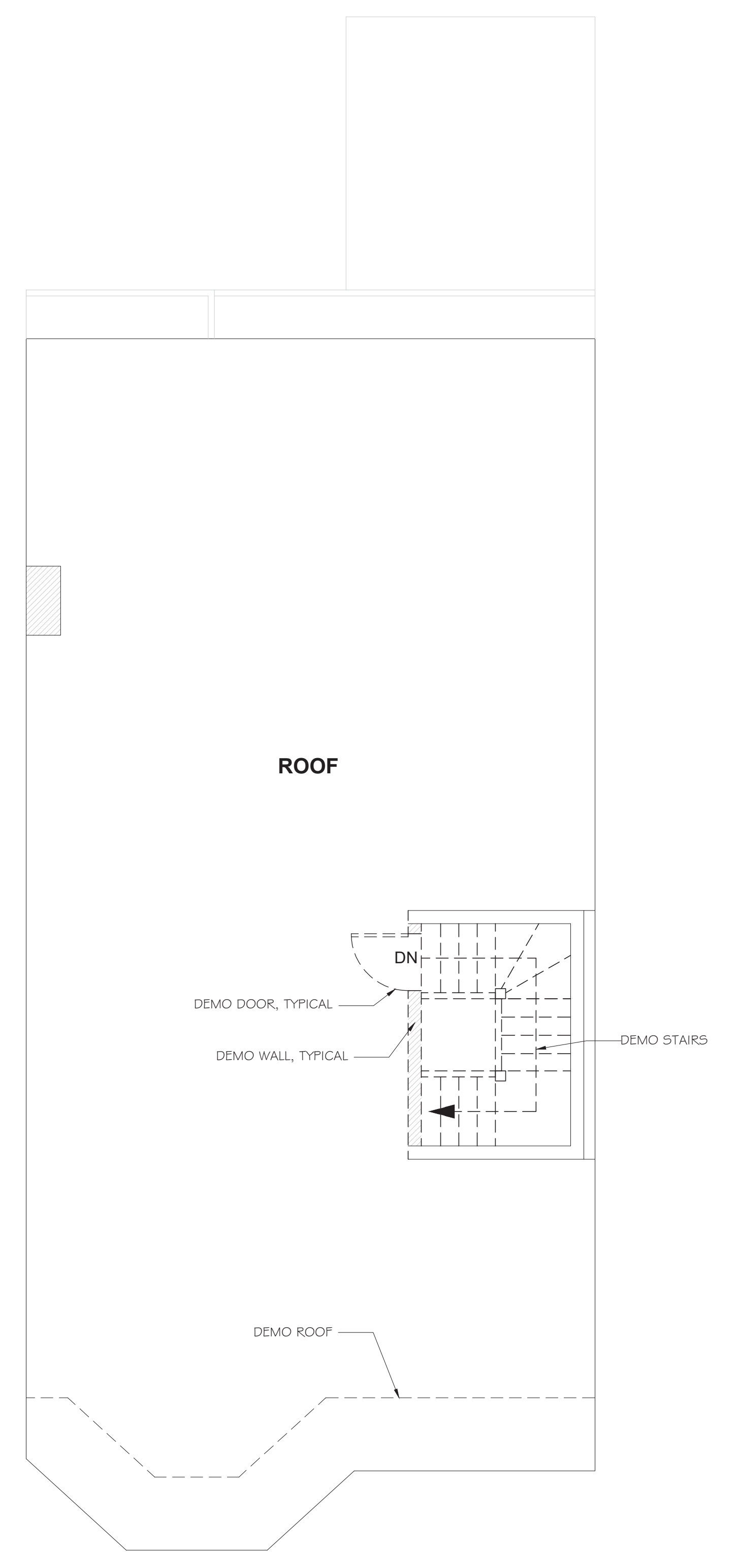
D1.1

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THIRD FLOOR PLAN
CEILING HEIGHT = 9'-2"



ROOF PLAN

DEMO PLAN LEGEND

-  EXISTING WALLS TO REMAIN
-  EXISTING WALLS TO BE REMOVED
-  EXISTING DOOR/ WINDOW/MILLWORK/ FINISHES TO BE REMOVED

Drawing Title:

EXTG./ DEMO PLANS

Scale: 1/2" = 1'-0" Drawing No.:

Job No.:

Date: 08/26/2021

D1.2



36.20'

Headhouse 37' - 8"

Top of Parapet (*) 53.1' (*)

Roof 30' - 1"

Third Floor 18' - 11"

Second Floor 9' - 5"

First Floor 0' - 0"

Ground Level -3' - 3"

Average Grade (*) 16.9' (*)

Basement -8' - 5"



FRONT ELEVATION

(*) Refer to Plot Plan by Peter Nolan and Ass. LLC for Average Grade and Building Height Measurements

36.20'

Headhouse 37' - 8"

Top of Parapet (*) 53.1' (*)

Roof 30' - 1"

Third Floor 18' - 11"

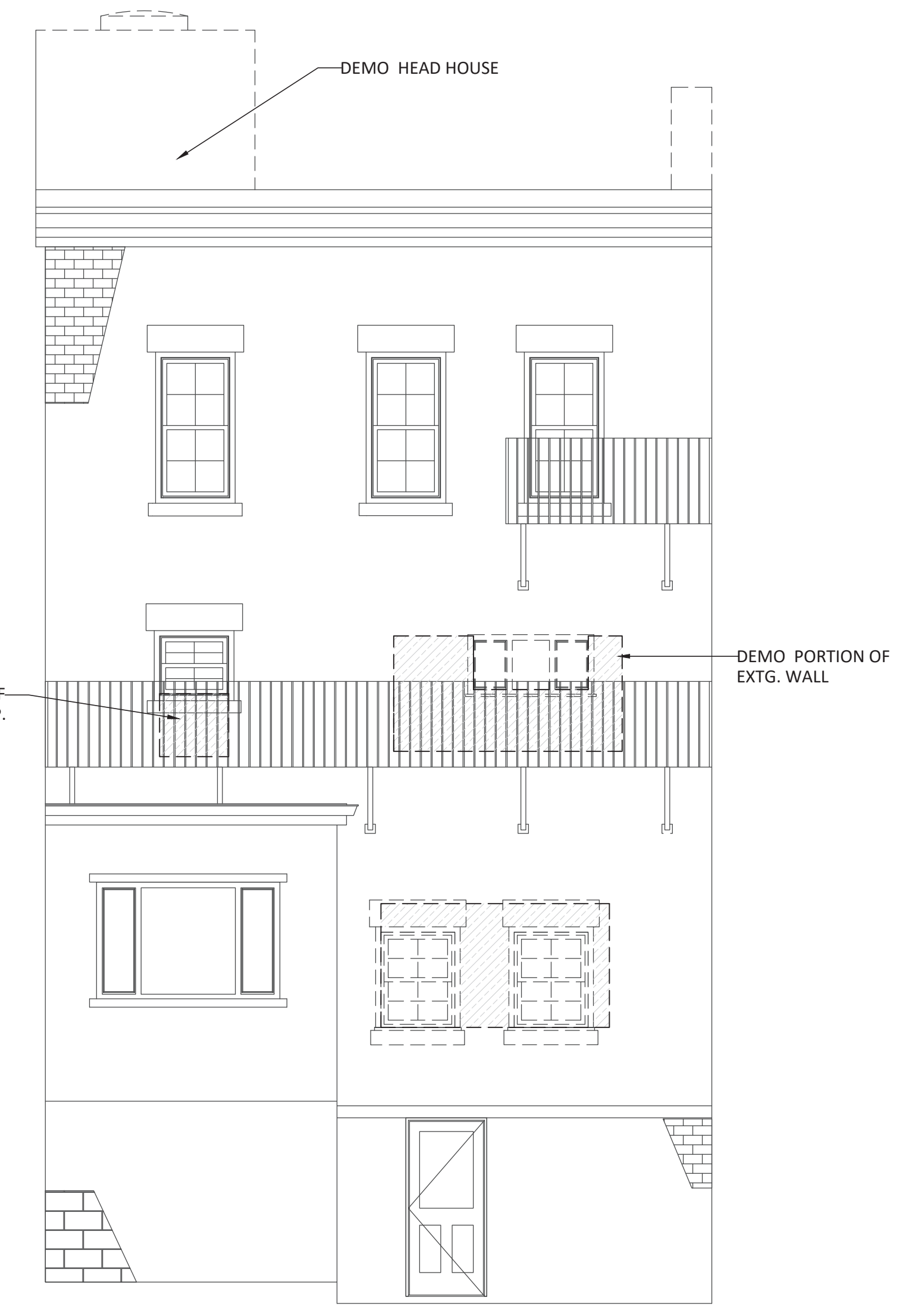
Second Floor 9' - 5"

First Floor 0' - 0"

Ground Level -3' - 3"

Average Grade (*) 16.9' (*)

Basement -8' - 5"



REAR ELEVATION

Drawing Title:

EXTG./ DEMO ELEVATIONS

Scale: 1/2" = 1'-0" Drawing No.:

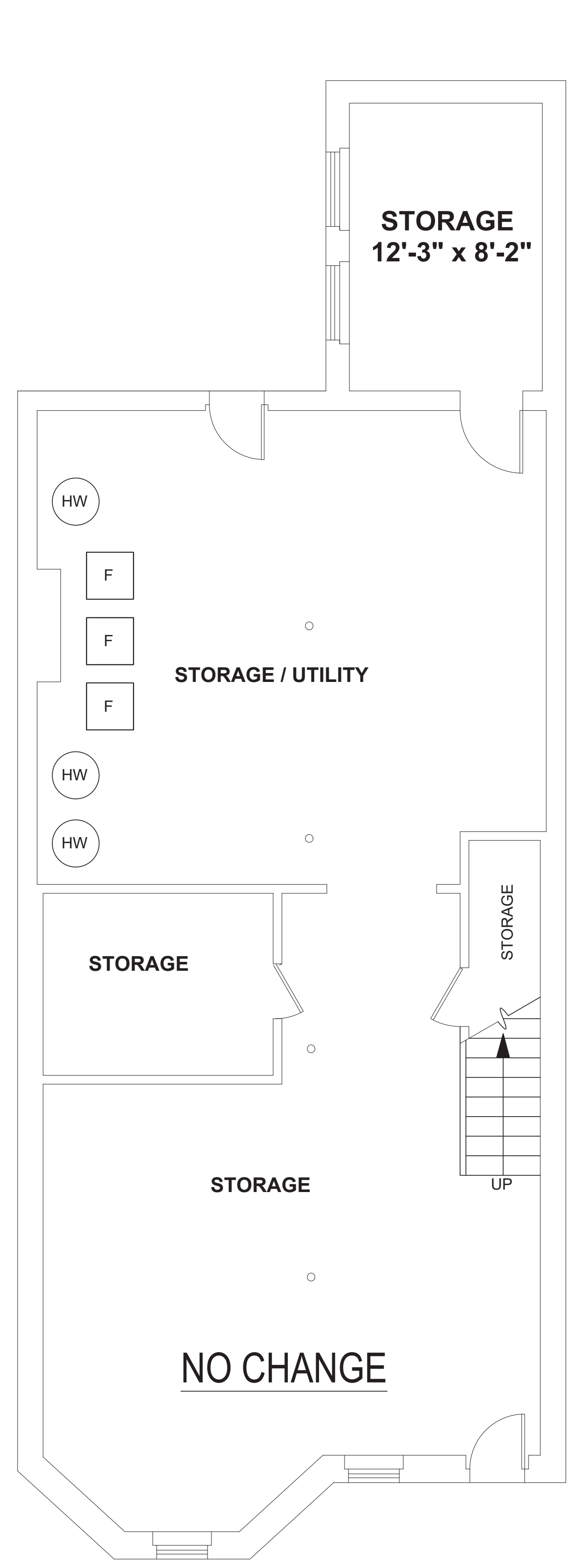
Job No.: **D2.1**

Date: 08/26/2021

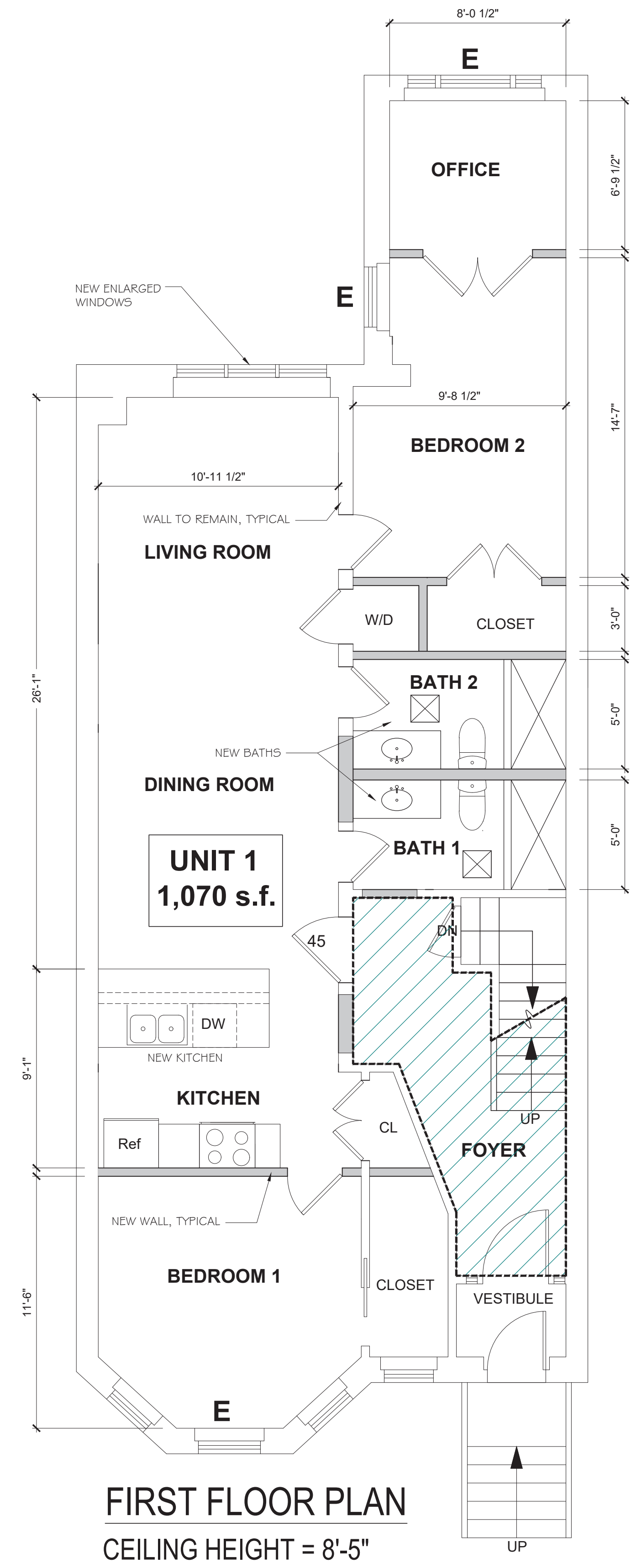


STAIR FIRE SEPERATION NOTES:

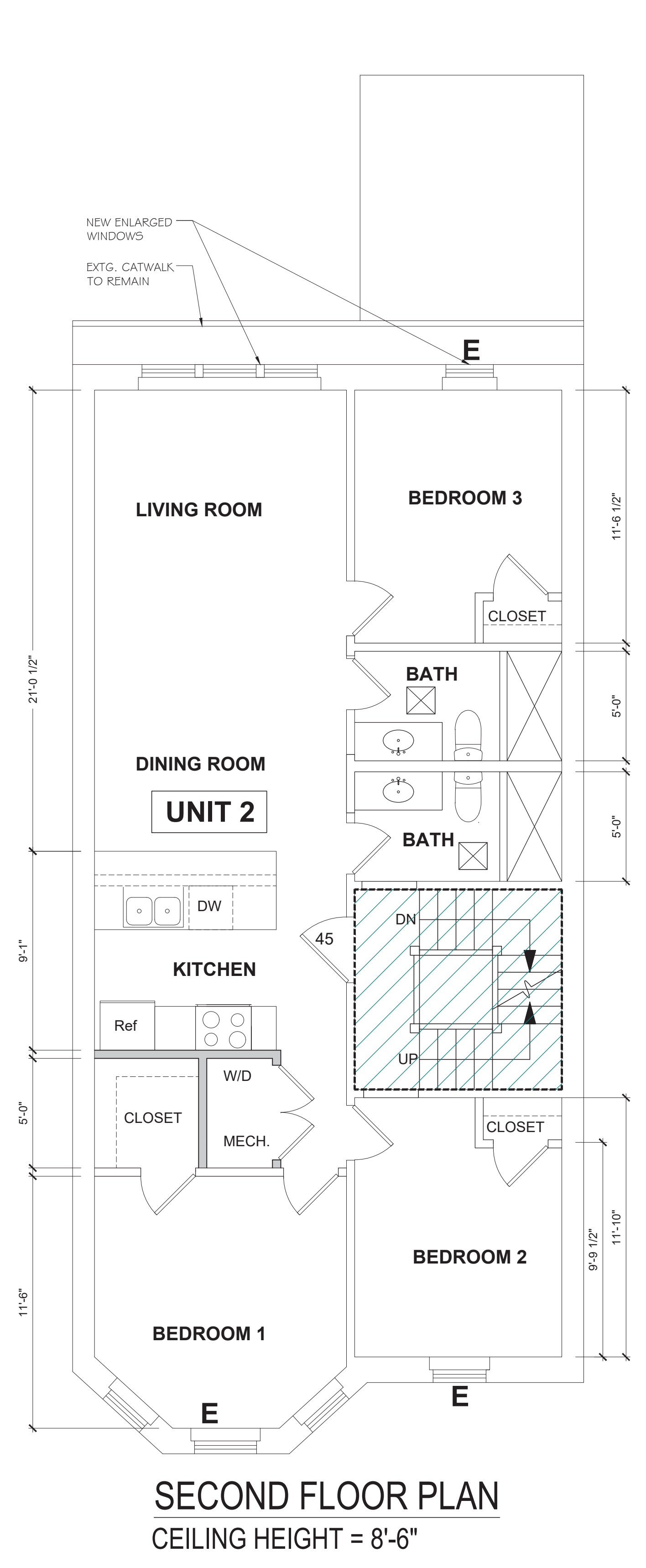
- 1) There is an existing stairway extending from the First Floor to the Basement. This stairway needs to be separated from the Common Stairway by 1 hour construction.
- 2) There is an existing stairway (Common Stair) that connects the First through Third Floors. Both require a 1 hour enclosure. This enclosure includes a top and bottom enclosure as required.



BASEMENT PLAN
CEILING HEIGHT = 7'-5"



FIRST FLOOR PLAN
CEILING HEIGHT = 8'-5"



SECOND FLOOR PLAN
CEILING HEIGHT = 8'-6"

LEGEND

	EXISTING WALL TO REMAIN		BATHROOM VENT
	EVERY BEDROOM TO HAVE AT LEAST (1) CODE COMPLIANT ESCAPE WINDOW, GC TO MODIFY OR REPLACE EXISTING WINDOWS AS REQUIRED		45 MIN FIRE RATED EGRESS DOOR
	BATHROOM WINDOW TO BE TEMPERED IF 5'-0" OR LESS OFF THE FINISHED FLOOR		1-HR RATED STAIR ENCLOSURE WITH STC-50

CONSTRUCTION PLAN LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING DOOR/ WINDOW/MILLWORK/ FINISHES TO REMAIN
	NEW WALL

CONSTRUCTION NOTES

- 1). NEW ADDITION ROOF TO HAVE INSULATION R49
- 2). NFPA-13 SPRINKLER SYSTEM TO BE INSTALLED
- 3). ADDITIONAL WORK (THAT DOES NOT REQUIRE A BUILDING PERMIT IN THE STATE OF MASSACHUSETTS) MAY BE PERFORMED AT THE OWNERS REQUEST. SUCH WORK IS NOT INCLUDED IN THE SCOPE OF DOCUMENTS ISSUED IN THIS SUBMISSION. SUCH WORK MAY INCLUDE:
 - A). FINISHES, FLOORING, CEILINGS, WALL BOARD AND FIXTURES MAY BE REPLACED IN KIND AT THE OWNERS DISCRETION.
 - B). DOORS MAY BE REPLACED IN THE SAME FRAME AND IN THE SAME LOCATION OUTSIDE OF THE ILLUSTRATED WORK AREA. NO CHANGES TO EXISTING DOOR SIZES OR LOCATIONS WILL BE REQUIRED.
 - C). MILLWORK, CABINETRY AND COUNTERTOPS MAY BE REPLACED OUTSIDE OF THE ILLUSTRATED WORK AREA AT THE OWNERS DISCRETION.
 - D). ELECTRICAL FIXTURES, OUTLETS AND SWITCHES MAY BE REPLACED OUTSIDE OF THE ILLUSTRATED WORK AREA BY A LICENSED ELECTRICIAN AT THE OWNERS DISCRETION.
- 4). THE ARCHITECT IS NOT PROVIDING DESIGN SERVICES FOR STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION OR PLUMBING. ANY INFORMATION SHOWN ON THESE DRAWINGS WITH RESPECT TO THESE ENGINEERING DISCIPLINES IS NOT INTENDED AS AN ENGINEERING DESIGN. GC AND OWNER TO COORDINATE ADDITIONAL ENGINEERING DISCIPLINES AS REQUIRED.
- 5). GC IS RESPONSIBLE FOR COORDINATING STRUCTURAL DESIGN FOR THE RELOCATION OF ANY EXISTING LOAD BEARING WALLS.
- 6). REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING INFORMATION

Drawing Title:

PROPOSED PLANS

Scale: 1/2" = 1'-0" Drawing No.:
Job No.: 54
Date: 08/29/2021

A1.1

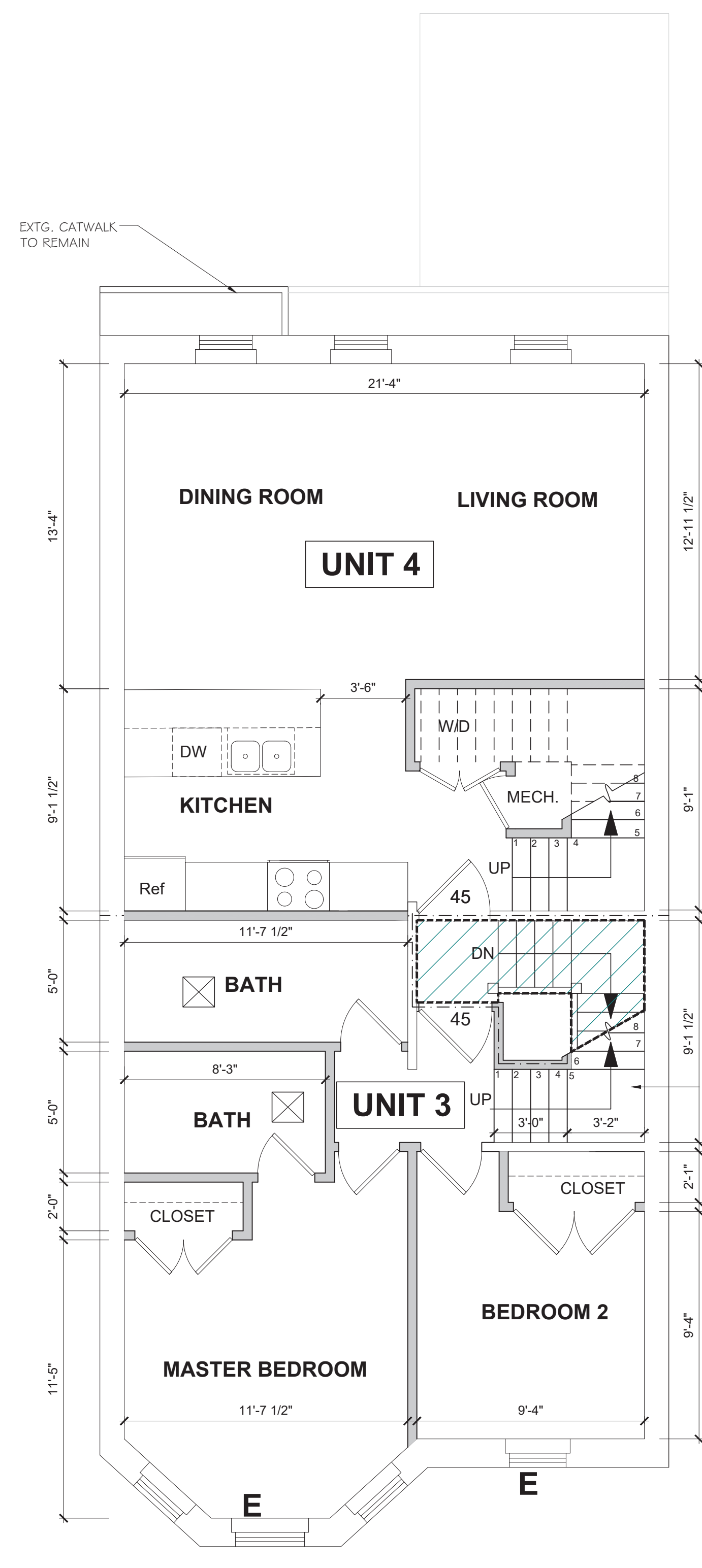


- CONSTRUCTION NOTES**
- 1). NEW ADDITION ROOF TO HAVE INSULATION R49
 - 2). NFPA-13SPRINKLER SYSTEM TO BE INSTALLED
 - 3). ADDITIONAL WORK (THAT DOES NOT REQUIRE A BUILDING PERMIT IN THE STATE OF MASSACHUSETTS) MAY BE PERFORMED AT THE OWNERS REQUEST. SUCH WORK IS NOT INCLUDED IN THE SCOPE OF DOCUMENTS ISSUED IN THIS SUBMISSION. SUCH WORK MAY INCLUDE:
 - A). FINISHES, FLOORING, CEILINGS, WALL BOARD AND FIXTURES MAY BE REPLACED IN KIND AT THE OWNERS DISCRETION.
 - B). DOORS MAY BE REPLACED IN THE SAME FRAME AND IN THE SAME LOCATION OUTSIDE OF THE ILLUSTRATED WORK AREA. NO CHANGES TO EXISTING DOOR SIZES OR LOCATIONS WILL BE REQUIRED.
 - C). MILLWORK, CABINERY AND COUNTERTOPS MAY BE REPLACED OUTSIDE OF THE ILLUSTRATED WORK AREA AT THE OWNERS DISCRETION.
 - D). ELECTRICAL FIXTURES, OUTLETS AND SWITCHES MAY BE REPLACED OUTSIDE OF THE ILLUSTRATED WORK AREA BY A LICENSED ELECTRICIAN AT THE OWNERS DISCRETION.
 - E). THE ARCHITECT IS NOT PROVIDING DESIGN SERVICES FOR STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION OR PLUMBING. ANY INFORMATION SHOWN ON THESE DRAWINGS WITH RESPECT TO THESE ENGINEERING DISCIPLINES IS NOT INTENDED AS AN ENGINEERING DESIGN. GC AND OWNER TO COORDINATE ADDITIONAL ENGINEERING DISCIPLINES AS REQUIRED.
 - F). GC IS RESPONSIBLE FOR COORDINATING STRUCTURAL DESIGN FOR THE RELOCATION OF ANY EXISTING LOAD BEARING WALLS.
 - G). REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING INFORMATION

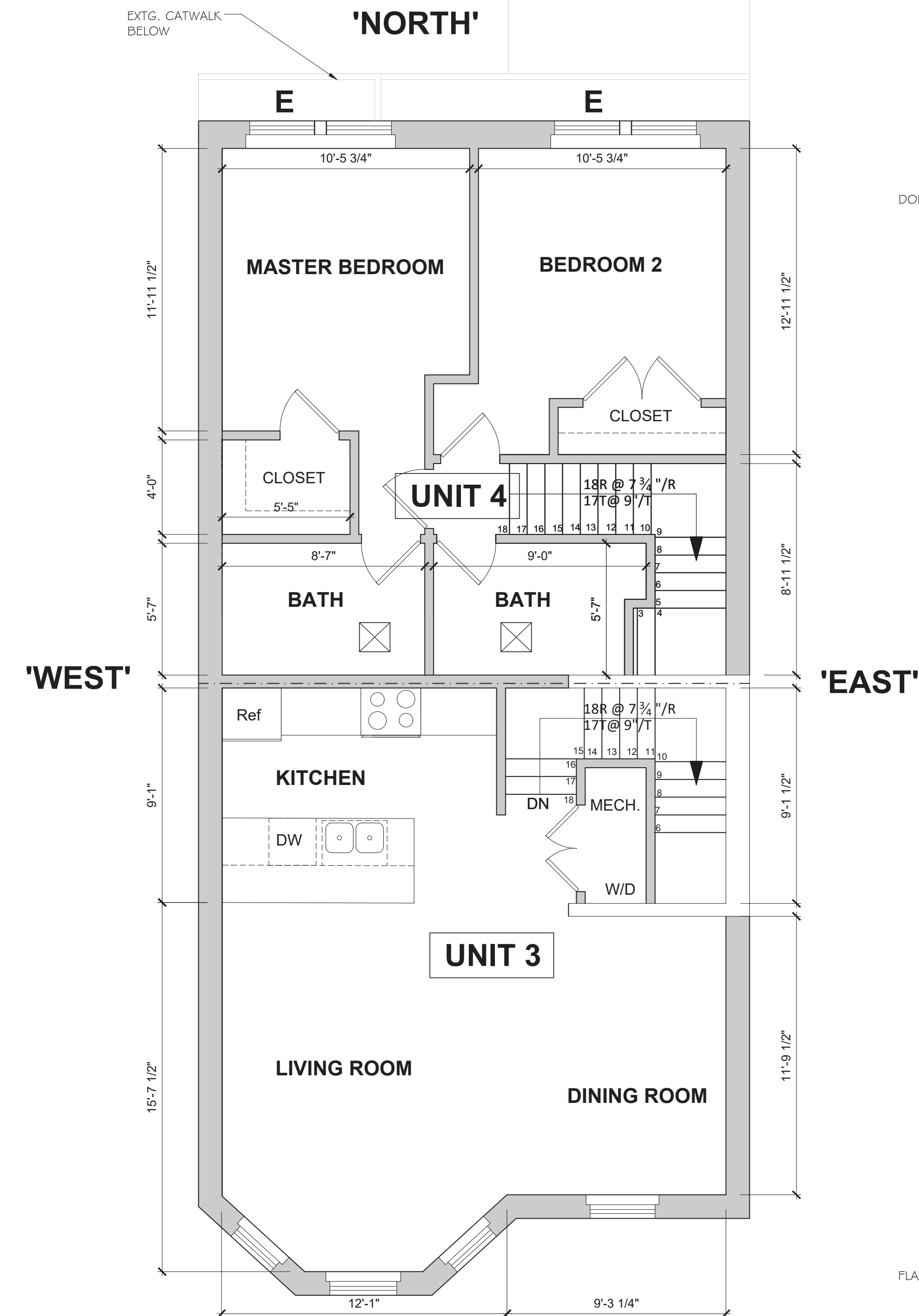
EAST AND WEST EXTERIOR LOAD-BEARING WALLS:

EXTERIOR SIDE
 HARDI COMPOSITE CLAPBOARD
 1/2" EXTERIOR ZIP WALL PLYWOOD
 5/8" TYPE-X GWB
 STUD WALL, 2X6 @ 16" O.C.
 CLOSED CELL SPRAY FOAM INSULATION
 5/8" TYPE-X GWB

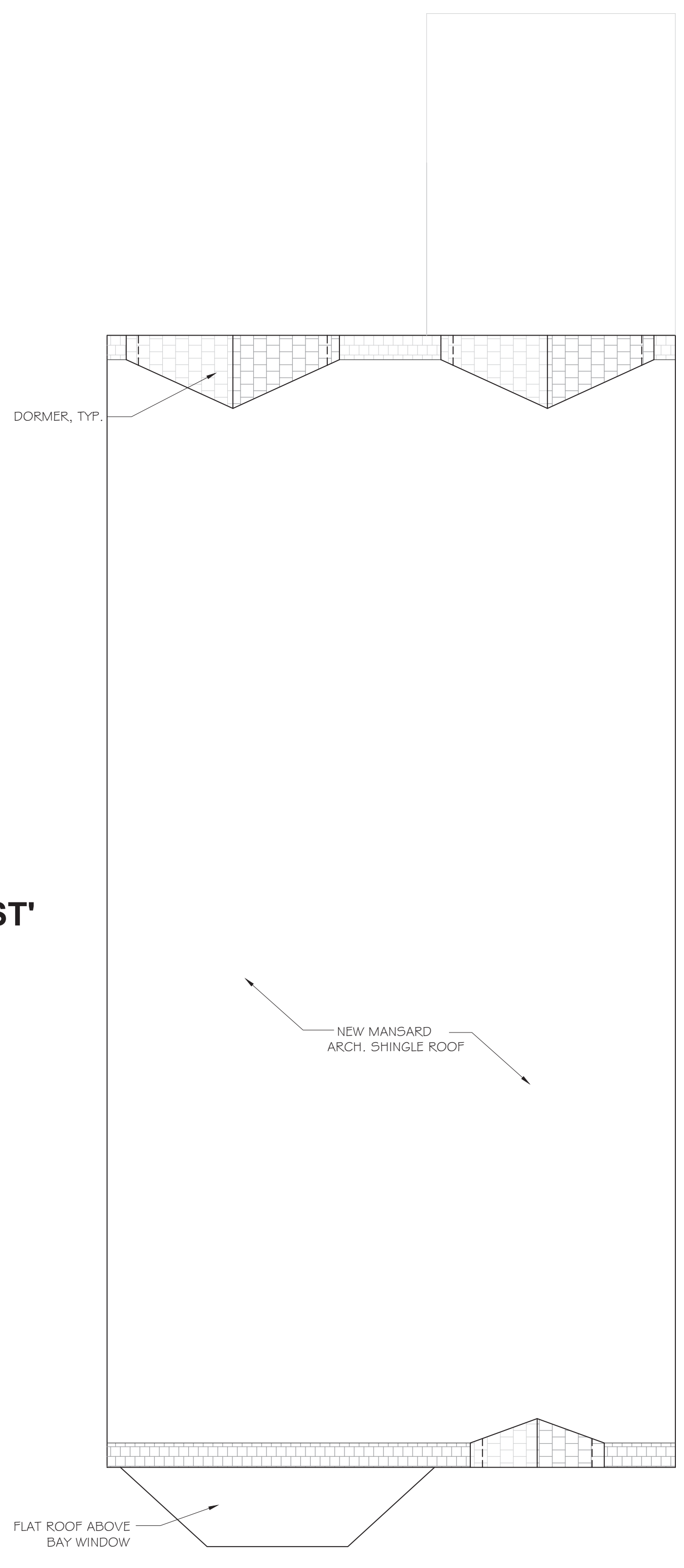
NEW INTERIOR / EXTERIOR
 1-HOUR FIRE RATED
 2X6 EXTERIOR STUDWALL



THIRD FLOOR PLAN
 CEILING HEIGHT = 9'-2"



4TH FLOOR PLAN
 MAX. CEILING HEIGHT = 9'-0"



ROOF PLAN

LEGEND FOR 4TH STORY EXTERIOR WALL RATINGS:

New exterior walls must comply with new construction criteria. The new Fourth Floor exterior walls need to be rated as follows:

A) All exterior bearing walls must be 1 hour rated and based on the FSD, the West and East façade walls must be rated from both the interior and exterior. The North and South façade walls need only be rated from the interior.

B) Based on FSD, exterior non-loadbearing walls on the West and East façades must be rated for 1 hour from both the interior and exterior. Exterior non-loadbearing walls on the North façade with a FSD 10' <x < 20' must be rated for 1 hour from the interior only.

C) Exterior non-loadbearing walls on the South and North façades (FSD 20'+) are not required to be rated.

WALL RATINGS:

- 'NORTH' : NON-LOADBEARING / NO RATING REQUIRED
- 'SOUTH' : NON-LOADBEARING / NO RATING REQUIRED
- 'EAST' : LOAD BEARING / 1-HOUR RATING REQUIRED EA SIDE
- 'WEST' : LOAD BEARING / 1-HOUR RATING REQUIRED EA SIDE

LEGEND

- EXISTING WALL TO REMAIN
- E EVERY BEDROOM TO HAVE AT LEAST (1) CODE COMPLIANT ESCAPE WINDOW. GC TO MODIFY OR REPLACE EXISTING WINDOWS AS REQUIRED
- T BATHROOM WINDOW TO BE TEMPERED IF 5'-0" OR LESS OFF THE FINISHED FLOOR
- ⊗ BATHROOM VENT
- 45 45 MIN FIRE RATED EGRESS DOOR
- 1-HR RATED STAIR ENCLOSURE WITH STC-50

CONSTRUCTION PLAN LEGEND

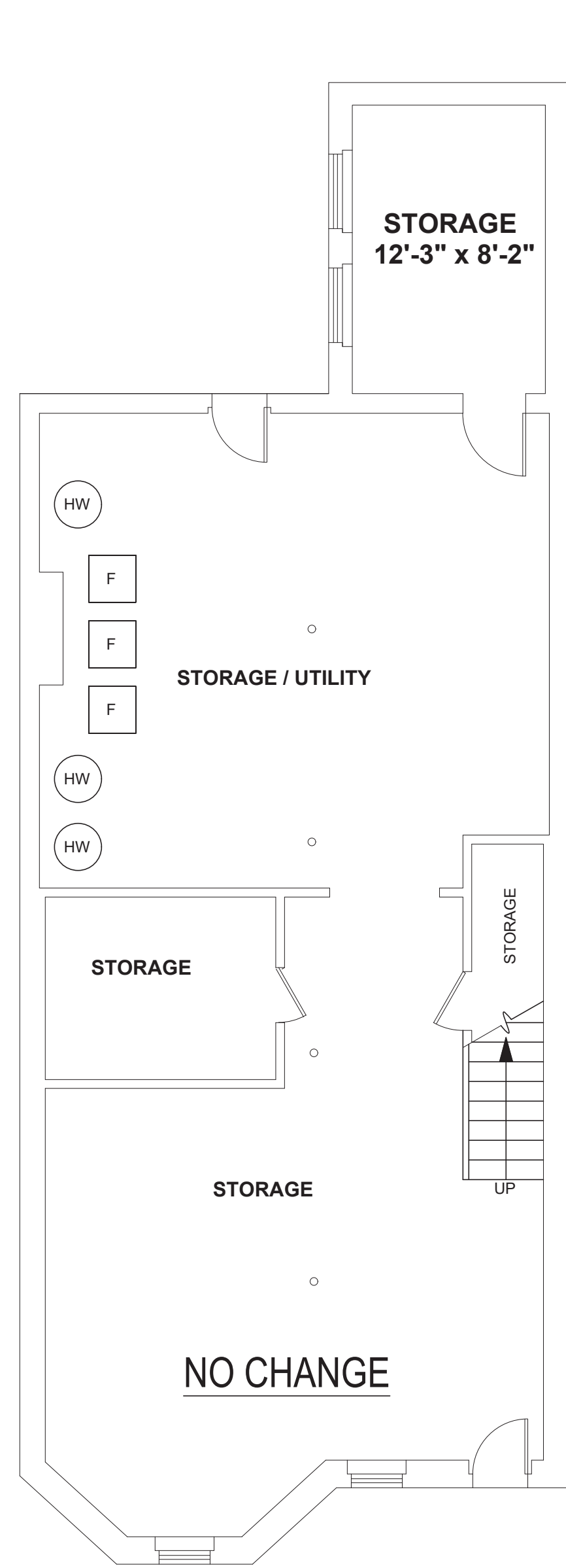
- EXISTING WALLS TO REMAIN
- EXISTING DOOR / WINDOW / MILLWORK / FINISHES TO REMAIN
- NEW WALL

Drawing Title:

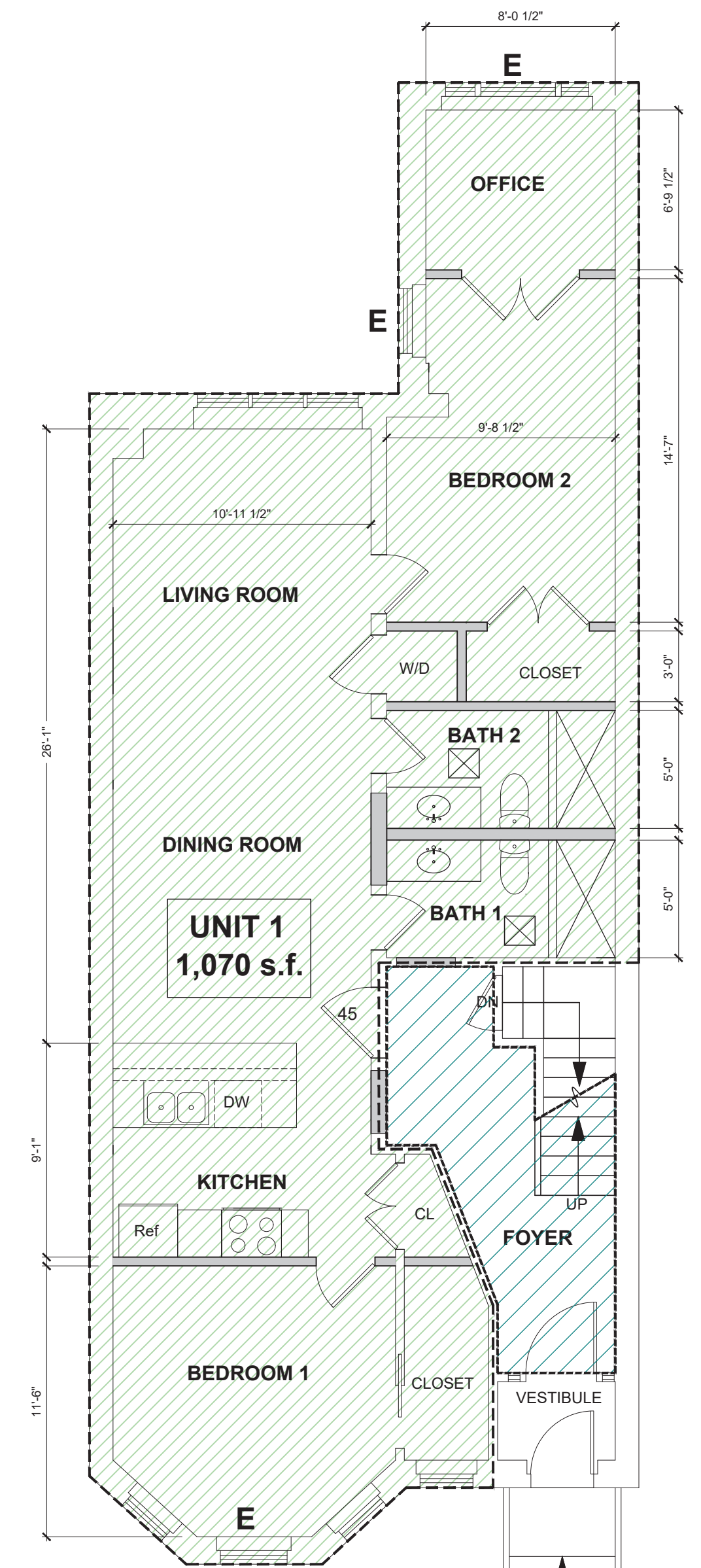
PROPOSED PLANS

Scale: 1/2" = 1'-0" Drawing No.:
 Job No.:
 Date: 02/19/2021

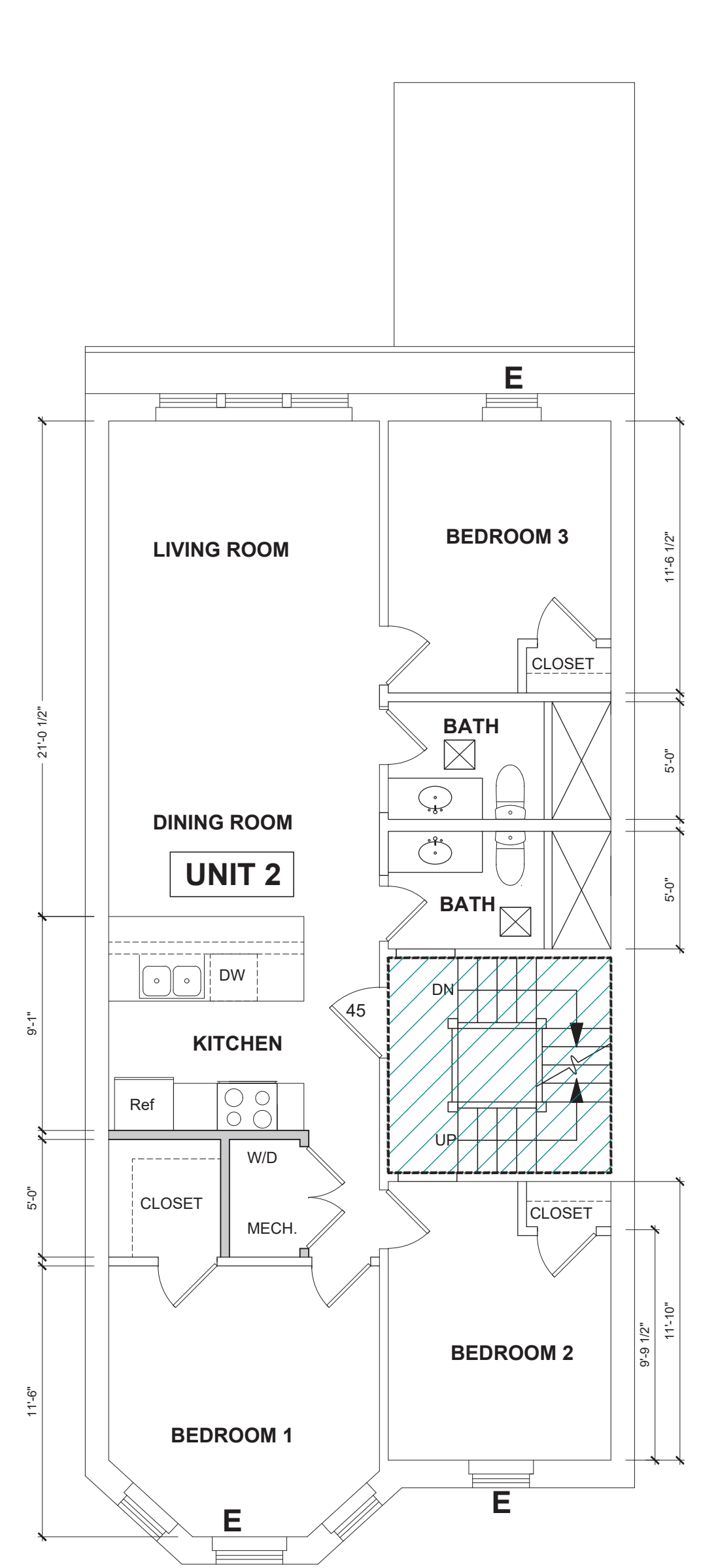
A1.2



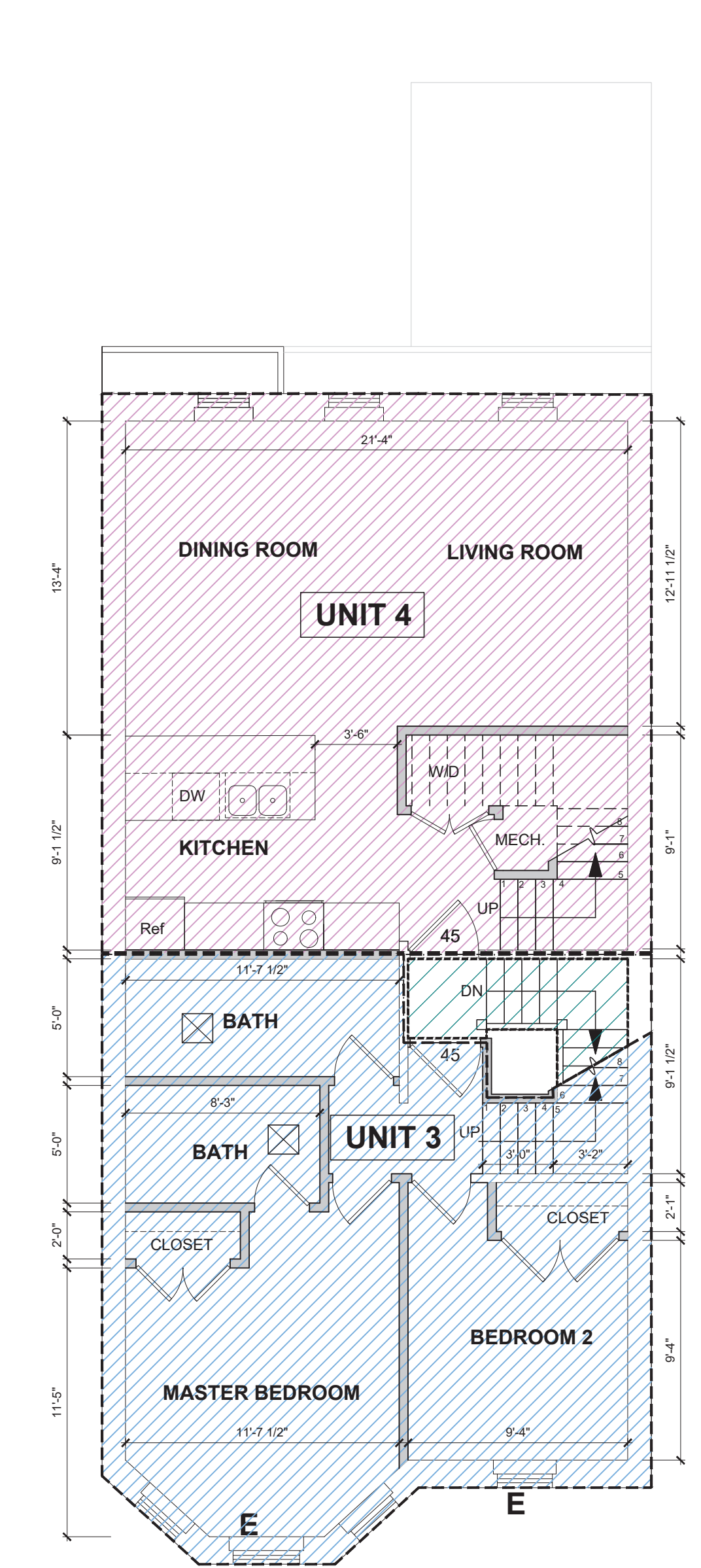
BASEMENT PLAN
CEILING HEIGHT = 7'-5"



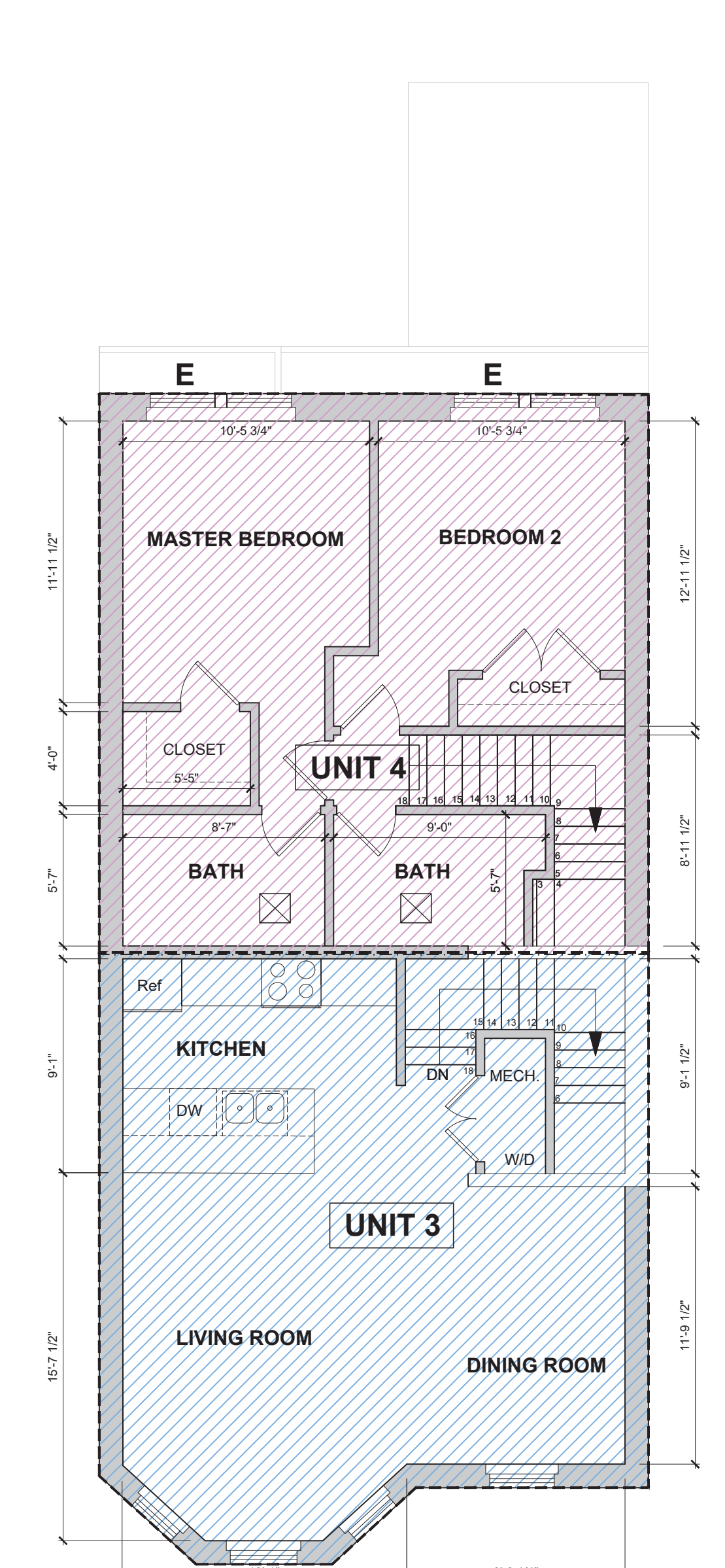
FIRST FLOOR PLAN
CEILING HEIGHT = 8'-5"



SECOND FLOOR PLAN
CEILING HEIGHT = 8'-6"



THIRD FLOOR PLAN
CEILING HEIGHT = 9'-2"



4TH FLOOR PLAN
MAX. CEILING HEIGHT = 9'-0"

NOTE: ALL LOAD BEARING ELEMENTS INCLUDING BEARING WALLS AND ROOF ARE REQUIRED TO BE 1 HOUR RATED.

LEGEND FOR 4TH STORY EXTERIOR WALL RATINGS:

New exterior walls must comply with new construction criteria. The new Fourth Floor exterior walls need to be rated as follows:

A) All exterior bearing walls must be 1 hour rated and based on the FSD, the West and East façade walls must be rated from both the interior and exterior. The North and South façade walls need only be rated from the interior.

B) Based on FSD, exterior nonloadbearing walls on the West and East façades must be rated for 1 hour from both the interior and exterior. Exterior nonloadbearing walls on the North façade with a FSD $10' < x < 20'$ must be rated for 1 hour from the interior only.

C) Exterior nonloadbearing walls on the South and North façades (FSD 20'+) are not required to be rated.

MIN. S.F. PER NUMBER OF BEDROOMS CONFORMITY				
NEW UNIT	ACTUAL S.F.	UNIT TYPE	MIN. S.F. REQUIRED	CONFORMING
UNIT 1	1,070	2 BEDS	850	YES
UNIT 2	EXISTING DWELLING UNIT TO REMAIN / AREA CALC NA			
UNIT 3	1,120	2 BEDS	850	YES
UNIT 4	1,120	2 BEDS	850	YES

PROJECT: Prop. Renovations and 4th Story Addition to:
116 LONDON STREET
Boston, MA

GCD ARCHITECTS
2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com



Drawing Title:

PROPOSED PLANS

Scale: 3/16" = 1'-0"

Job No.:

Date: 08/26/2021

Drawing No.:

A1.3

EXTERIOR NOTES:

1. 4TH BAY WINDOW TO BE PAINTED PVC TRIM
2. ALL NEW WINDOWS (X) TO BE VINYL CLAD TO MATCH EXISTING
3. REMODEL EXISTING PARAPET TO MATCH 114 LONDON STREET



GC TO FIELD MEASURE 114 LONDON PARAPET AND TRIM DETAILS AND REPLICATE EXACTLY ON 116 LONDON

PROJECT: Prop. Renovations and 4th Story Addition to:
116 LONDON STREET
Boston, MA

GCD ARCHITECTS

2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com



APPROVED

Design Section
BOSTON REDEVELOPMENT AUTHORITY

9/27/2021

Design Review
for the
Board of Appeal

M. Cannizzo
Signature

BOA 1161114. Any changes to these plans must be submitted to the BPDA for approval. All PVC trim and siding is to be painted.

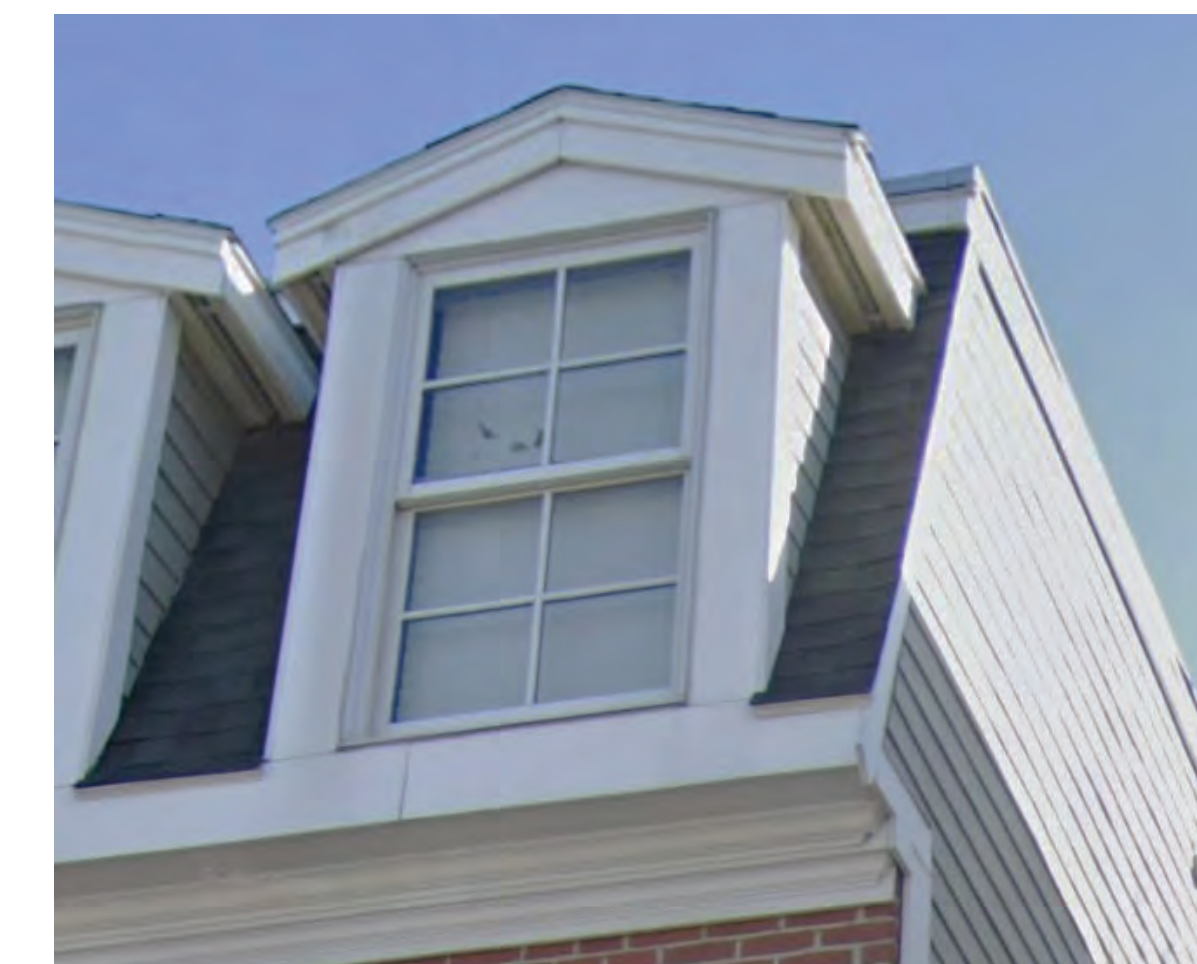


FRONT ELEVATION

(*) Refer to Plot Plan by Peter Nolan and Ass. LLC for Average Grade and Building Height Measurements



REAR ELEVATION



4TH STORY SIDE WALLS AND DORMER SIDEWALLS TO BE HARDI BOARD, SMOOTH SIDE FACING OUT.

SLOPING MANSARD ROOF WALLS TO BE ARCHITECTURAL ASPHALT ROOFING 'BELMONT' BY CERTAINTEED OR EQUAL

ALL DORMER AND BAY WINDOW TRIM TO BE PAINTED PVC

Drawing Title:

PROPOSED ELEVATIONS

Scale: AS NOTED Drawing No.:
Job No.:
Date: 08/26/2021

A2.1

114 LONDON

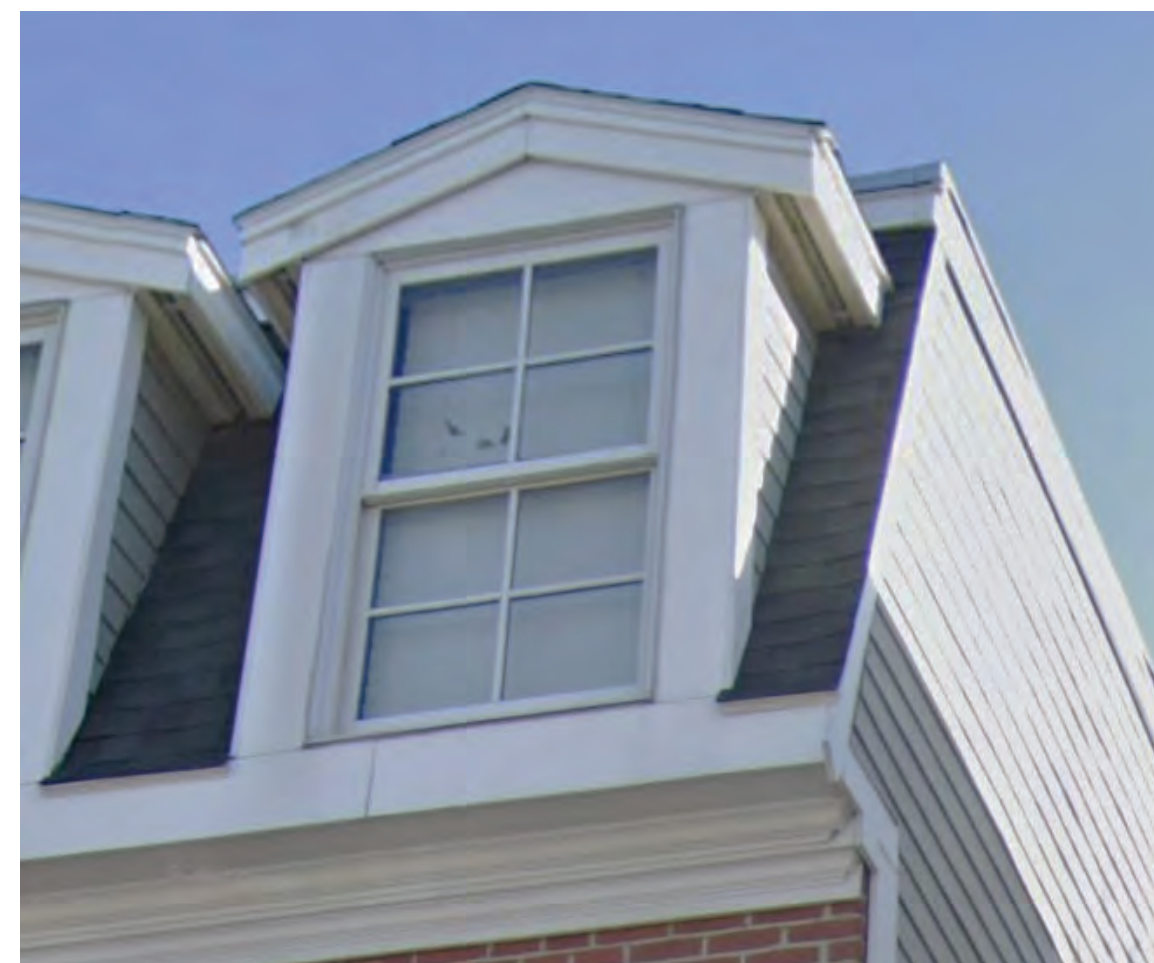
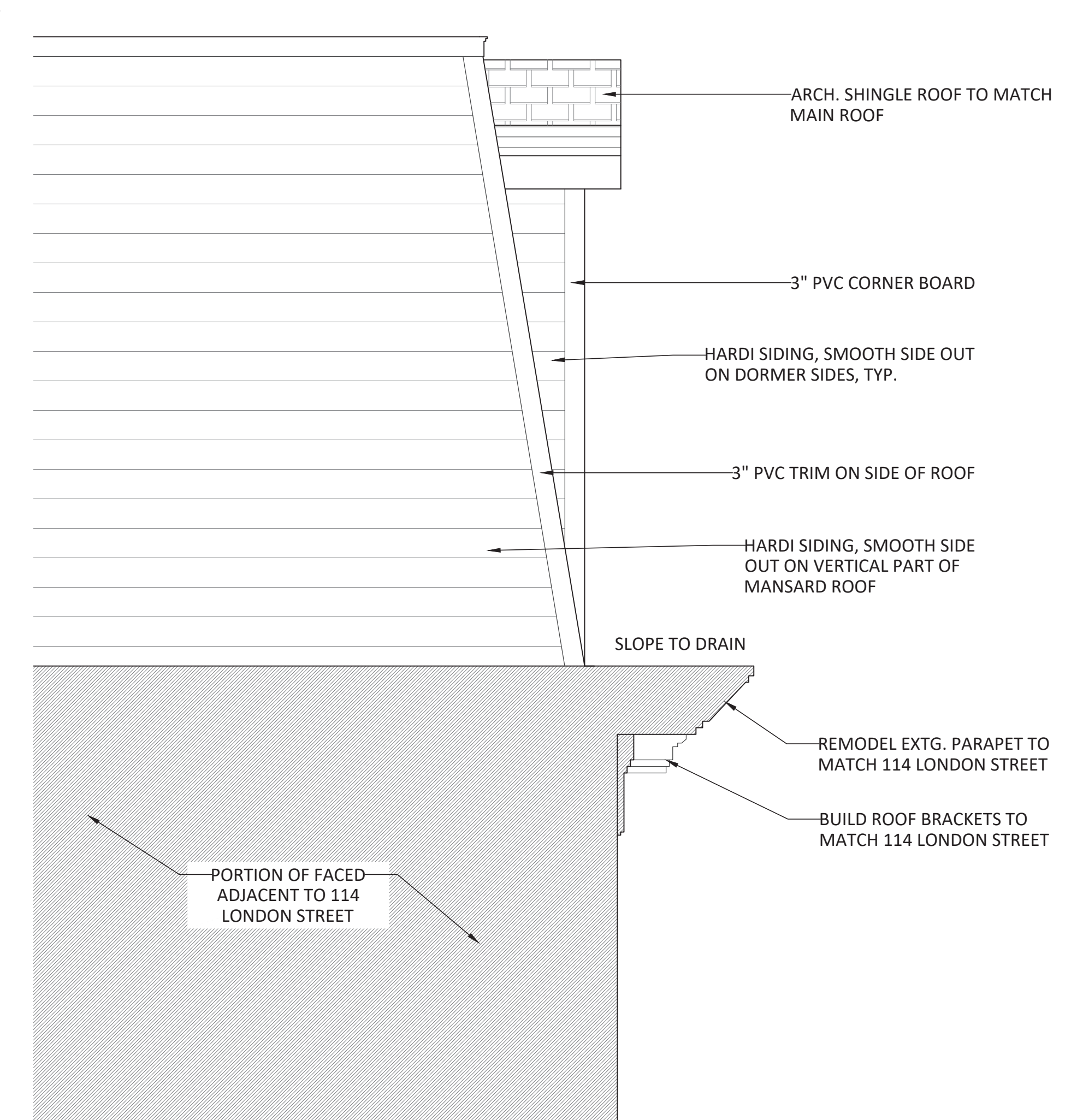
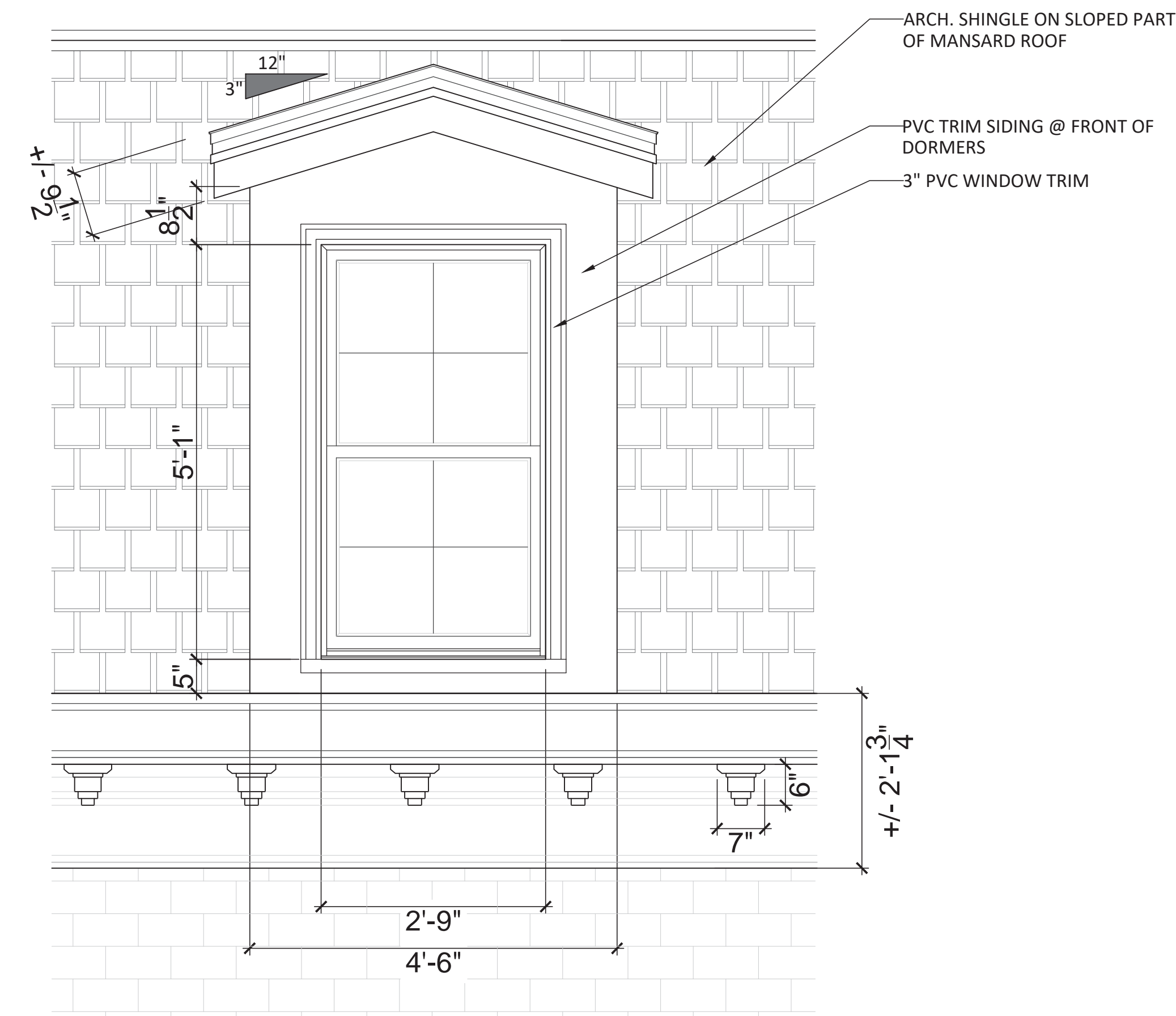
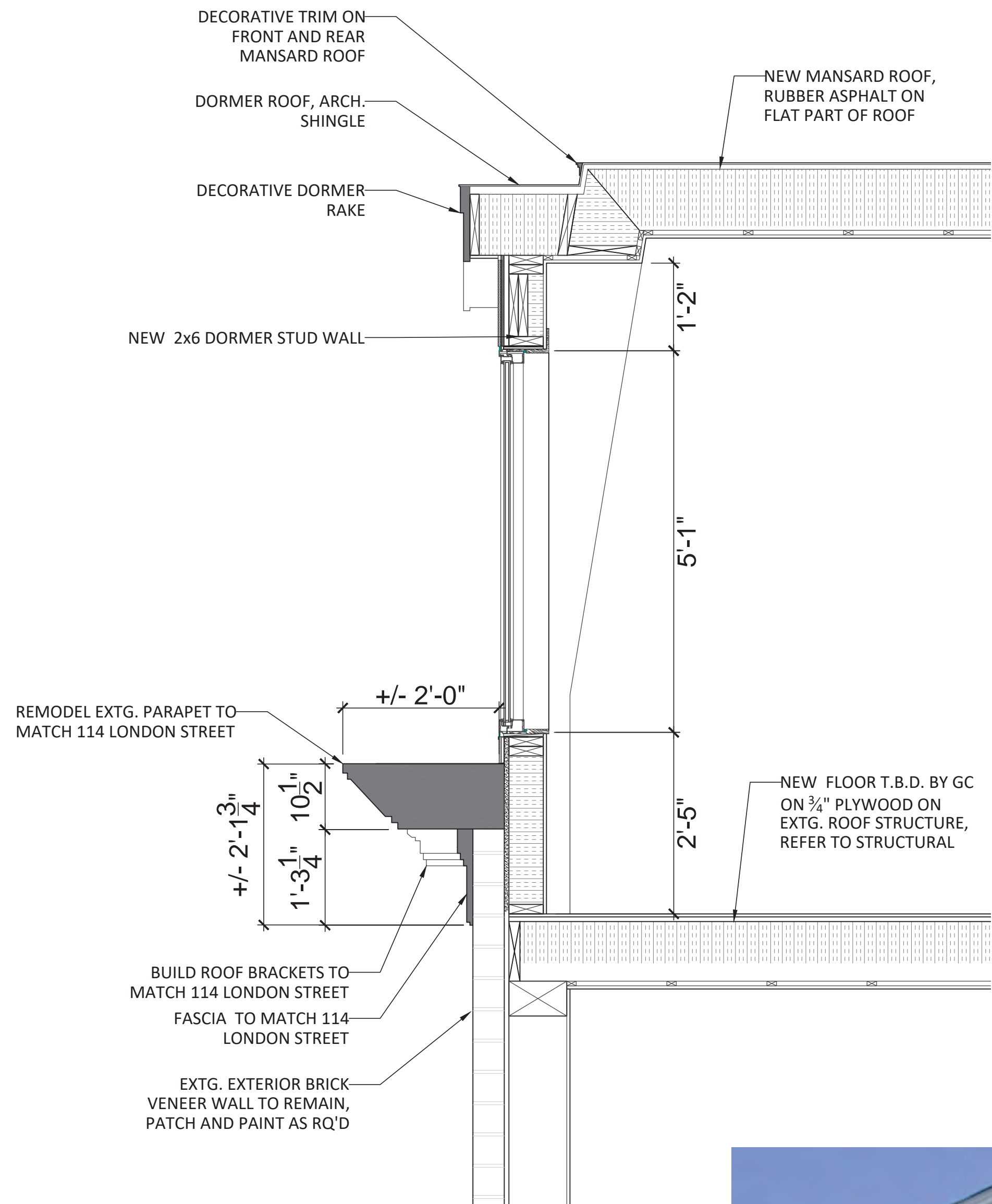


**GC TO FIELD MEASURE
114 LONDON PARAPET AND
TRIM DETAILS AND REPLICATE
EXACTLY ON 116 LONDON**

APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
Design Review
for the
Board of Appeal
M. Cannizzo
Signature

9/27/2021

BOA 1161114. Any changes to these plans must be submitted to the BPDA for approval. All PVC trim and siding is to be painted.



4TH STORY SIDE WALLS AND DORMER SIDEWALLS TO BE HARDI BOARD, SMOOTH SIDE FACING OUT.

SLOPING MANSARD ROOF WALLS TO BE ARCHITECTURAL ASPHALT ROOFING 'BELMONT' BY CERTAINTED OR EQUAL

ALL DORMER AND BAY WINDOW TRIM TO BE PAINTED PVC

1 SECTION
Scale 1/4" = 1'-0"

PROJECT:
Prop. Renovations and 4th Story Addition to:
116 LONDON STREET
Boston, MA

GCD ARCHITECTS

2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com



Drawing Title:

**TYP. FRONT
DORMER DETAILS**

Scale: AS NOTED Drawing No.:
Job No.: 54
Date: 09/24/2021

A2.2

C401.2 APPLICATION.

4. RESIDENTIAL USE BUILDINGS UP TO FIVE STORIES MAY ELECT TO COMPLY WITH THE ENERGY PROVISIONS OF SECTION N1106 (R406) FOUND IN 780 CMR 51.00 MASSACHUSETTS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 2015 APPENDIX AA: STRETCH ENERGY CODE. AA104 EXISTING BUILDINGS – 780 CMR 13.00 OR CHAPTER 11 OF 780 CMR 51.00 SHALL BE USED.

R402 BUILDING THERMAL ENVELOPE

TABLE 402.1.2-INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT. CLIMATE ZONE 5

FENESTRATION U-FACTOR 0.32

SKYLIGHT U-FACTOR 0.55

DOORS LESS THAN HALF GLASS 0.35 MORE THAN HALF GLASS 0.35

CEILING R-VALUE R-49

WOOD FRAMED WALL R-20 OR 13+5 (R-13 IN THE CAVITY PLUS R-5 INSULATED SHEATHING)

MASS WALL R-13 7/8

(SECOND R VALUE OF 17 APPLIES WHEN MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.)

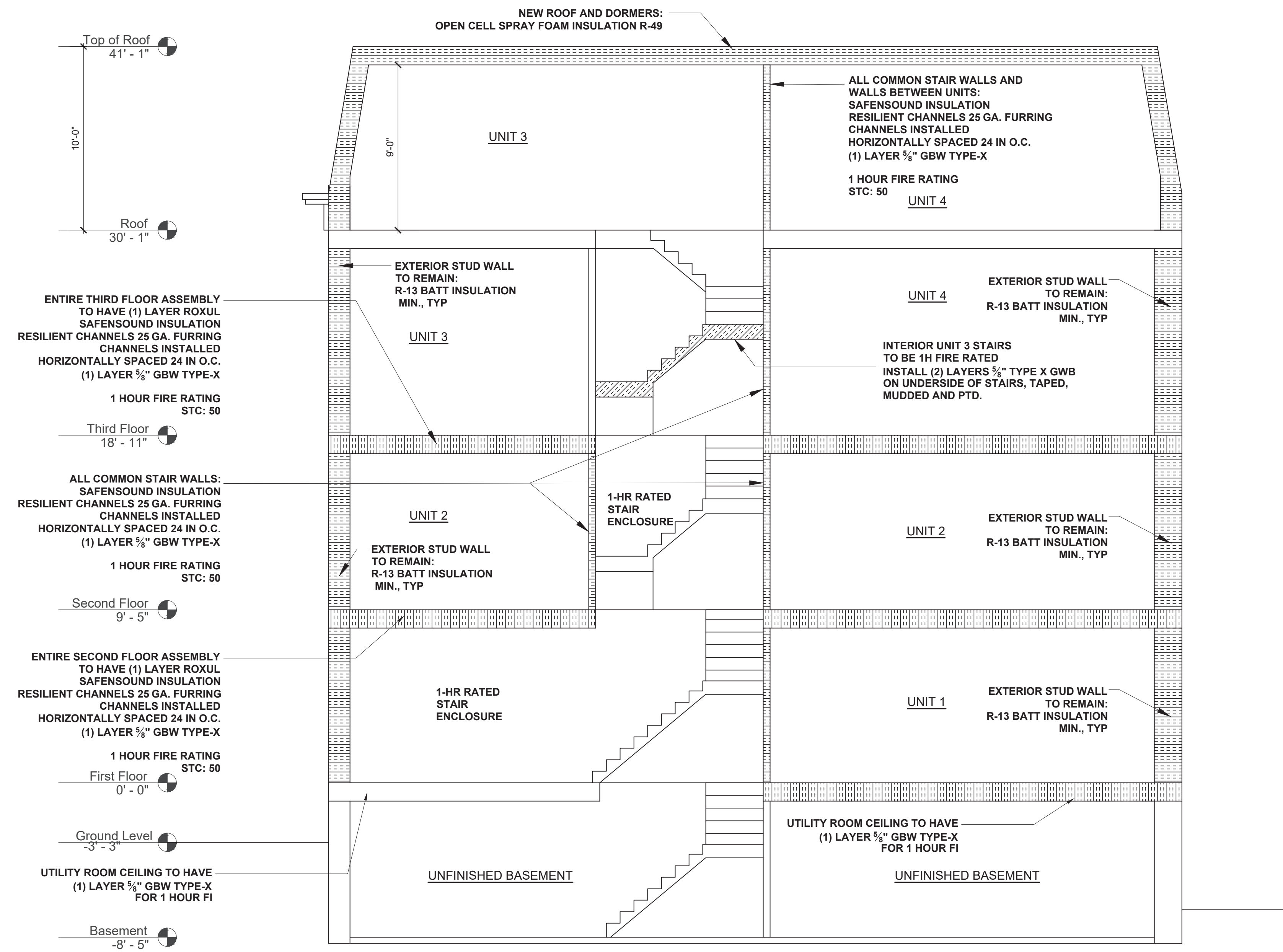
FLOOR R-30

BASEMENT WALL R 15/19 (R-15 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.) SLAB R & DEPTH R10, 2 FT (R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS, INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2FEET.)

CRAWL SPACE R 15/19 (R-15 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.)

402.4 AIR LEAKAGE -INSTALL DUPONT TYVEK ON THE EXTERIOR AND NO POLYETHYENE ON THE INTERIOR FACE UNDER THE GYPSUM WALLBOARD. PAPER FACED FIBERGLASS, DENSE PACK CELLULOSE OR FOAM BASE INSULATION IN THE CAVITY. VAPOR RETARDANT PAINT TO BE APPLIED TO THE GYPSUM WALL BOARD OR PLASTER SKIM COAT.

402.4.1.1 AIR SEALING AND INSULATION. BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE DEMONSTRATED TO COMPLY WITH SECTIONS 402.4.1.1.



1 SECTION Scale 1/4"=1'-0"

PROJECT: Prop. Renovations and 4th Story Addition to: 116 LONDON STREET Boston, MA

GCD ARCHITECTS 2 Worthington St Cambridge, MA 02138 Tel. 617-412-8450 ajglassman@hotmail.com www.glassmanchungdesign.com





KRONOS CO. 235 MARGINAL ST CHELSEA MA

Notes:

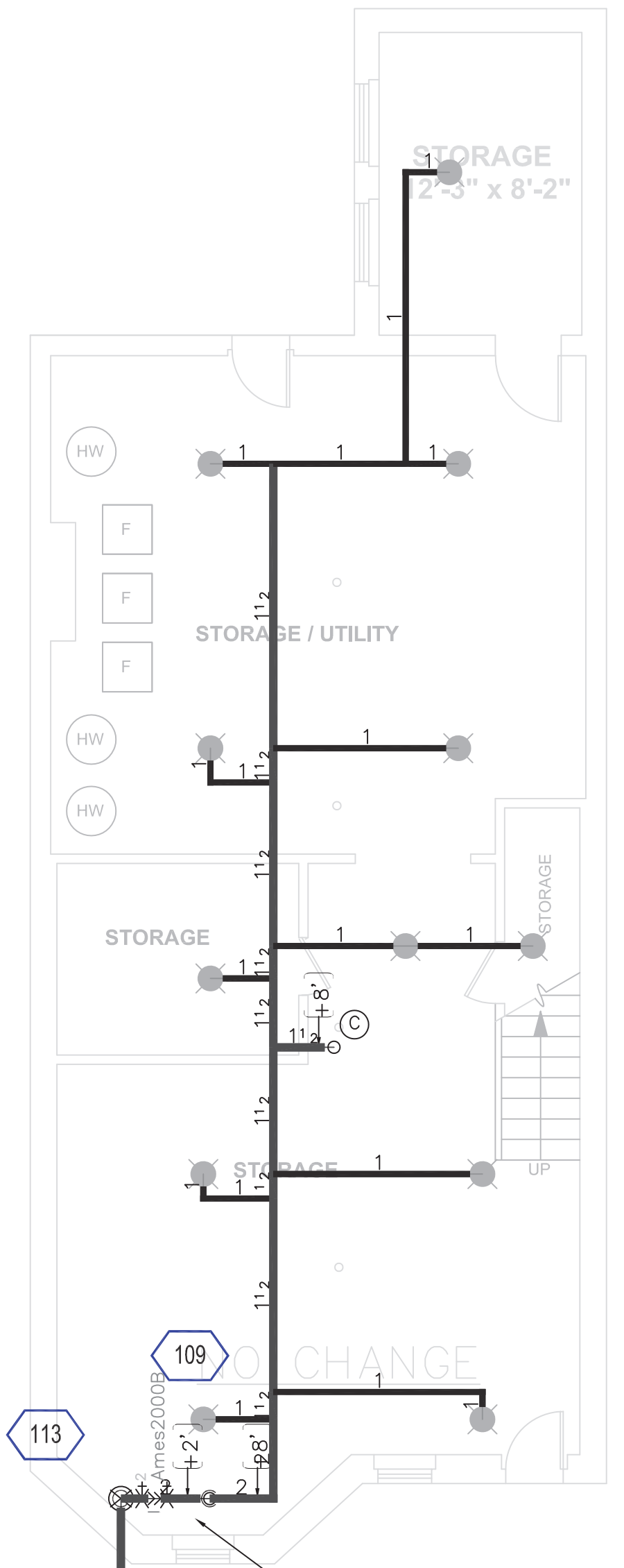
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ENGINEERING STAMP:



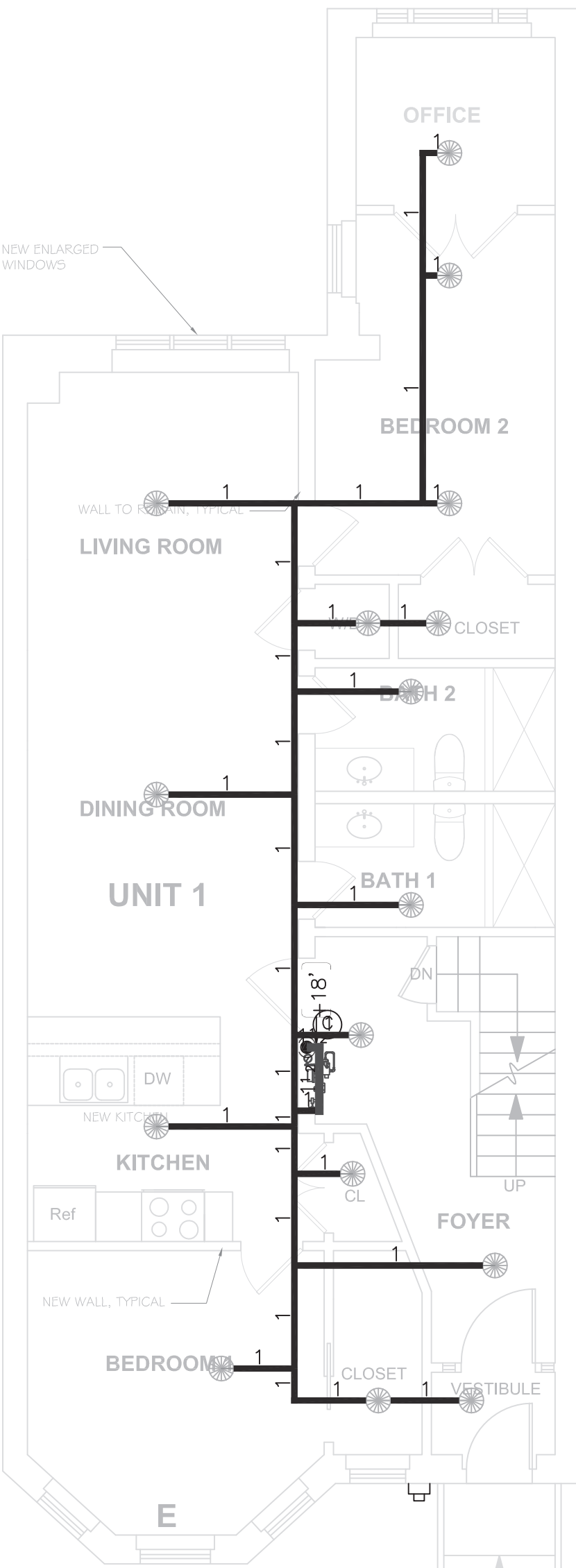
MULTI UNIT

116 LONDON ST BOSTON, MA



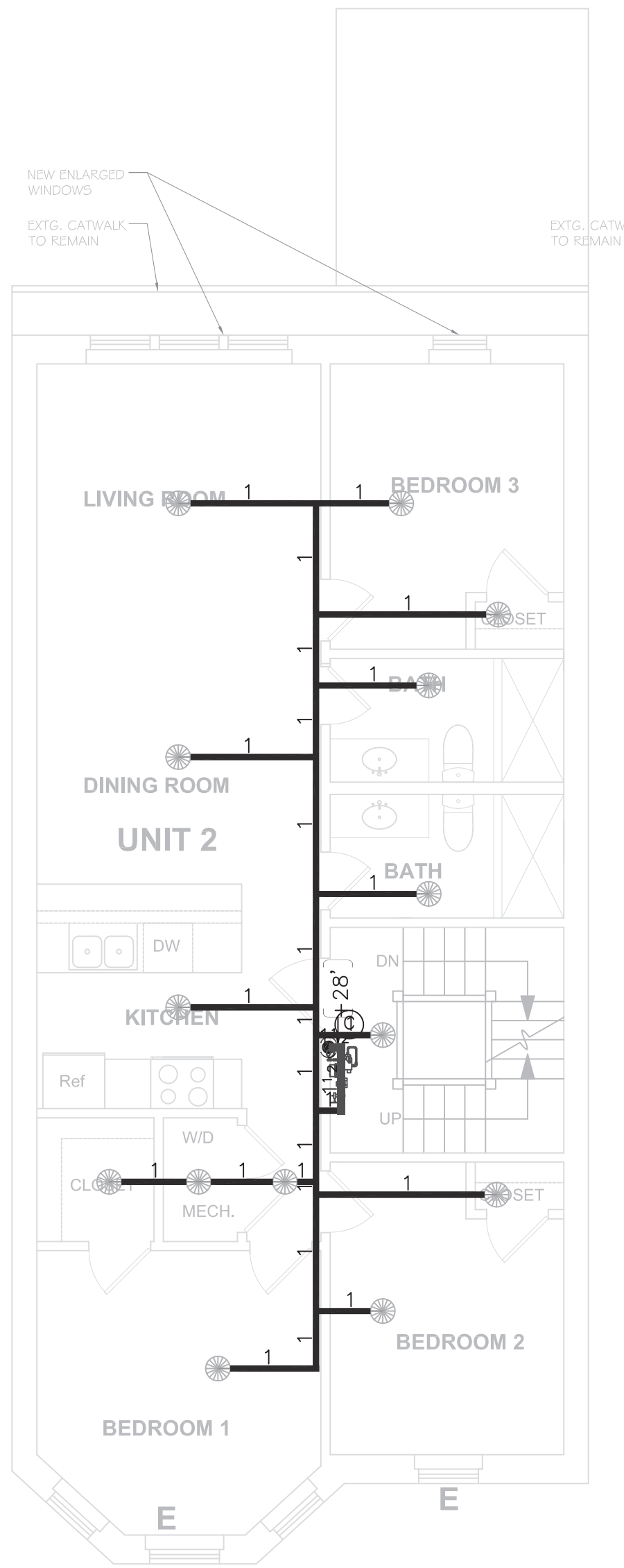
BASEMENT PLAN
CEILING HEIGHT = 7'-5"

PROVIDE NEW 2" FIRE SERVICE LINE (SEE DETAIL, INFO SHEET)
PROVIDE NEW 2" BACKFLOW PREVENTER AND STRAIGHT-PIPE RISER (SEE DETAIL, INFO SHEET)

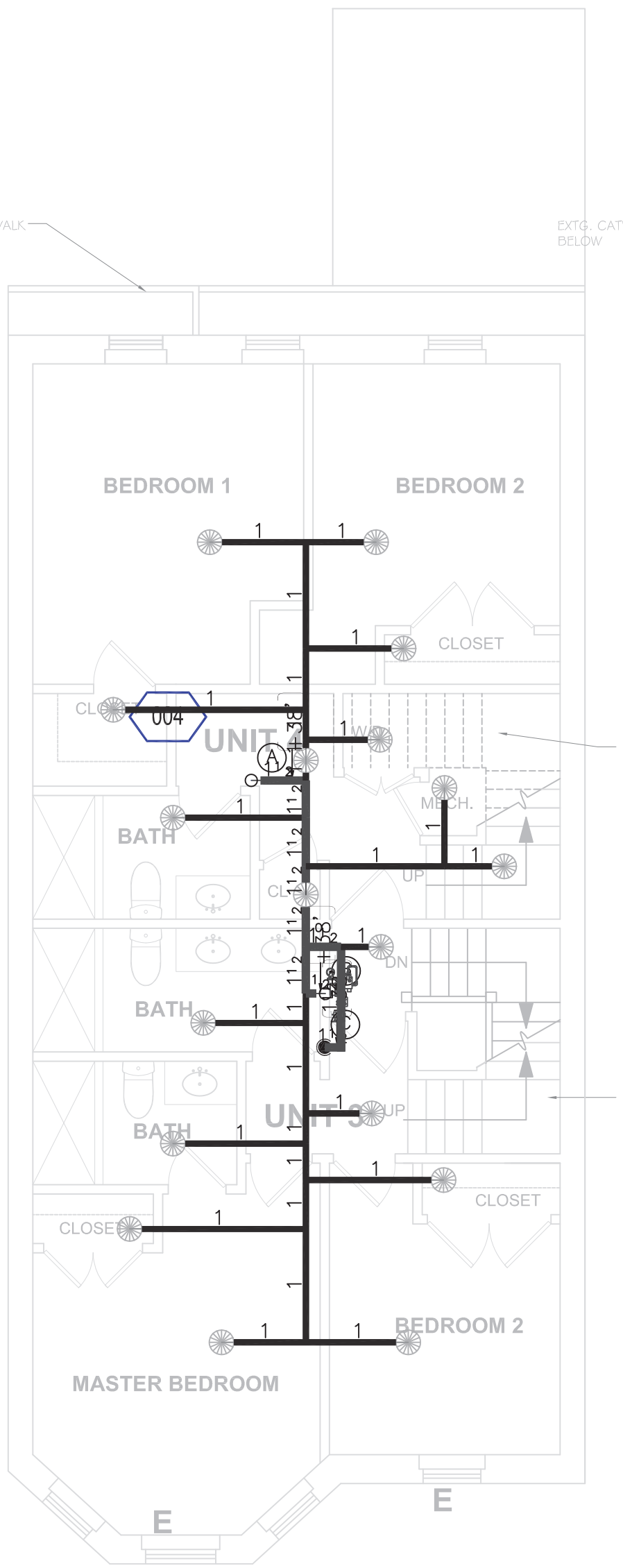


FIRST FLOOR PLAN
CEILING HEIGHT = 8'-5"

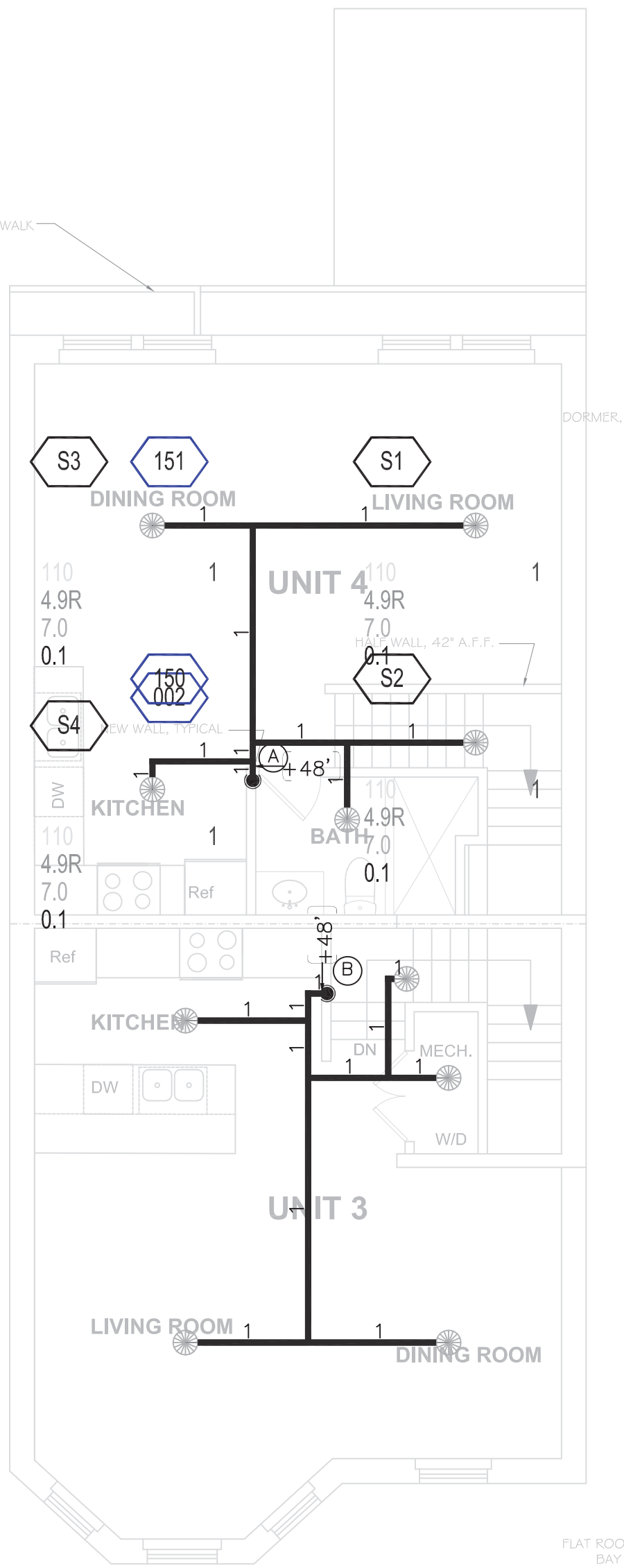
PROVIDE 4" SINGLE-INLET FIRE DEPARTMENT CONNECTION (TYPE AND FINAL LOCATION TO BE VERIFIED WITH BOSTON FIRE DEPARTMENT PRIOR TO INSTALLATION). PROVIDE 2-1/2" CHECK VALVE WITH BALL DRIP LOCATED IN COMMON AREA.



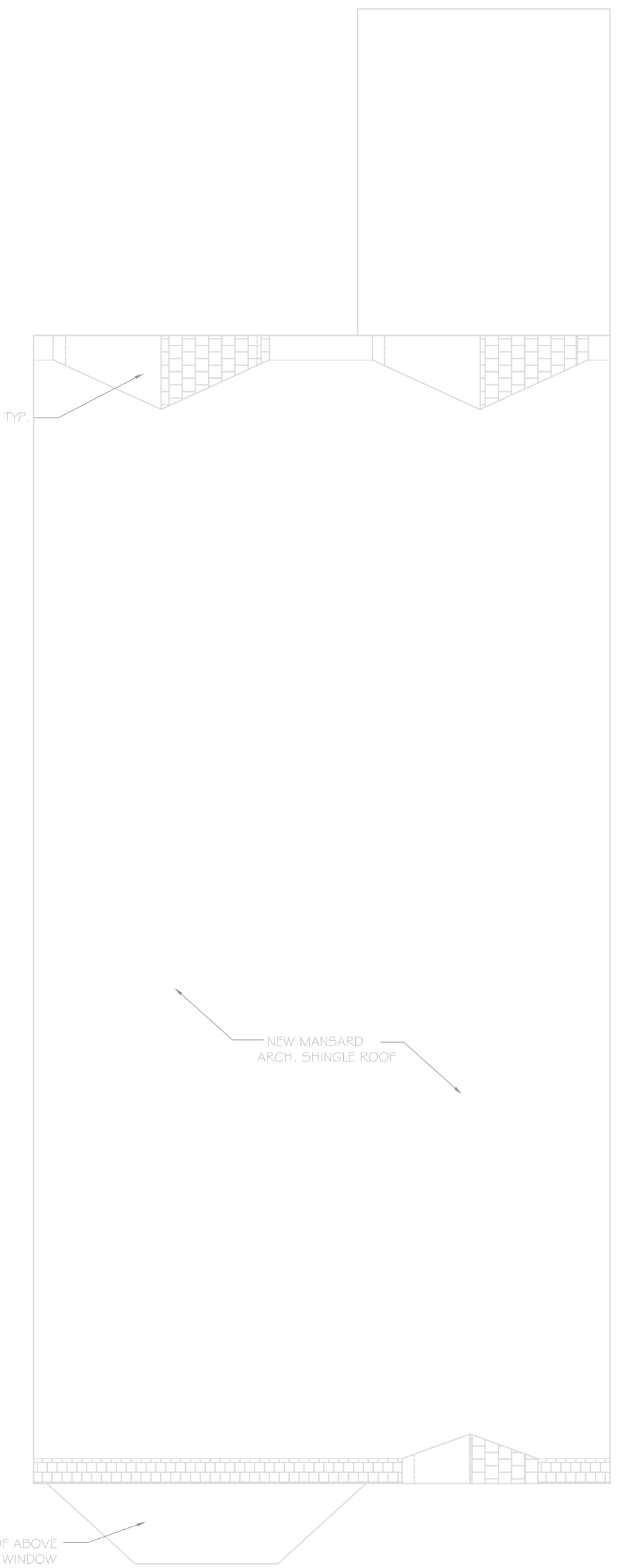
SECOND FLOOR PLAN
CEILING HEIGHT = 8'-6"



THIRD FLOOR PLAN
CEILING HEIGHT = 9'-2"



4TH FLOOR ADDITION PLAN
MAX. CEILING HEIGHT = 9'-0"



NEW ADDITION ROOF PLAN

Design Area 1	Wet System
TOP FLOOR	
Demand Calculations using Hazen-Williams Method	
Occupancy Classification:	LH
Design Area Density:	0.1
Additional Outside Hose:	100
Design Area Size:	420.28
Notes:	

Calculation results for Design Area 1 - TOP FLOOR	
This system as shown on KRONOS COLLABORATIVE company print no. dated 9/21/21 for MULTI UNIT at 116 LONDON ST	
is designed to discharge at a rate of 0.1 gpm/ft ² (L/min/m ²) of floor area over a maximum area of 420.28 ft ² when supplied with water at a rate of 54.8 gpm at 56.5 psi at the base of the riser. Hose stream allowance of _____ is included in the above.	
Occupancy classification: LH	Number of heads flowing: 4
Commodity classification: _____	System Type: Wet
Maximum storage height: _____	Maximum velocity: 16.39 ft/s
Storage arrangement: _____	
Flow from In-Rack sprinklers: 0 gpm	Pressure Required at Source: 56.5 psi
Flow from Overhead sprinklers: 54.8 gpm	Pressure Available at Source: 66.9 psi
Flow from Inside Hoses: 0 gpm	Surplus Pressure at Source: 10.5 psi
Flow from Outside Hoses: 0 gpm	
Other fixed flows: 0 gpm	
Total flow in system piping: 54.8 gpm	
Additional flow at/beyond source: 100 gpm	
Total of all flows: 154.8 gpm	

REV: C	DESCRIPTION:	BY:	DATE:
REV: B			
REV: A			
STATUS: FIRE PROTECTION			

CLIENT:

ENGINEER: KRONOS COLLABORATIVE
235 MARGINAL ST
CHELSEA, MA

SITE: 116 LONDON ST
BOSTON, MA

TITLE: PIPING PLAN
BASE-ROOF

SCALE AT A1: 3/16"=1'-0"	DATE: 9/21/21	DRAWN: JK	CHECKED: NB
PROJECT NO:	DRAWING NO:	REVISION:	
	FP 1		



KRONOS CO. 235 MARGINAL ST CHELSEA MA

Notes:

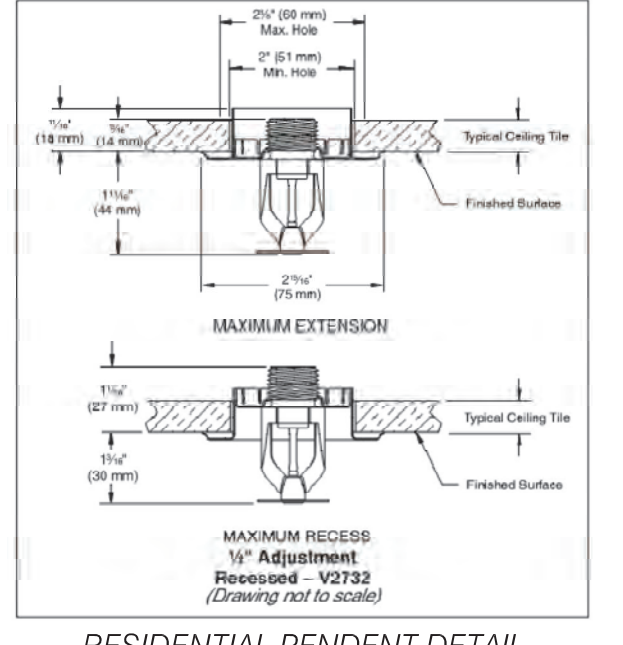
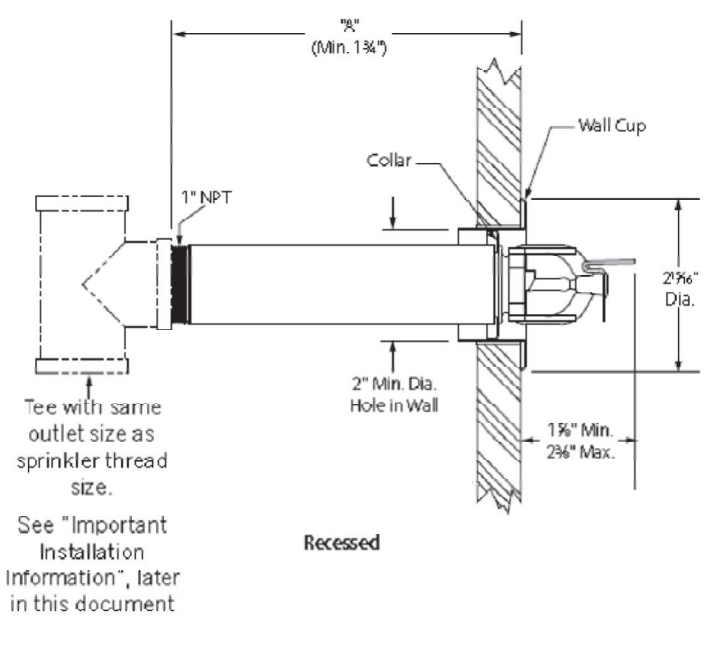
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ENGINEERING STAMP:



116 LONDON ST BOSTON, MA

MULTI UNIT



Job: MULTI UNIT
 Address: 116 LONDON ST BOSTON MA Zip/Postal Code: 02128
 City: BOSTON State: MA Date: 9/21/21
 Contract #: KRONOS COLLABORATIVE Designer: JK
 Address: 235 MARGINAL ST CHELSEA MA Zip/Postal Code: 02150
 City: CHELSEA State: MA Date: 9/21/21
 Phone: 617-633-3533 Fax: Email:
 Approving Authority:
 Detail Details: Standards: NFPA13
 Default Sprng Size: 1 Default Drop Size: 1
 Default Sprng Material: CPVC Default Drop Material: CPVC
 Default Sprng Elevation: 0 Default Drop Elevation: 0

PIPE TYPE	NOMINAL PIPE SIZE (IN)							
	1	1 1/4"	1 1/2"	2	2 1/2"	4	6	8
SCH 10,40 STEEL	12-0	12-0	15-0	15-0	15-0	15-0	15-0	15-0
UL LISTED CPVC	6-0	6-6	7-0	8-0	9-0			

36" MAX. FOR 1" DIA.
 48" MAX. FOR 1 1/4" DIA. OR LARGER
 60" MAX. FOR 1 1/2" DIA. OR LARGER
 THEN EXTEND HERE

36" MAX. FOR 1" DIA.
 48" MAX. FOR 1 1/4" DIA. OR LARGER
 60" MAX. FOR 1 1/2" DIA. OR LARGER
 THEN EXTEND HERE

MAXIMUM RECESS 1" Adjustments Recommended - V2732 (Drawing not to scale)

TABLE 8.10.7.1.3 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 8 FT	0
8'-0" TO LESS THAN 10'	0'-1"
10' TO LESS THAN 11'	0'-2"
11' TO LESS THAN 12'	0'-3"
12' TO LESS THAN 13'	0'-4"
13' TO LESS THAN 14'	0'-6"
14' TO LESS THAN 15'	0'-7"
15' TO LESS THAN 16'	0'-9"
16' TO LESS THAN 17'	0'-11"
17' OR GREATER	1'-2"

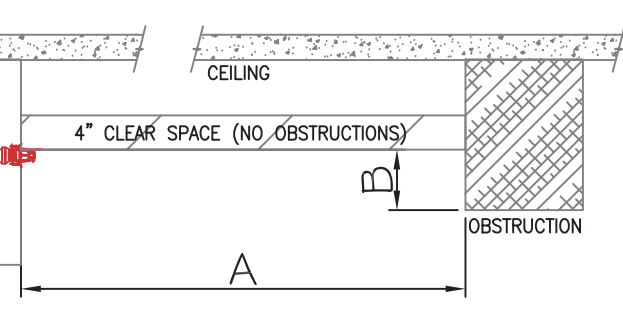


FIGURE 8.10.7.1.3 POSITIONING OF SPRINKLERS TO AVOID OBSTRUCTION TO DISCHARGE

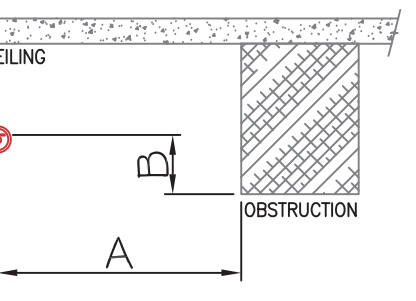


FIGURE 8.10.7.1.4 (B) POSITIONING OF SPRINKLERS TO AVOID OBSTRUCTION TO DISCHARGE

NFPA 13 TABLE 8.10.7.1.3 + FIGURE 8.10.7.1.3 RESIDENTIAL SIDEWALL SPRINKLERS

TABLE 8.10.7.1.4 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 1'-6"	0'-0"
1'-6" TO LESS THAN 3'-0"	0'-1"
3' TO LESS THAN 4'	0'-3"
4' TO LESS THAN 4'-6"	0'-5"
4'-6" TO LESS THAN 6'	0'-7"
6' TO LESS THAN 6'-6"	0'-9"
6'-6" TO LESS THAN 7'	0'-11"
7' TO LESS THAN 7'-6"	1'-2"

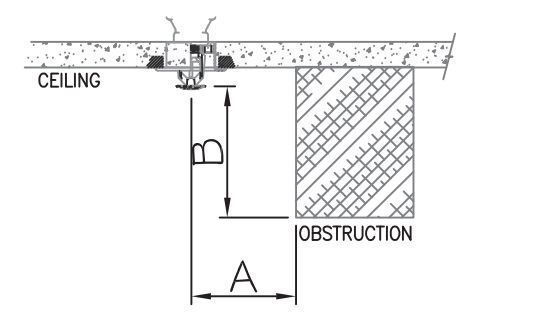


FIGURE 8.10.6.1.2(A) POSITIONING OF SPRINKLERS TO AVOID OBSTRUCTION TO DISCHARGE

NFPA 13 TABLE 8.10.7.1.4 + FIGURE 8.10.7.1.4 (B) STANDARD SIDEWALL SPRINKLERS

TABLE 8.10.6.1.2 POSITIONING OF SPRINKLER TO AVOID OBSTRUCTION TO DISCHARGE

DISTANCE FROM SPRINKLERS TO SIDE OF OBSTRUCTION (A)	MAXIMUM ALLOWABLE DISTANCE OF DEFLECTOR ABOVE BOTTOM OF OBSTRUCTION (INCHES) (B)
LESS THAN 1 FT	0
1'-0" TO LESS THAN 1'-6"	0'-0"
1'-6" TO LESS THAN 2'-0"	0'-1"
2'-0" TO LESS THAN 2'-6"	0'-1"
2'-6" TO LESS THAN 3'-0"	0'-1"
3'-0" TO LESS THAN 3'-6"	0'-3"
3'-6" TO LESS THAN 4'-0"	0'-3"
4'-0" TO LESS THAN 4'-6"	0'-5"
4'-6" TO LESS THAN 5'-0"	0'-7"
5'-0" TO LESS THAN 5'-6"	0'-7"
5'-6" TO LESS THAN 6'-0"	0'-7"
6'-0" TO LESS THAN 6'-6"	0'-9"
6'-6" TO LESS THAN 7'-0"	0'-11"
7'-0" AND GREATER	1'-2"

NFPA 13 TABLE 8.10.6.1.2 + FIGURE 8.10.6.1.2(A) RESIDENTIAL PENDENT AND UPRIGHT SPRAY SPRINKLERS

TABLE 8.3.2.5(c) TEMPERATURE RATINGS OF SPRINKLERS IN SPECIFIED RESIDENTIAL AREAS

HEAT SOURCE	MINIMUM DISTANCE FROM EDGE OF SOURCE TO PRIMARY TEMPERATURE SPRINKLER (INCHES)	MINIMUM DISTANCE FROM EDGE OF SOURCE TO INTERMEDIATE TEMPERATURE SPRINKLER (INCHES)
SIDE OF OPEN OR RECESSED FIREPLACE	36	12
FRONT OF RECESSED FIREPLACE	60	36
KITCHEN RANGE	18	9
WALL OVEN	18	9
SIDE OF CEILING OR WALL MOUNTED HOT AIR DIFFUSER	24	12
FRONT OF WALL MOUNTED HOT AIR DIFFUSER	36	18
HOT WATER HEATER OR FURNACE	6	3
LIGHT FIXTURE: 0W-250W	6	3
LIGHT FIXTURE: 250W-499W	12	6

FIRE PROTECTION NOTES:

THE PURPOSE OF THIS FIRE PROTECTION DRAWING AND THE ASSOCIATED FIRE PROTECTION DESIGN NARRATIVE IS TO INDICATE THE PROPOSED RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED WITHIN THE RENOVATED MULTI-UNIT BUILDING LOCATED AT 116 LONDON ST IN BOSTON, MASSACHUSETTS.

THIS BUILDING CONSISTS OF A BASEMENT, FIRST LEVEL, SECOND LEVEL, THIRD LEVEL AND FOURTH LEVEL AS INDICATED ON THE ASSOCIATED ARCHITECTURAL DRAWINGS.

THIS RESIDENTIAL SPRINKLER SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13 (2013 EDITION).

THE SPRINKLER CONTRACTOR SHALL FOLLOW THE LATEST REQUIREMENTS OF NFPA 13 (2013 EDITION), MASSACHUSETTS STATE BUILDING CODE (780 CMR, 9TH EDITION) AND BOSTON FIRE DEPARTMENT REQUIREMENTS.

THIS SYSTEM WILL BE SUPPLIED BY A NEW 2" FIRE SERVICE, TAPPED OFF THE EXISTING WATER MAIN ON LONDON STREET. THE 4" SERVICE SHALL BE DESIGNED, INSTALLED, FLUSHED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 24 BY A LICENSED UNDERGROUND CONTRACTOR AND WILL ENTER THE BASEMENT AS INDICATED ON THIS DRAWING.

THE SYSTEM HAS BEEN HYDRAULICALLY CALCULATED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13, INCLUDING THE FOUR HYDRAULICALLY MOST DEMANDING HEADS IN A SINGLE COMPARTMENT BASED ON THE REQUIREMENTS OF THE SPECIFIC SPRINKLER HEAD AND THE SPACING USED IN THIS DESIGN (16"x16" REQUIRING A MINIMUM OF 13 GPM @ 7 PSI), REMOTE AREAS, DENSITIES AND HOSE STREAM ALLOWANCES ARE INDICATED ON THIS DRAWING ALONG WITH SYSTEM DEMANDS AT CONNECTION TO STREET AND CALCULATION RESULTS HAVE BEEN COMPARED TO RECENT HYDRANT FLOW TEST INFORMATION OBTAINED FROM THE BOSTON WATER & SEWER DEPARTMENT. CALCULATIONS HAVE BEEN SUBMITTED WITH THIS DRAWING TO THE BOSTON FIRE DEPARTMENT FOR REVIEW.

SPRINKLER HEAD LOCATIONS HAVE NOT BEEN COORDINATED WITH CEILING-MOUNTED FIXTURES. INSTALLING SPRINKLER CONTRACTOR SHALL COORDINATE WITH ELECTRICIAN AND LOCATE SPRINKLERS AT LEAST 36" FROM THE CENTER OF ANY CEILING-MOUNTED FIXTURE, IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13 WHILE MAINTAINING THE MAXIMUM DISTANCES FROM WALLS INDICATED ON THIS DESIGN (6'-0"). ADDITIONAL SPRINKLERS REQUIRED DUE TO INABILITY TO MEET OBSTRUCTION CRITERIA SHALL BE AT THE OWNERS EXPENSE.



SPRINKLER CONTRACTOR SHALL TAKE PRECAUTIONS WHEN INSTALLING SPRINKLER PIPING IN JOISTS ON TOP FLOOR. GENERAL CONTRACTOR SHALL BE REQUIRED TO INSTALL SUFFICIENT INSULATION TO MAINTAIN 40-DEGREES IN ALL AREAS WHERE SPRINKLER PIPING AND HEADS ARE INSTALLED.

INSTALLATION NOTES:

ALL WORK SHALL BE PERFORMED BY A MASSACHUSETTS LICENSED SPRINKLER CONTRACTOR. THE SPRINKLER CONTRACTOR SHALL FOLLOW THE LATEST REQUIREMENTS OF NFPA 13 (2013 EDITION), MASSACHUSETTS STATE BUILDING CODE (9TH EDITION) AND THE BOSTON FIRE DEPARTMENTS.

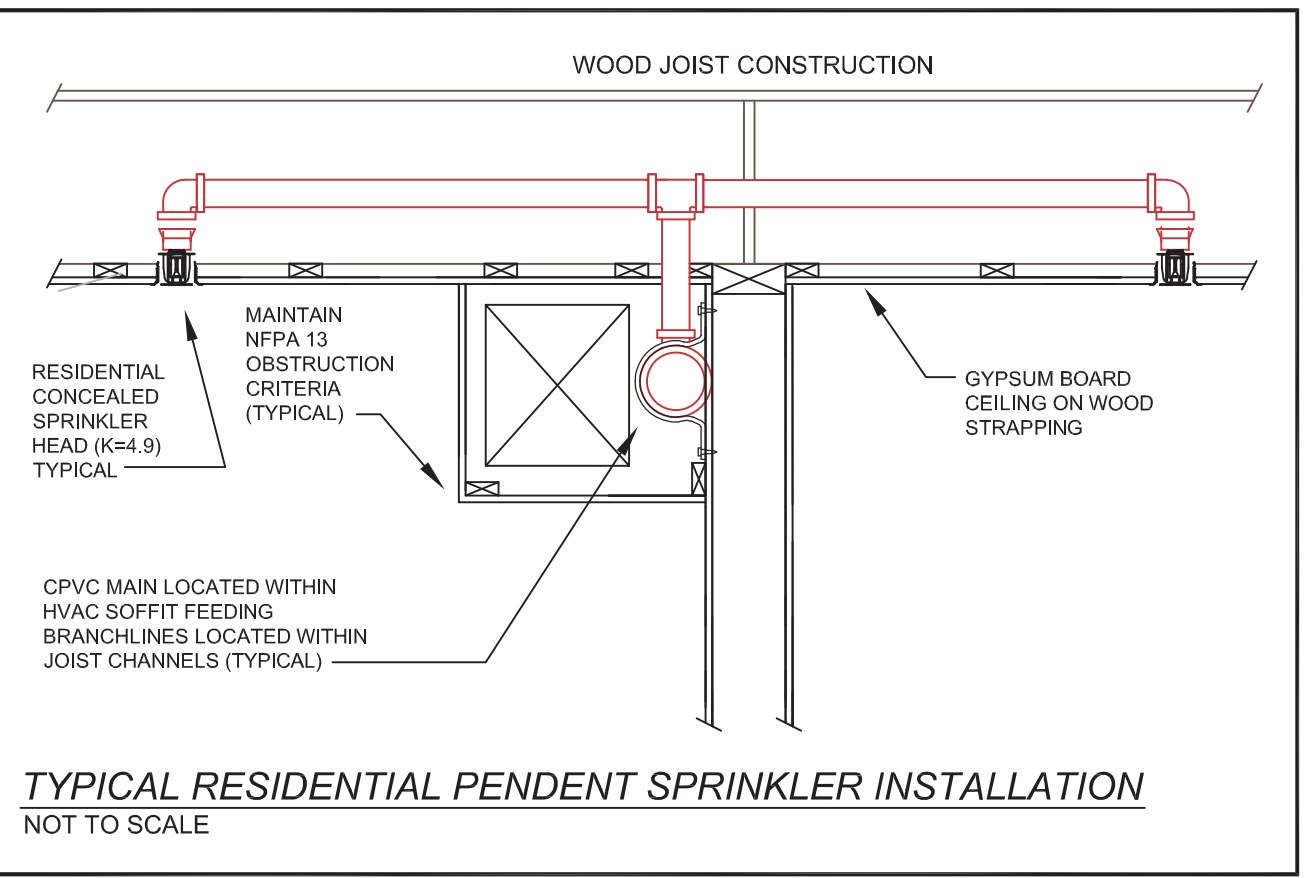
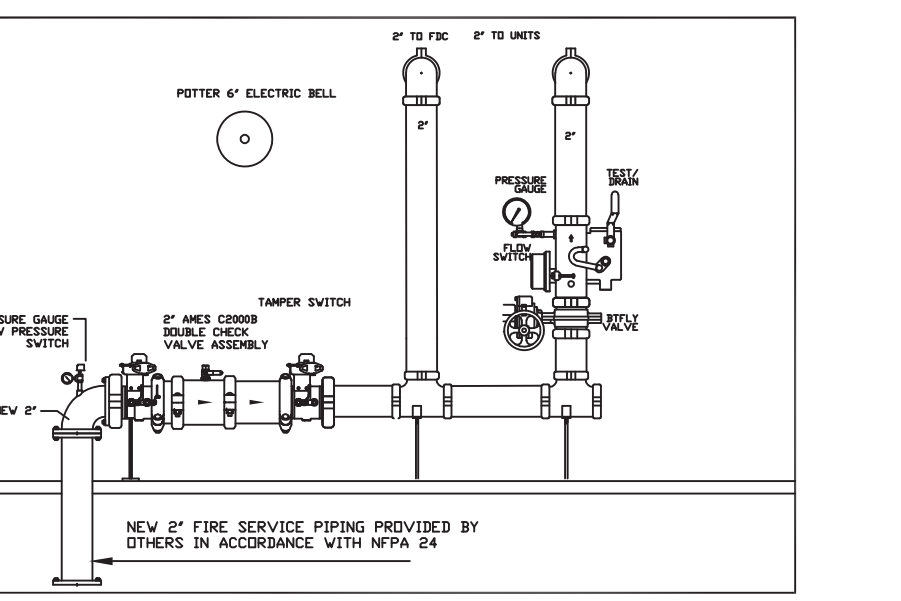
THE ARCHITECTURAL BACKGROUND OF BUILDING MAY DIFFER SLIGHTLY FROM ACTUAL LAYOUT. DRAWINGS ARE NOT INTENDED TO SHOW ALL OFFSETS AND PIPING ELEVATION CHANGES. CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS PRIOR TO FABRICATION.

CONTRACTOR SHALL HYDROSTATICALLY TEST ALL SPRINKLER PIPING AT 200 PSI FOR 2 HOURS AND IS RESPONSIBLE FOR THE COMPLETION OF ALL ABOVE GROUND TEST CERTIFICATES, SUPPLIED TO THE OWNER.

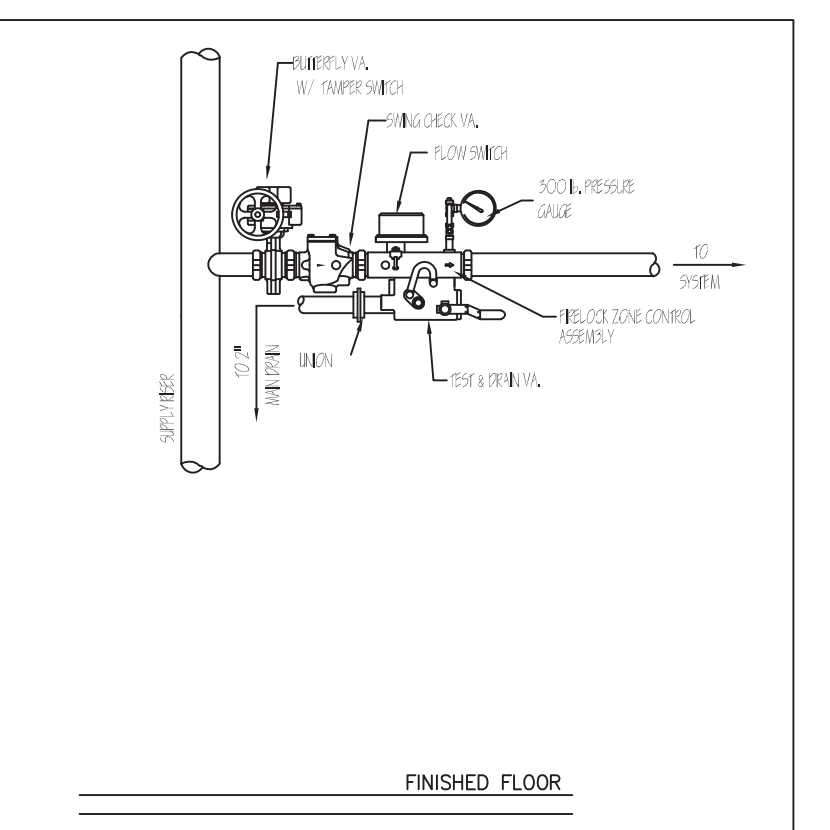
ALL PIPING INSTALLED THROUGHOUT THE RESIDENTIAL AREAS OF THE BUILDING SHALL BE UL LISTED CPVC SPRINKLER PIPING. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 13 (2013 EDITION) AND ALL MANUFACTURERS INSTALLATION RECOMMENDATIONS. ALL PIPING SHALL BE PITCHED TO DRAIN WITH LOW-POINT DRAINS AT SECTIONS OF PIPING SUBJECT TO WATER TRAPPING. SPRINKLER CONTRACTOR SHALL PROVIDE PROTECTIVE PLATES WHERE CPVC PIPING IS RUN THROUGH STUDS TO PREVENT PUNCTURING OF THE SPRINKLER PIPING DURING DRYWALL INSTALLATION AS REQUIRED BY NFPA STANDARDS.

ALL SPRINKLER HEADS WITHIN RESIDENTIAL AREAS OF THE BUILDING SHALL BE RESIDENTIAL PENDENT SPRINKLERS. SPRINKLERS WITHIN THE BASEMENT LEVEL WILL BE QUICK-RESPONSE UPRIGHT HEADS. ALL HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND THE REQUIREMENTS OF NFPA 13 (2013 EDITION).

THE BUILDING OWNER IS RESPONSIBLE FOR MAINTAINING THIS SPRINKLER SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 25, INCLUDING THE PROVISION OF HEAT IN ALL AREAS CONTAINING SPRINKLER PIPING AND HEADS TO PREVENT PIPE FROM FREEZING. THE ENGINEER OF RECORD TAKE NO RESPONSIBILITY FOR ANY DAMAGES CAUSED BY FREEZE UPS.



TYPICAL RESIDENTIAL PENDENT SPRINKLER INSTALLATION NOT TO SCALE



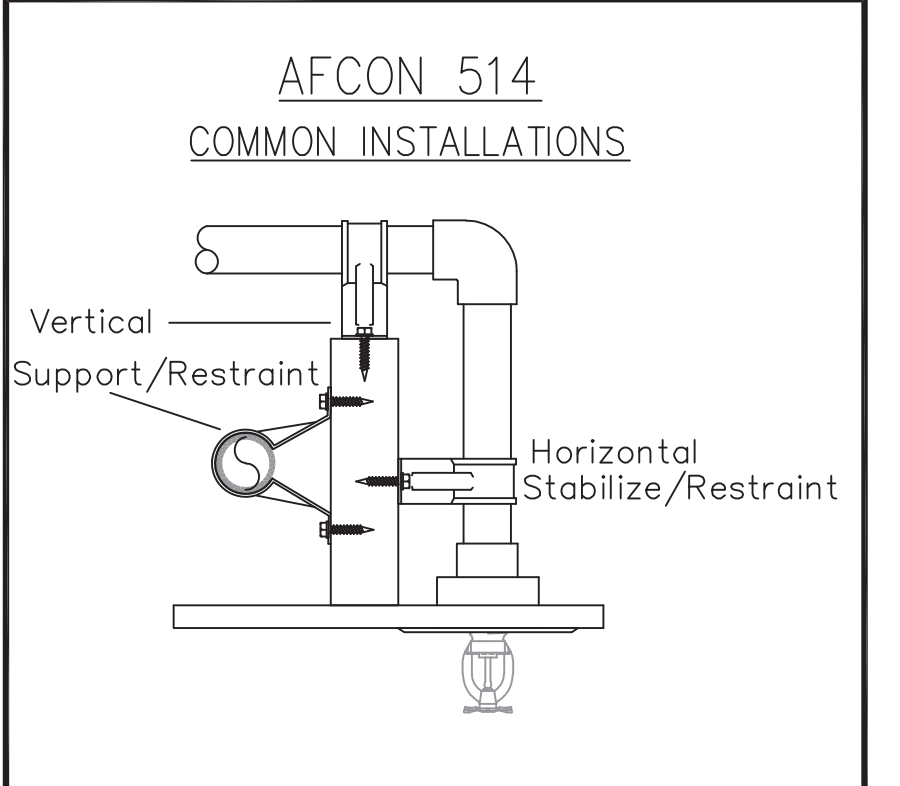
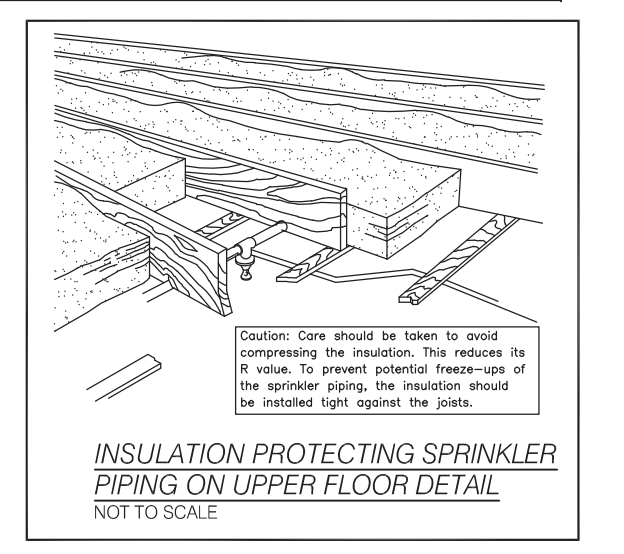
FLOOR CONTROL ASSEMBLY SCALE: N.T.S.

SYM	CNT	POSITION	FINISH	TEMP	K	NPT	SIN	MFG.	MODEL#
●	12	PEND	BRASS	155	5.60	1/2"	TY3551	Tyco	RFLI
○	58	PEND	BRASS	155	4.90	1/2"	TY2234	Tyco	LFII

UL LISTED CPVC SPRINKLER PIPING

FREEZE PROTECTION

THE BUILDING OWNER IS RESPONSIBLE FOR PROVIDING HEAT IN ALL AREAS CONTAINING SPRINKLER PIPING AND HEADS TO PREVENT PIPE FROM FREEZING. ANY AREAS THAT RAISE CONCERN WITH REGARD TO FREEZING POTENTIAL SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION, IN WRITING, PRIOR TO INSTALLATION. THE ENGINEER OF RECORD TAKE NO RESPONSIBILITY FOR DAMAGES CAUSED BY FREEZE-UPS OF THE SPRINKLER SYSTEM.

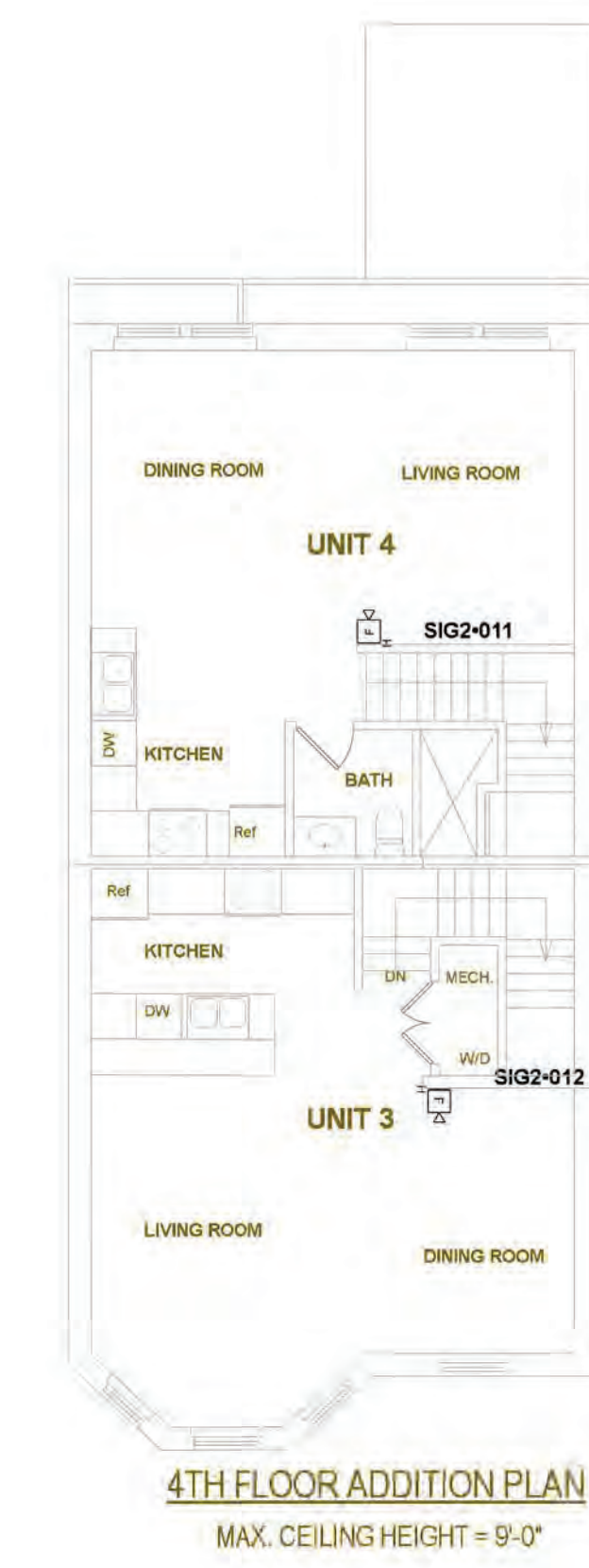
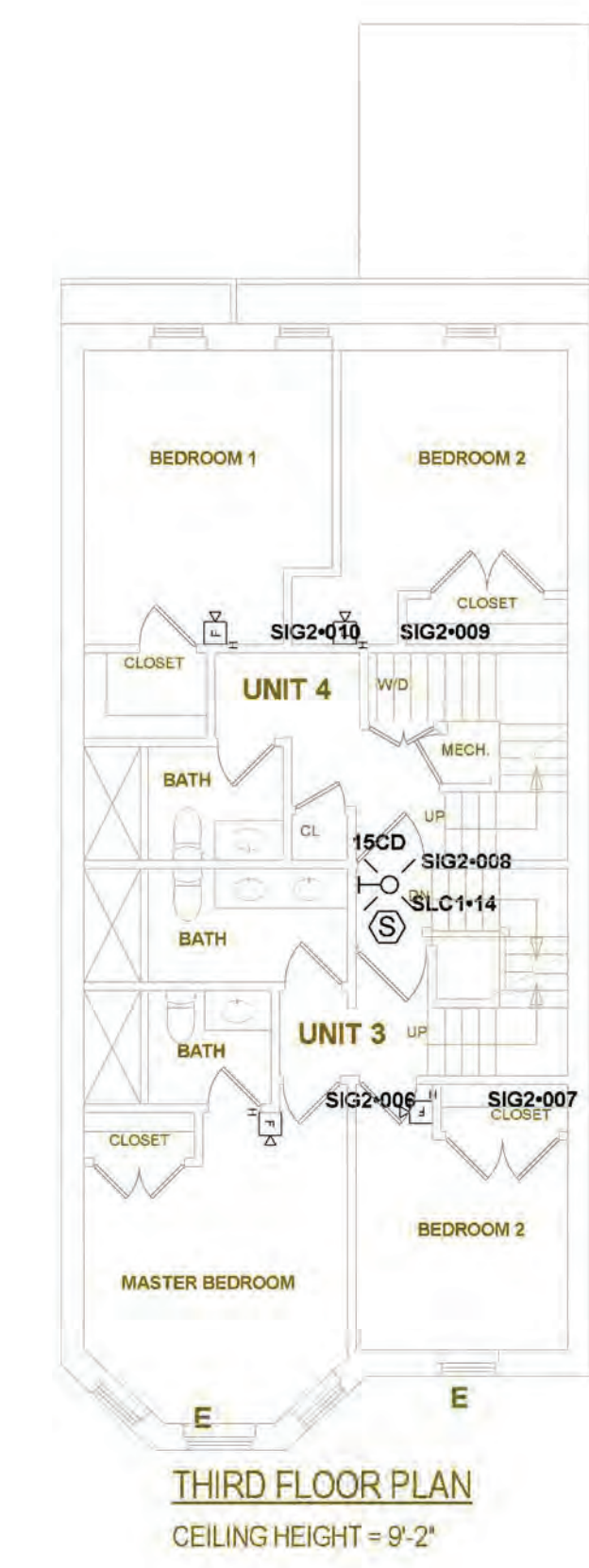
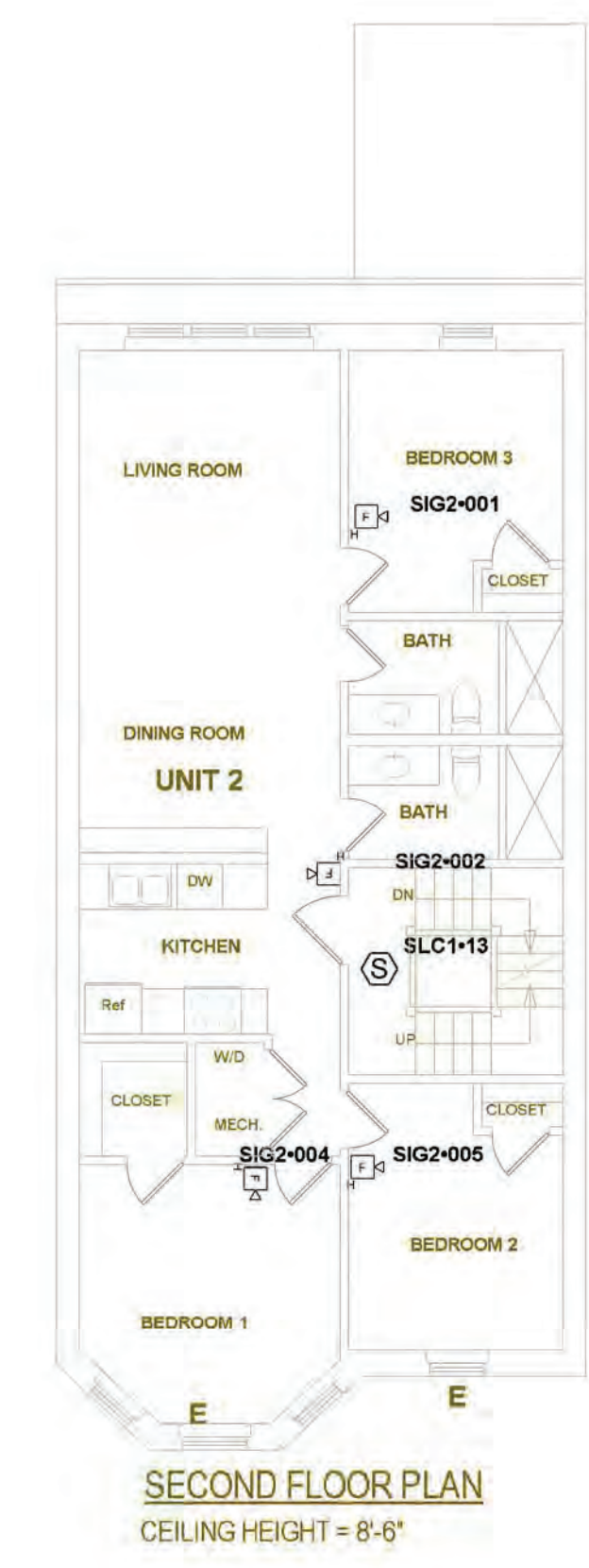
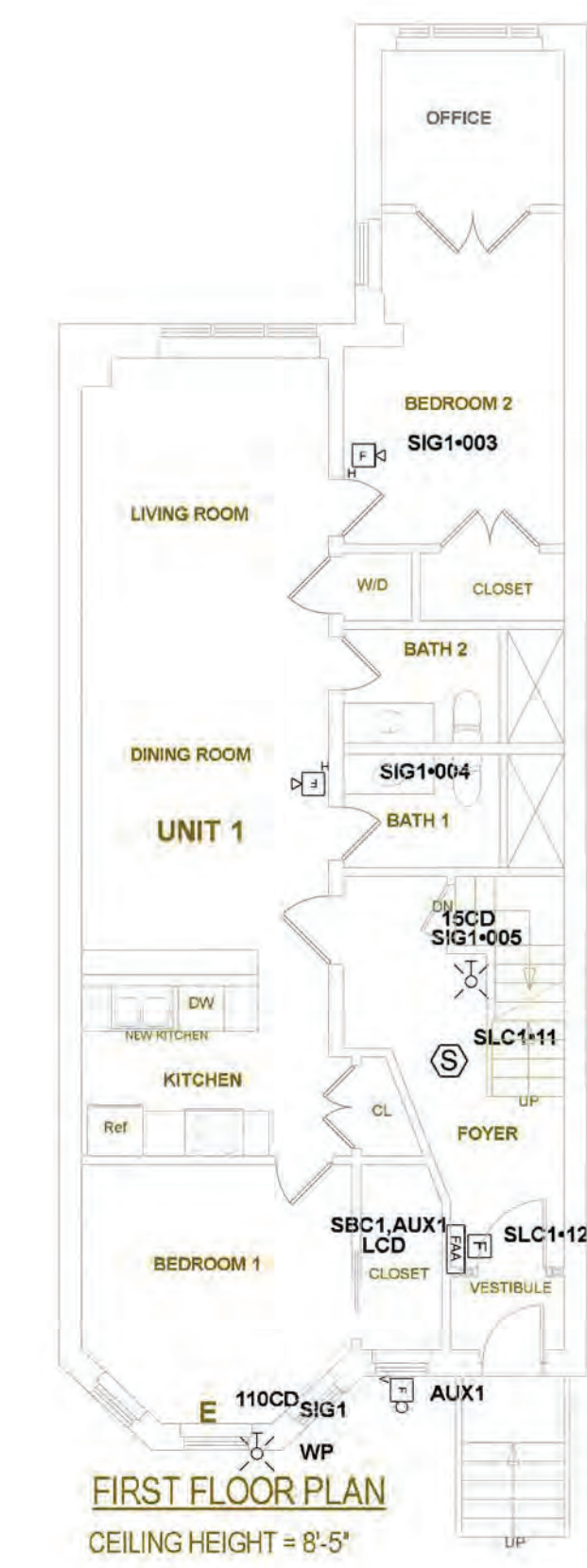
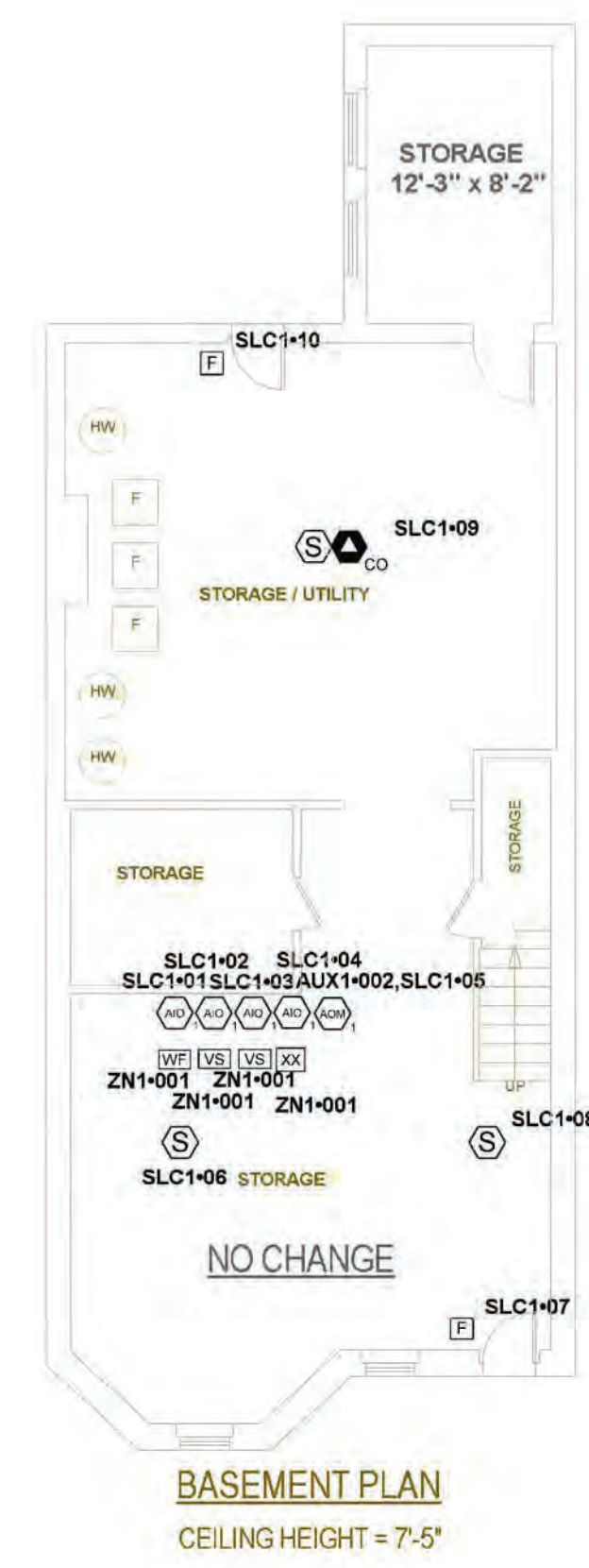


C			
B			
A			
REV:	DESCRIPTION:	BY:	DATE:
STATUS: FIRE PROTECTION			

CLIENT:
 ENGINEER: KRONOS COLLABORATIVE
 235 MARGINAL ST
 CHELSEA, MA

SITE: 116 LONDON ST BOSTON, MA
 TITLE: PIPING PLAN INFO SHEET
 SCALE AT A1: 3/16"=1'-0"
 DATE: 9/21/21
 DRAWN: JK
 CHECKED: NB
 PROJECT NO: DRAWING NO: FP 2
 REVISION:

SCALE:
SCALE:



Symbol Legend		
SYMBOL	DESCRIPTION	QUANTITY
	L-SERIES 2-WIRE HORN STROBE, RED, WALL	3
	FACP, 50 POINT, 2 NACs, WITH COMMUNICATOR	1
	REMOTE ANNUNCIATOR, LCD, RED	1
	PULL, DUAL ACTION	3
	ADVANCED MULTI-CRITERIA, PHOTO, SMOKE, CO DETECTOR	1
	SMOKE, PHOTOELECTRIC, ADDRESSABLE, LITE SPEED ONLY	5
	GEN WATERFLOW	1
	MONITOR MODULE	4
	CONTROL/SIGNAL MODULE	1
	TAMPER SWITCH	2
	LOW PRESSURE	1
	LOW FREQUENCY SOUNDER, RED	12
	24V, 6" BELL	1
	L-SERIES STROBE, RED, WALL	2
	STROBE, 2 WIRE, M-C, RED, WALL, WP	1

Sheehan Low Voltage LLC.
35 Highland Street
Amesbury, MA 01913
978-270-5125 MA LICENSE 7157-C

PETER A. SHEEHAN JR.
SYSTEM CONTRACTOR AND DESIGNER
AND PETER A. SHEEHAN JR.
SYSTEM DESIGNER

REVISION 1:
9/23/2021 6:44:02 PM

REVISION 2:
9/23/2021 6:44:02 PM

116 London Street
116 London Street
East Boston, MA 02128

FLOORPLANS

DESIGNED BY:

DATE:
09/23/21

JOB NUMBER:
116 London Street

SHEET NUMBER:
FA.01

SCALE:
SCALE:



Battery Calculations for Panel: P1

Part No: ES-50X - FACP, 50 POINT, 2 NACS, WITH COMMUNICATOR

Job number: 116 London Street Job name: 116 London Street
 Address 1: 116 London Street
 Address 2: East Boston, MA 02128
 Phone: 978-270-5125 Fax:
 Designing engineer: Peter A Sheehan Jr.
 Authority having jurisdiction: Boston Fire Prevention
 Certification license number: 7157-C

Part No.	Qty.	Description	Standby	Total Standby	Alarm	Total Alarm
Panel Equipment						
ES-50X_MB	1	ES-50X MAIN BOARD	141.0000mA	141.0000mA	257.0000mA	257.0000mA
Peripheral Devices						
P2RL	3	L-SERIES 2-WIRE, HORN STROBE, RED, WALL (Notification) 15CD 83dB	0.0000mA	0.0000mA	44.0000mA	132.0000mA
HR-LF	12	LOW FREQUENCY SOUNDER, RED (Notification) 86dB	0.0000mA	0.0000mA	138.0000mA	1656.0000mA
SRL	2	L-SERIES STROBE, RED, WALL (Notification) 15CD	0.0000mA	0.0000mA	43.0000mA	86.0000mA
SRK	1	STROBE, 2 WIRE, M-C, RED, WALL, WP (Notification) 110CD	0.0000mA	0.0000mA	202.0000mA	202.0000mA
ANN-80	1	REMOTE ANNUNCIATOR, LCD, RED (Power)	15.0000mA	15.0000mA	40.0000mA	40.0000mA
CMF-300	1	CONTROL/SIGNAL MODULE (Power)	2.0000mA	2.0000mA	2.0000mA	2.0000mA
SSM24-6	1	24V, 6" BELL (Notification) 82dB	0.0000mA	0.0000mA	31.0000mA	31.0000mA
ANN-80	1	REMOTE ANNUNCIATOR, LCD, RED (Serial)	0.0000mA	0.0000mA	0.0000mA	0.0000mA
BG-12LX	3	PULL_DUAL ACTION (Signaling line)	0.3750mA	1.1250mA	5.0000mA	15.0000mA
SD355CO	1	ADVANCED MULTI-CRITERIA, PHOTO, SMOKE, CO DETECTOR (Signaling line)	0.3000mA	0.3000mA	7.2000mA	7.2000mA
SD365	5	SMOKE, PHOTOELECTRIC, ADDRESSABLE, LITE SPEED ONLY (Signaling line)	0.2000mA	1.0000mA	4.5000mA	22.5000mA
MMF-300	4	MONITOR MODULE (Signaling line)	0.3750mA	1.5000mA	5.0000mA	20.0000mA
CMF-300	1	CONTROL/SIGNAL MODULE (Signaling line)	0.0350mA	0.0350mA	6.5000mA	6.5000mA
GWF	1	GEN WATERFLOW (Initiating)	0.0000mA	0.0000mA	0.0000mA	0.0000mA
GTS	2	TAMPER SWITCH (Initiating)	0.0000mA	0.0000mA	0.0000mA	0.0000mA
LP	1	LOW PRESSURE (Initiating)	0.0000mA	0.0000mA	0.0000mA	0.0000mA
Total Peripheral Stby			20.9600mA	20.9600mA	Total Periph Alarm	2220.2000mA
Total Standby Amps			161.9600mA	161.9600mA	Total Alarm Amps	2477.2000mA

Standby time: 24 Hrs 3.887Ah
 Alarm time: 5 Min 0.206Ah
 Battery requirement: 4.093Ah
 Requirement with compensation: 4.912Ah

Compensation Factors - Standby: 1.2 Alarm: 1.2 Requirement with compensation: 4.912Ah

Circuit Calculations Panel: P1 Card: 00

Terminal Voltage: 20.4VDC Amperage: 3.0000A
 Cable: 14/2 SOL_JKT FPLR 1M RL RED #14
 Calculations based on Lump Sum Length.
 Design Criteria: Ambient temperature: 167°F Minimum operating voltage: 16V
 Job number: 116 London Street Job name: 116 London Street
 Address 1: 116 London Street
 Address 2: East Boston, MA 02128
 Phone: 978-270-5125 Fax:
 Designing engineer: Peter A Sheehan Jr.
 Authority having jurisdiction: Boston Fire Prevention
 Certification license number: 7157-C

Circuit Description	Type	Total Len	P2RL, 15CD, 44.000mA	HR-LF, 138.000mA	SRL, 15CD, 43.000mA	SRK, 110CD, 202.000mA	Total Amps	Gauge	V Drop %	V Drop	Resistance	Max Len
SIG1	Notification	210'-0"	2	2	1	1	608.0000mA	#14	3.85	0.7852V	1.3 Ohms	1178'-0"

Circuit Calculations Panel: P1 Card: 00

Terminal Voltage: 20.4VDC Amperage: 3.0000A
 Cable: 14/2 SOL_JKT FPLR 1M RL RED #14
 Calculations based on Lump Sum Length.
 Design Criteria: Ambient temperature: 167°F Minimum operating voltage: 16V
 Job number: 116 London Street Job name: 116 London Street
 Address 1: 116 London Street
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 Phone: 978-270-5125 Fax:
 Designing engineer: Peter A Sheehan Jr.
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 Certification license number: 7157-C

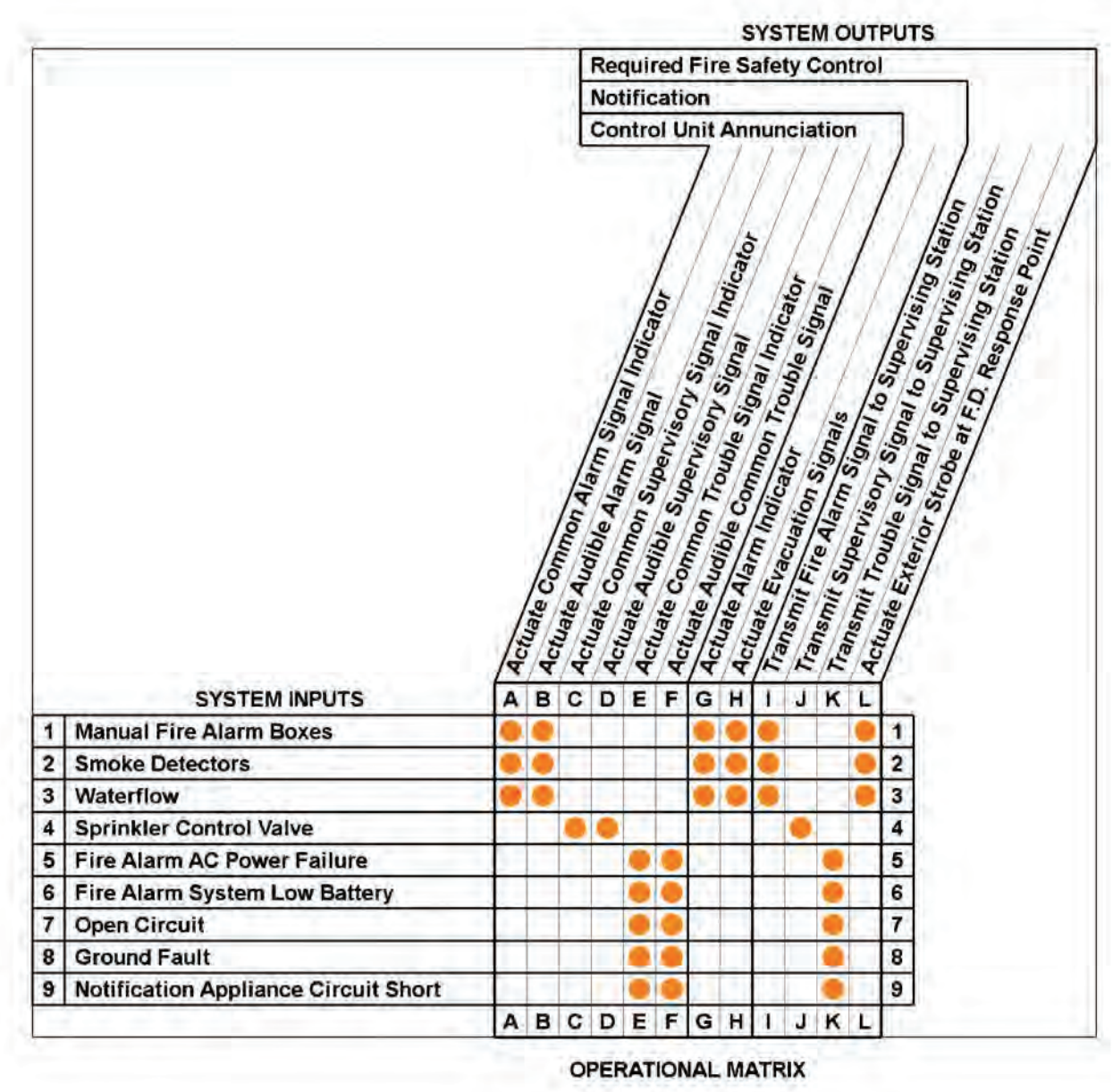
Circuit Description	Type	Total Len	HR-LF, 138.000mA	P2RL, 15CD, 44.000mA	SRL, 15CD, 43.000mA	Total Amps	Gauge	V Drop %	V Drop	Resistance	Max Len
SIG2	Notification	298'-0"	10	1	1	1467.0000mA	#14	13.16	2.8842V	1.8 Ohms	488'-0"

Narrative:

116 London Street, East Boston, MA 02128 is a residential four-unit residential building (Use Group R) being renovated. The building consists of an unoccupied basement and four floors above grade. The building will have full sprinkler coverage from a 15R system. There is one common stairway and an exterior stairwell to be used as egress by the tenants of all four apartments. Sheehan Low Voltage, LLC proposes to install a fully addressable fire alarm throughout the building per building code (9th edition 780 CMR) and NFPA standards for residential buildings to be monitored by an AES Radio which will contact the fire department in the event of an alarm through a UL Listed central station. The fire alarm will operate all initiating devices, audio visual devices and monitor all sprinkler flow switches and tampers installed by others. Smoke detectors, heat detectors, pull stations, and audio-visual devices are to be installed in all required common areas with low frequency sounders inside all dwelling units. Local type smoke and carbon monoxide detectors are to be installed by the electrical contractor inside the units. A complete test and inspection of all fire alarm components with the Boston Fire Department is to be made upon completion of said system.

Sequence of Operation:

When any smoke detector, pull station or sprinkler flow switch is activated the appropriate low frequency horns, horn/strobes and outside beacon will also activate. The AES Radio will then transmit the alarm along with specific device location and address to the Boston Fire Department. Sprinkler tampers and low-pressure switches will be programmed and transmit as a sprinkler supervisory signal and will also transmit as a specific device location and system address. System type carbon monoxide detectors will be programmed as a supervisory alarm and will transmit to the Boston Fire Department as such with carbon monoxide alarm being in the wording specifically. The Boston Fire Department is to be notified upon all alarms. Sheehan Low Voltage, LLC is to be contracted as the installing, Service, and Monitoring company of record and will be on call twenty-four hours a day for all trouble conditions

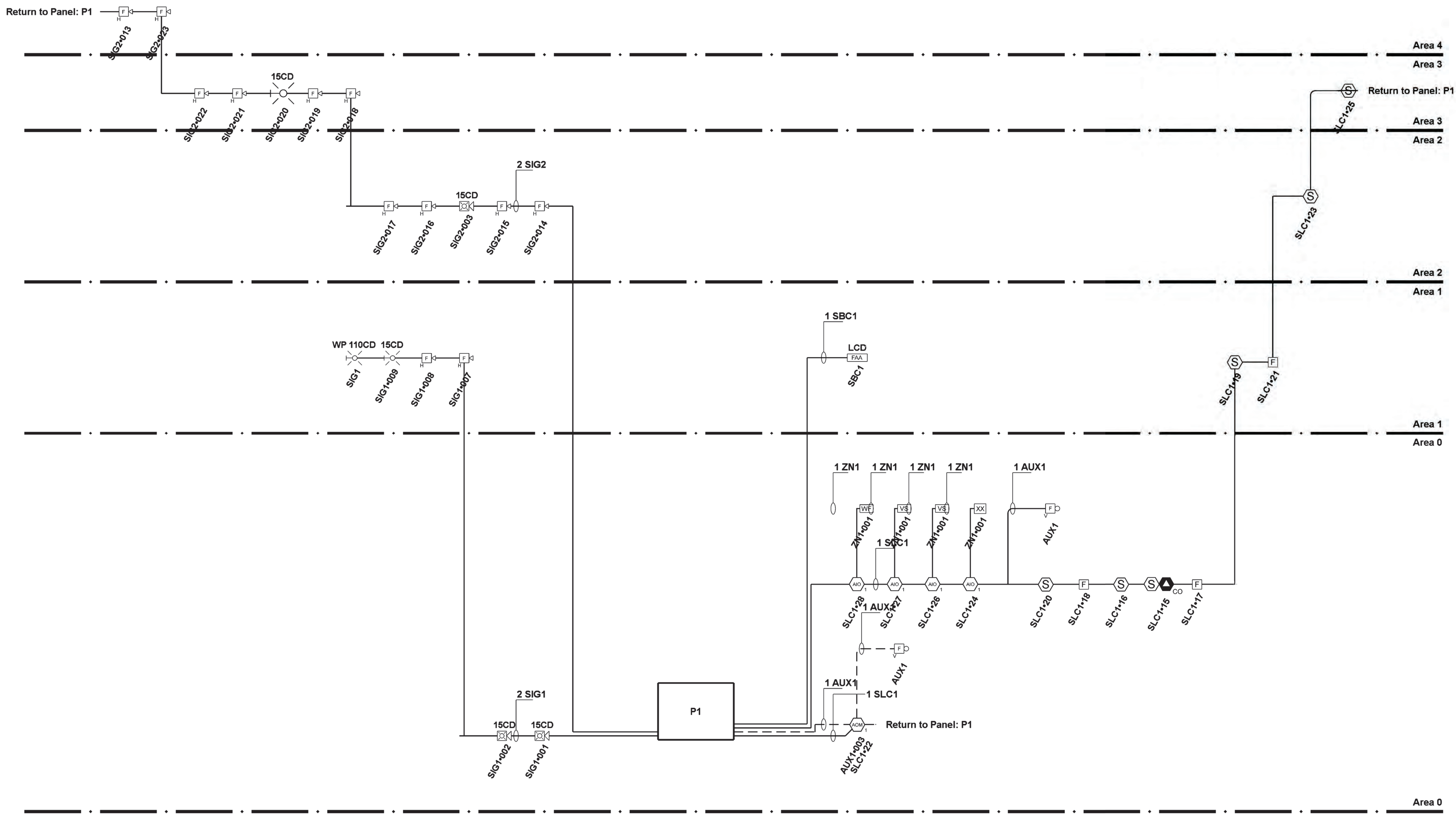


Sheehan Low Voltage LLC.
 35 Highland Street
 Amesbury, MA 01913
 978-270-5125 MA LICENSE 7157-C

REVISION 1:
 9/23/2021 6:44:02 PM
 REVISION 2:
 9/23/2021 6:44:02 PM

116 London Street
 116 London Street
 East Boston, MA 02128
 Documentation

DESIGNED BY:
 DATE:
 09/23/21
 JOB NUMBER:
 116 London Street
 SHEET NUMBER:
 FA.02



SCALE:
SCALE:



Sheehan Low Voltage LLC.
 35 Highland Street
 Amesbury, MA 01913
 978-270-5125 MA LICENSE 7157-C



REVISION 1:
 9/23/2021 10:13:06 PM
 REVISION 2:
 9/23/2021 10:13:06 PM

116 London Street
 116 London Street
 East Boston, MA 02128

RISER DIAGRAM

DESIGNED BY:

DATE:
09/23/21

JOB NUMBER:
116 London Street

SHEET NUMBER:
FA.03



**RENOVATION / ADDITION
116 LONDON STREET
BOSTON, MA**

GENERAL CONDITIONS

- G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON STRUCTURAL DRAWINGS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ENGINEERING AND ARCHITECTURAL DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ENGINEER IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
- FOR RENOVATION WORK STRUCTURAL DRAWINGS PRODUCED WITH ASSUMPTIONS MADE REGARDING EXISTING CONDITIONS. IF CONTRACTOR FINDS EXISTING CONDITIONS NOT AS ASSUMED CONTACT ENGINEER IMMEDIATELY. REVISIONS TO THE STRUCTURAL FRAMING MAY BE REQUIRED.
- FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

FOUNDATIONS

- WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS AND UNDERLYING SOILS ARE SUITABLE TO SUPPORT PROPOSED RENOVATION AND/OR ADDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING, OR HIRING A THIRD PARTY TO VERIFY, THAT THE EXISTING FOUNDATION AND UNDERLYING SOILS CONFORMS TO BUILDING CODE REQUIREMENTS AND PERFORMANCE SPECS IN THESE PLANS. IF FOUNDATIONS ARE FOUND BY CONTRACTOR TO NOT BE SUITABLE, CONTRACTOR TO CONTACT DAVIDSON ENGINEERING ASSOCIATES IMMEDIATELY AS REDESIGN OF THESE PLANS WILL LIKELY BE REQUIRED.
- SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 POUNDS PER SQUARE FOOT.
- EXISTING FOUNDATION WALLS MUST BE BEARING ON SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 POUNDS PER SQUARE FOOT.
- EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
- EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
- BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557.
- BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
- PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

CONCRETE

- ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS: FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
- SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5".
- REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60. FIELD BENT - ASTM A615, GRADE 40 WELDED WIRE FABRIC - ASTM A185.

ROUGH CARPENTRY

- ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS BUILDING CODE (MBC) AND THE INTERNATIONAL BUILDING CODE (IBC).
- REFER THE MBC AND IBC FOR FRAMING COMPONENTS NOT SPECIFIED IN PLANS AND SECTIONS. NOTIFY THE ENGINEER OF ANY COMPONENT NOT DEFINED IN EITHER THE MBC AND IBC OR IN THESE DRAWINGS.
- REFER TO IBC FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 2304.9.1 FOR CONNECTION FASTENING NOT IDENTIFIED IN THESE PLANS OR DETAILS. ENGINEER MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
- WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLIS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fb = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
- WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE, #2 OR BETTER.
- LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3100 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- WOOD "I" BEAMS SHALL BE BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
- ENGINEERED WOOD POSTS (VERSA COLUMNS), AS NOTED ON PLANS, SHALL BE VERSA-LAM 1.7 2650.
- PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 1/2" THICK AND WALL SHEATHING SHALL BE 1/2" THICK.
- ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED.
- ALL METAL CONNECTORS INCLUDING JOIST AND BEAM HANGERS AND COLUMN GAP AND BASES SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS. CONTRACTOR TO VERIFY ALL CONNECTOR SIZES TO FRAMING ELEMENTS BEFORE ORDERING.
- UNLESS DETAILED OR SPECIFIED OTHERWISE ON THE PLANS, HEADERS AND BEAMS SHALL BE SUPPORTED BY AT LEAST ONE JACK STUD AND ONE KING STUD.
- FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
- GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
- PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
- CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUT, BORED OR NOTCHED IN FRAMING LUMBER. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THE BUILDING CODE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
- SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
- BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-1/2"Ø BOLTS AT 16" ON CENTER OR 3-1/4"Ø DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES, FOLLOW MANUF. SPECS, UNLESS NOTED OTHERWISE ON DRAWING.
- IN ADDITION TO THE FLOOR JOIST SHOWN IN THE PLANS, CONTRACTOR SHALL INSTALL DOUBLE JOISTS UNDER ALL PARTITIONS WALLS RUNNING PARALLEL TO THE DIRECTION OF FRAMING.
- MINIMUM BEAM BEARING TO BE 3 INCHES UNLESS NOTED OTHERWISE ON PLAN.
- BEARING WALL SCHEDULE
-ALL EXTERIOR WALLS:
2x6@16"OC WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/2 POINTS
-1ST FLOOR INTERIOR BEARING WALLS:
2x4@16 OR 2x6@16"OC WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/2 POINTS
-2ND & 3RD FLOOR INTERIOR BEARING WALLS:
2x4@16 OR 2x6@16"OC WITH 1 ROW OF HORIZ. BLOCKING AT MID-HEIGHT OF WALL

DESIGN LOADS PER MASSACHUSETTS STATE BUILDING CODE

LIVE LOADS

GROUND SNOW LOAD:	40 PSF
UNINHABITABLE ATTICS WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE:	20 PSF
HABITABLE ATTICS AND SLEEPING AREAS:	30 PSF
ALL OTHER AREAS	40 PSF

WIND LOADS

MASSACHUSETTS STATE BUILDING CODE 128 MPH, EXPOSURE B

DEAD LOAD

WEIGHTS OF MATERIALS AND CONSTRUCTION

LATERAL FRAMING NOTES:

- THE STRUCTURAL DESIGN OF THIS RESIDENCE WAS PERFORMED IN COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THE PRESCRIPTIVE REQUIREMENTS OF THIS CODE DO NOT APPLY PER SECTIONS 301.1.1 ALTERNATIVE PROVISIONS AND 301.1.3 ENGINEERED DESIGN.
- FRAMING COMPONENTS AND FASTENERS AS IDENTIFIED IN THESE DRAWINGS AND NOTES ADEQUATELY RESIST THE LATERAL LOAD REQUIREMENTS AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.

STRUCTURAL STEEL

- STRUCTURAL STEEL WORK SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION: "SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION.
- STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992, WITH A MINIMUM YIELD STRENGTH OF 50 KSI. PLATES, ANGLES, CHANNELS, AND MISC. FABRICATED HARDWARE SHALL CONFORM TO ASTM A36, WITH A MINIMUM YIELD STRENGTH OF 36 KSI. RECTANGULAR STEEL TUBING SHALL CONFORM TO ASTM A500, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46 KSI.
- ALL STEEL TO STEEL FIELD CONNECTIONS SHALL BE MADE BY HIGH STRENGTH BOLTING WITH ASTM A325 BOLTS OR WELDING WITH E70 XX ELECTRODES. STEEL TO CONCRETE AND STEEL TO WOOD FIELD CONNECTIONS MAY BE MADE WITH ASTM A 307 BOLTS.
- STEEL SHALL BE SHOP-PAINTED WITH A MODIFIED ALKYD PRIMER UNLESS OTHERWISE NOTED.
- NO CUTTING OF OR OPENINGS THROUGH STEEL WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECT AND ENGINEER FOR APPROVAL.

MEMBER	QT	1	2	3
2X8	LUS28	LUS28-2	LUS28-3	
2X10	LUS210	LUS210-2	LUS210-3	
2X12	LUS210	LUS210-2	LUS210-3	
9/2"LVL	HU9	HHUS410	HHUS610	
1 1/4"LVL	HU11	HHUS410	HHUS610	
14"LVL	HU14	HHUS410	HHUS610	
2 1/4" FLG I-JOIST	IUS 2.37			
2 1/2" FLG I-JOIST	IUS 2.56			
3 1/4" FLG I-JOIST	IUS 3.56			

- NOTE:
- USE HANGERS ABOVE FOR PROPOSED STRUCTURE UNLESS OTHERWISE NOTED ON FRAMING PLANS.
 - INSTALL ALL HANGERS WITH MAXIMUM NUMBER OF FASTENERS.

LEGEND

BW = BEARING WALL
FVP = FLAT VALLEY PLATE
(E) = EXISTING
(N) = NEW
TBR = TO BE REMOVED
POST LOCATION (POST LINE) (POST LINE) (POST LINE) (POST LINE) (POST LINE)
DIM. LUMBER POST NUMBER OF STUDS P3-26 SIZE OF STUD TYPE OF POST: P-POST, J-JACK,
ENGINEERED POST LC 3 1/2" SIZE TYPE OF POST: VC-VERSA COLUMN, LC-LALLY COLUMN, HSS-TUBE STEEL

Rev: Date:

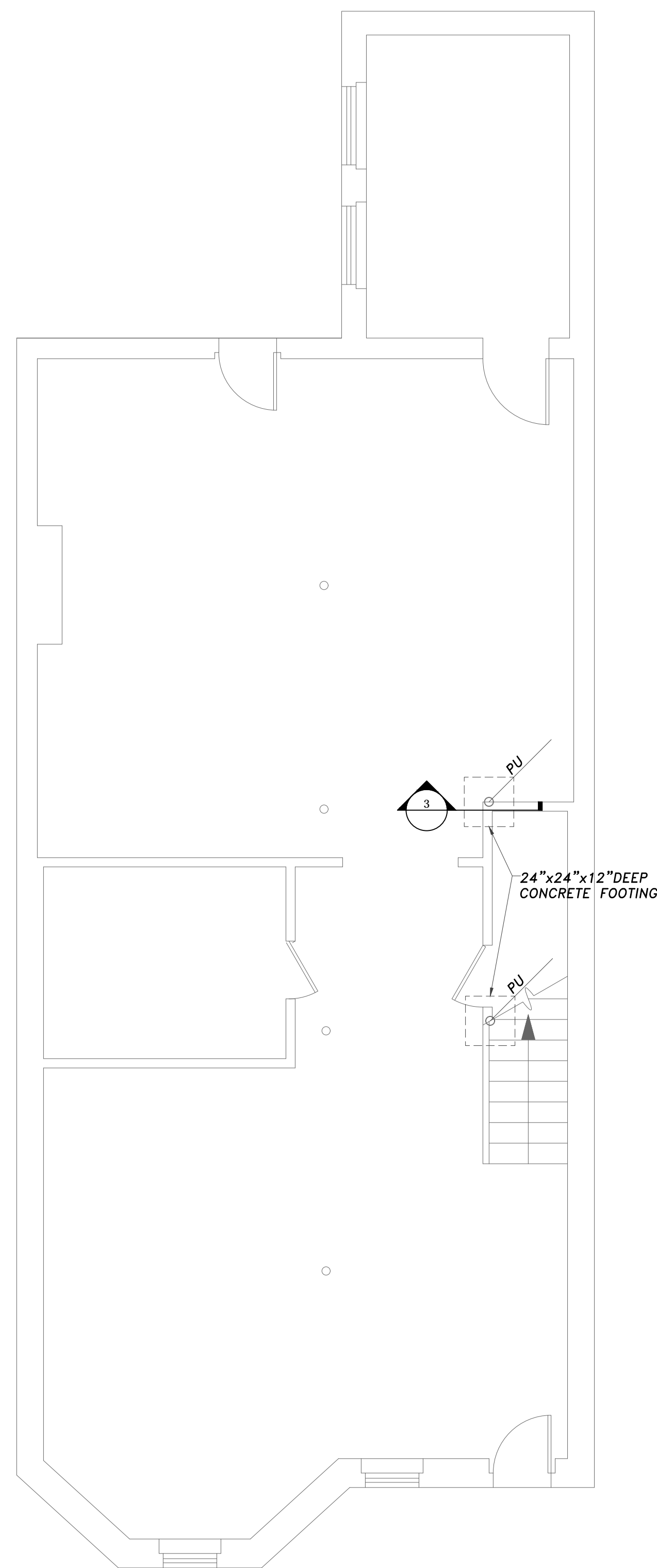
FOR CONST.

Date : OCT. 1, 2021

DRAWING SCALES
SHOWN ARE BASED ON
AN 24x36 SIZE DRAWING

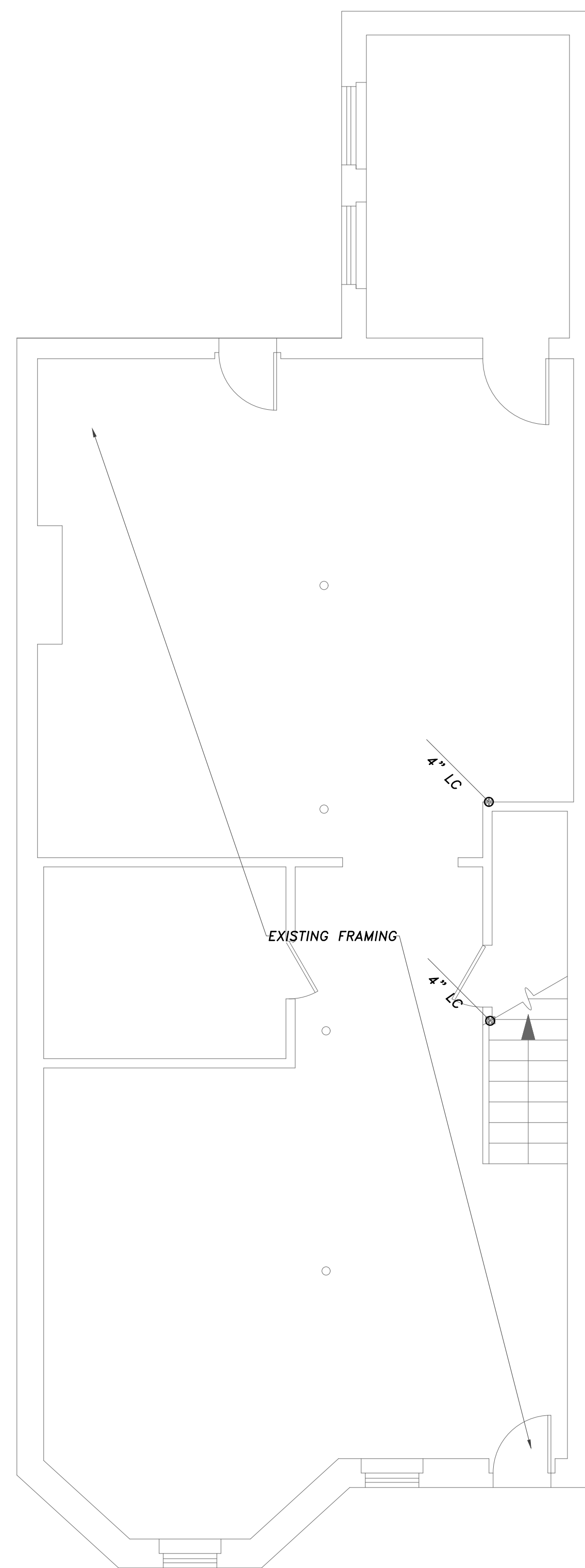
**NOTES AND
SPECS**

SO.0

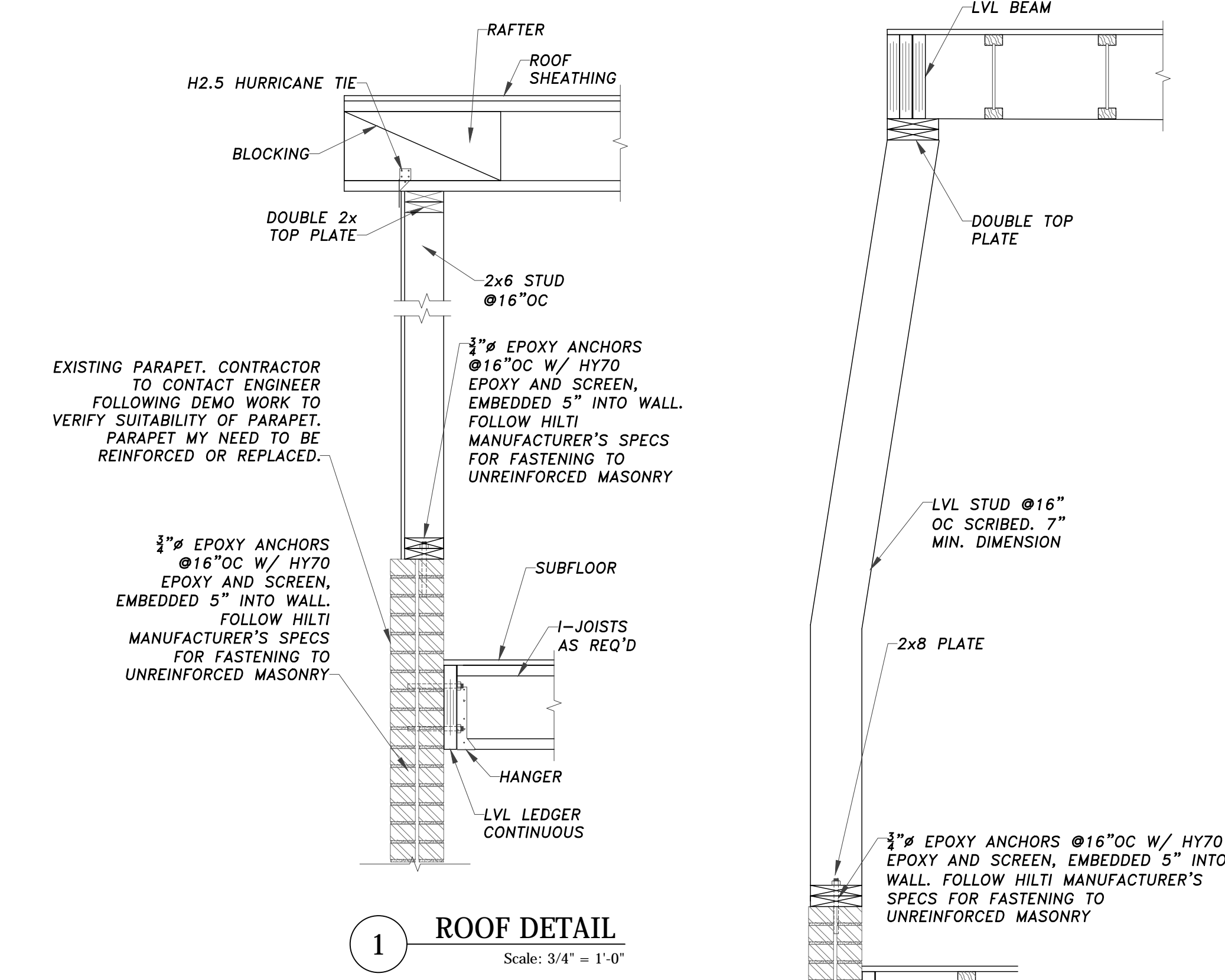


FOUNDATION
Scale: 1/4"=1'-0"

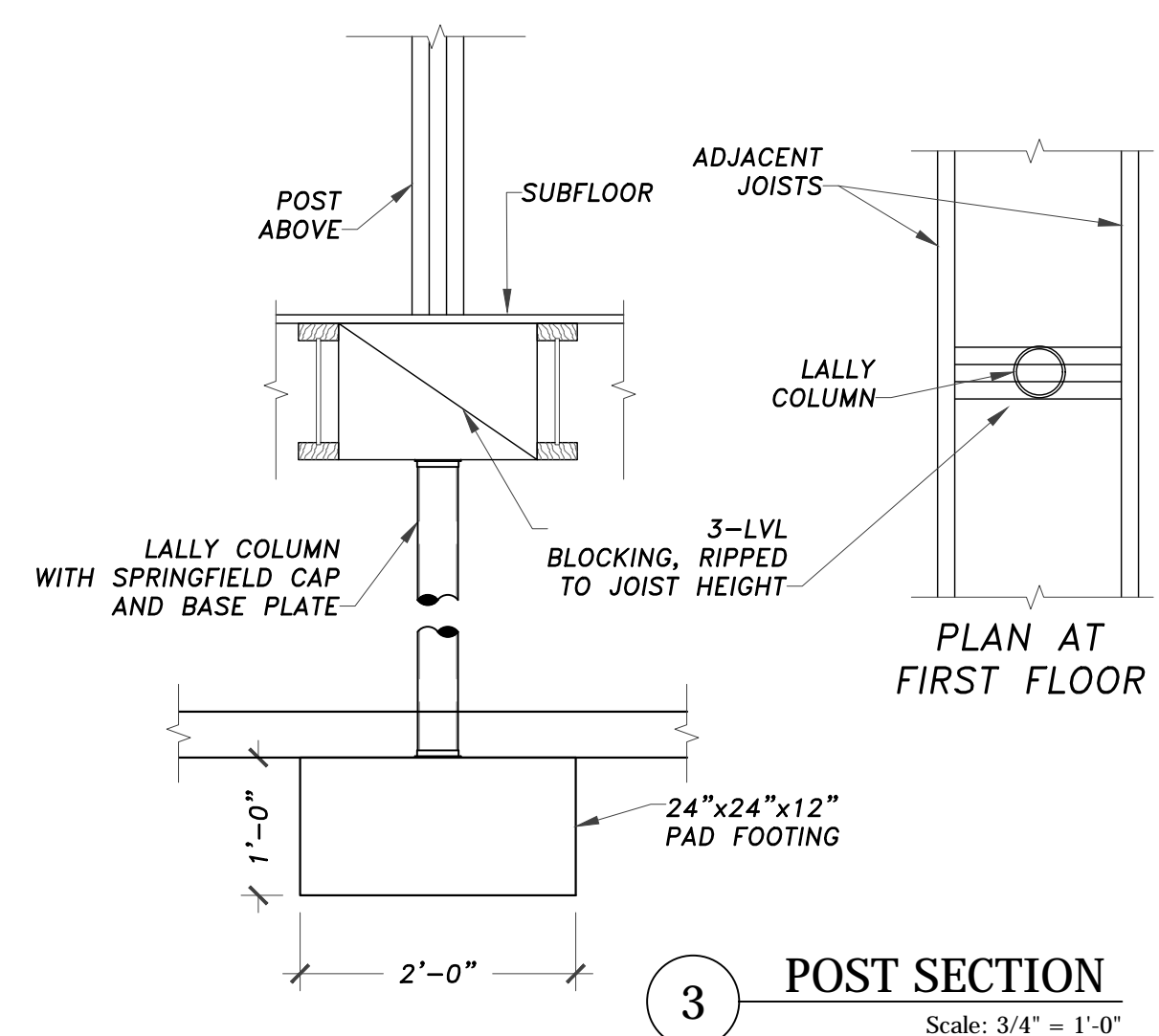
THIS ADDITION PLAN ASSUMES THAT THE EXISTING FOUNDATIONS ARE BEARING ON FOOTINGS THAT ARE AT MINIMUM 3 FEET WIDE. CONTRACTOR TO VERIFY THIS. ADDITIONALLY CONTRACTOR TO REVIEW FOUNDATION NOTES AND ENSURE THAT THE SOILS ARE ADEQUATE PER THE NOTES



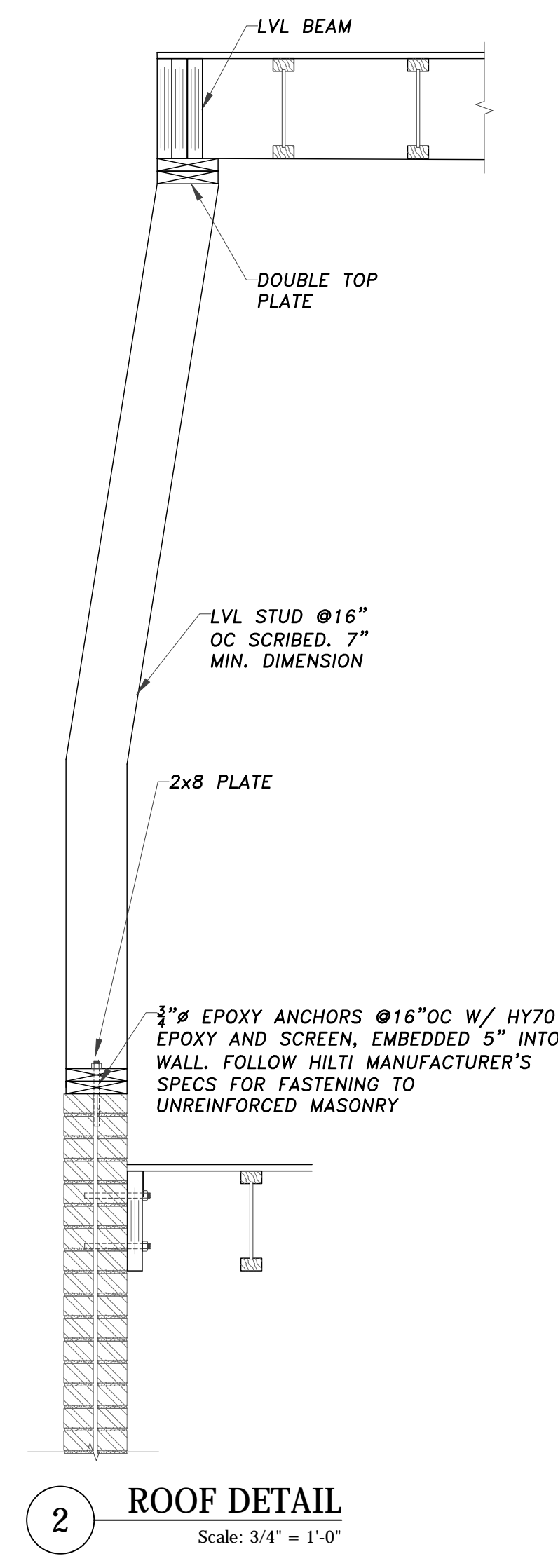
FIRST FLOOR
Scale: 1/4"=1'-0"



1 ROOF DETAIL
Scale: 3/4" = 1'-0"



3 POST SECTION
Scale: 3/4" = 1'-0"



2 ROOF DETAIL
Scale: 3/4" = 1'-0"

LEGEND

BW	= BEARING WALL
FVP	= FLAT VALLEY PLATE
(E)	= EXISTING
(N)	= NEW
TBR	= TO BE REMOVED
POST LOCATION	POST UP (ABOVE LINE), POST DOWN (BELOW LINE)
DIM. LUMBER POST	NUMBER OF STUDS, P3-26 SIZE OF STUD, TYPE OF POST: P-POST, J-JACK, ENGINEERED POST
LC 3/8	SIZE, TYPE OF POST: VC-VERSA COLUMN, LC-LALLY COLUMN, HSS-TUBE STEEL



RENOVATION / ADDITION
116 LONDON STREET
BOSTON, MA

Rev: Date:

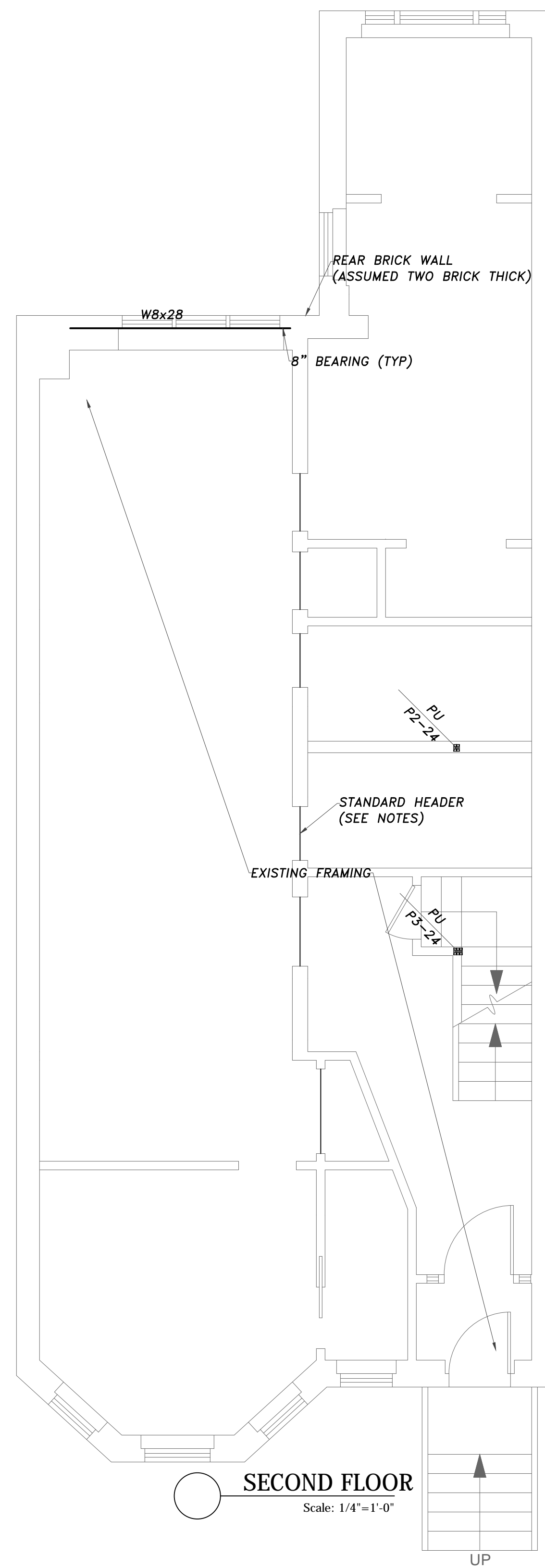
FOR CONST.

Date : OCT. 1, 2021

DRAWING SCALES SHOWN ARE BASED ON AN 24x36 SIZE DRAWING

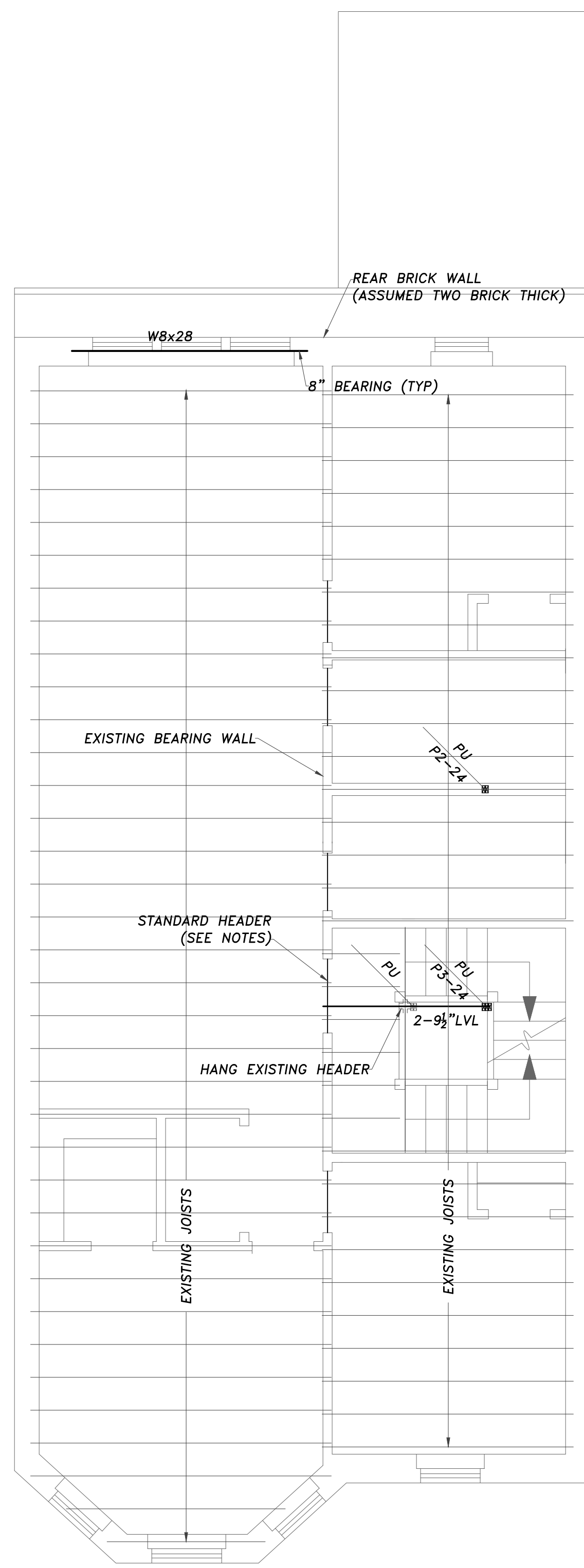
FOUND. FIRST SECTIONS

S1.0

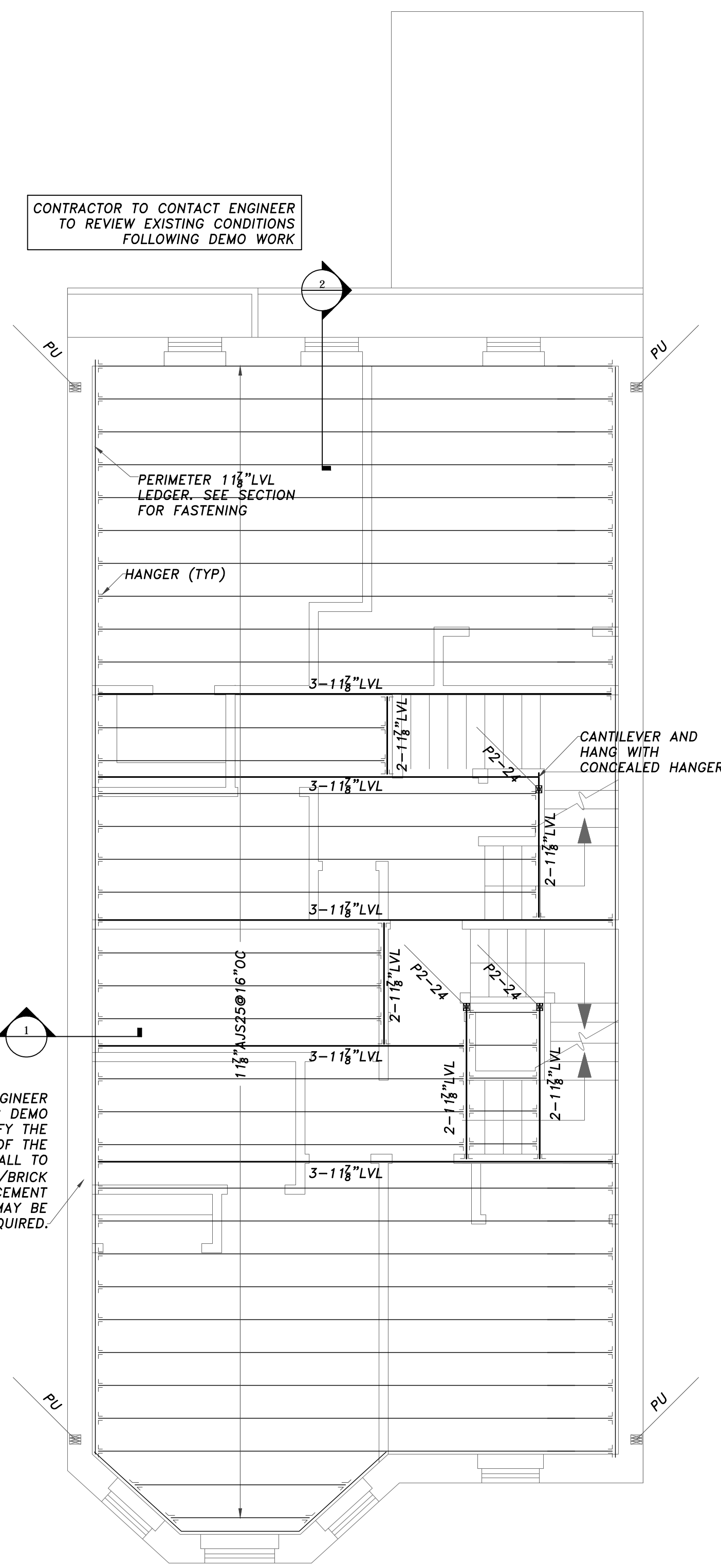


SECOND FLOOR
Scale: 1/4"=1'-0"

UP

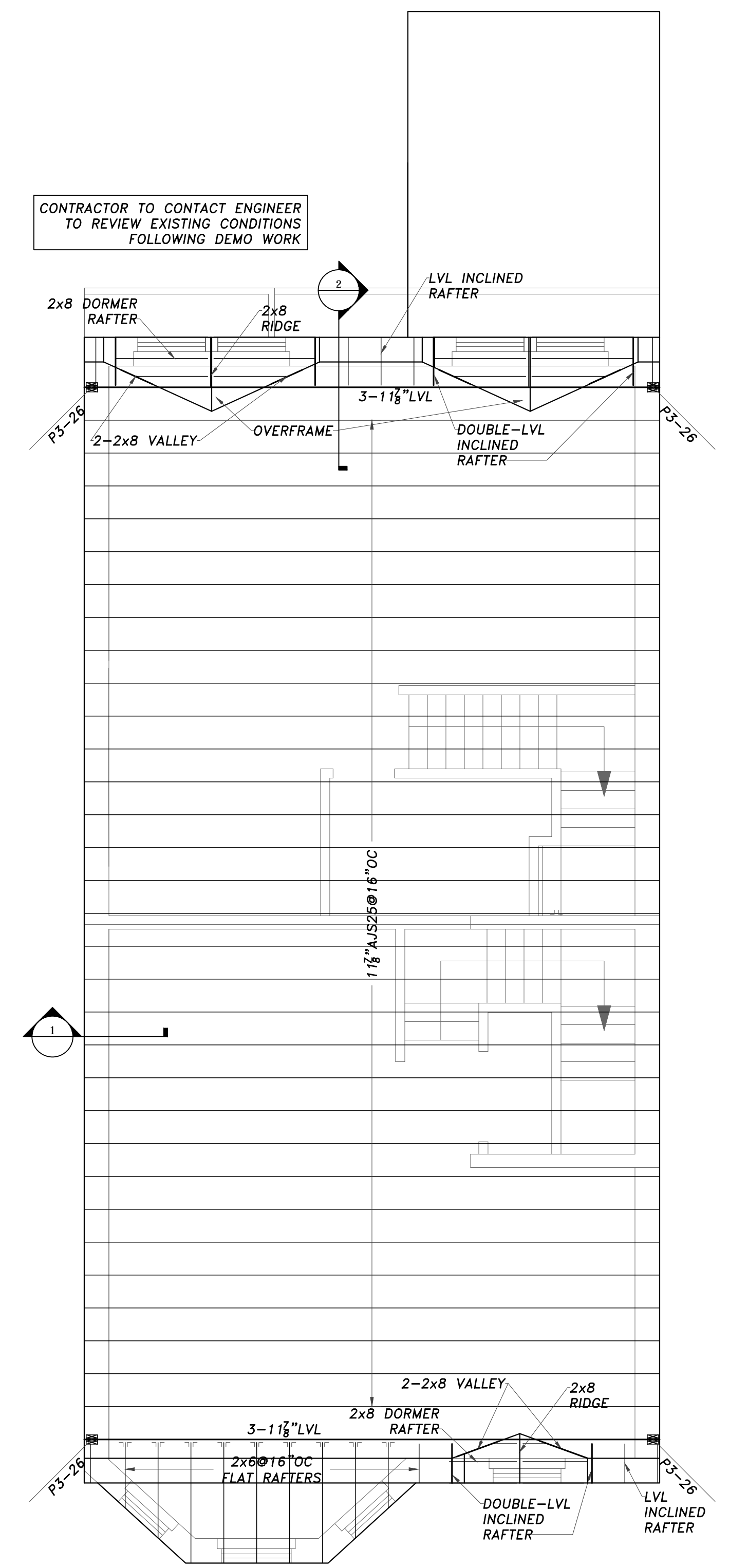


THIRD FLOOR
Scale: 1/4"=1'-0"



FOURTH FLOOR
Scale: 1/4"=1'-0"

CONTACT ENGINEER FOLLOWING DEMO WORK TO VERIFY THE CONNECTION OF THE 2x6 EXT. WALL TO THE PARAPET/BRICK WALL. REINFORCEMENT OR REPAIR MAY BE REQUIRED.



ROOF FRAMING
Scale: 1/4"=1'-0"

THIS ADDITION ADDS ADDITIONAL SNOW DRIFT LOADS TO THE ADJACENT STRUCTURES. CONTRACTOR TO NOTIFY ADJUTERS OF THE INCREASED LOAD AS THE ADJACENT BUILDINGS' ROOFS MAY NEED REINFORCEMENT

FLOOR FRAMING NOTES

1. TYPICAL HEADERS ARE TO BE 2-2x10 BEAM W/ 2-2x4 JACK STUD AND 1-2x4 KING STUD.
2. ANY POSTS NOT SHOWN TO BE 2x4 W/ NUMBER OF PLYS ON POST TO MATCH PLYS ON THE BEAM.
3. ALL INDIVIDUAL LVLS ARE 1 1/2" THICK UNLESS NOTED OTHERWISE.
4. TIMBERLOKS IN LEDGERS TO PENETRATE WOOD ATTACHMENT MEMBER A MINIMUM OF 3". TIMBERLOKS TO BE EQUALLY SPACED VERTICALLY AND HAVE MINIMUM EDGE DISTANCE OF 1.5"
5. BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH OF 2-1/2" DIA BOLTS AT 16" ON CENTER, OR 3-1/2" DIA SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES. FOLLOW MANUF. SPECS.

LEGEND

- BW = BEARING WALL
- FVP = FLAT VALLEY PLATE
- (E) = EXISTING
- (N) = NEW
- TBR = TO BE REMOVED
- POST LOCATION (POST UP ABOVE LINE) (POST DOWN BELOW LINE)
- DIM. LUMBER POST**
 - NUMBER OF STUDS
 - SIZE OF STUD
 - TYPE OF POST: P-POST, J-JACK,
- ENGINEERED POST**
 - SIZE
 - TYPE OF POST: VC-VERSA COLUMN, LC-LALLY COLUMN, HSS-TUBE STEEL



617-775-7250
Mike@DavidsonEngineer.com



RENOVATION / ADDITION
116 LONDON STREET
BOSTON, MA

Rev: Date:

FOR CONST.

Date : OCT. 1, 2021

DRAWING SCALES SHOWN ARE BASED ON AN 24x36 SIZE DRAWING

2ND, 3RD, 4TH, ROOF

S1.1

BOSTON WATER & SEWER COMMISSION

Cross Connection
 Approval: *[Signature]* Date: 4/11/22
 Discharge Enforcement
 Approval: _____ Date: _____

BOSTON WATER AND SEWER COMMISSION
 Reviewed and approved as to proposed connections to existing Water and Sewer facilities as shown, for Issuance of Building Permit Only. Additional Permits must be obtained from BWSO prior to connections to BWSO facilities. This approval is valid for a period of one (1) year from date of approval.
[Signature] 4/12
 JOHN SULLIVAN, JR., P.E.
 Chief Engineer

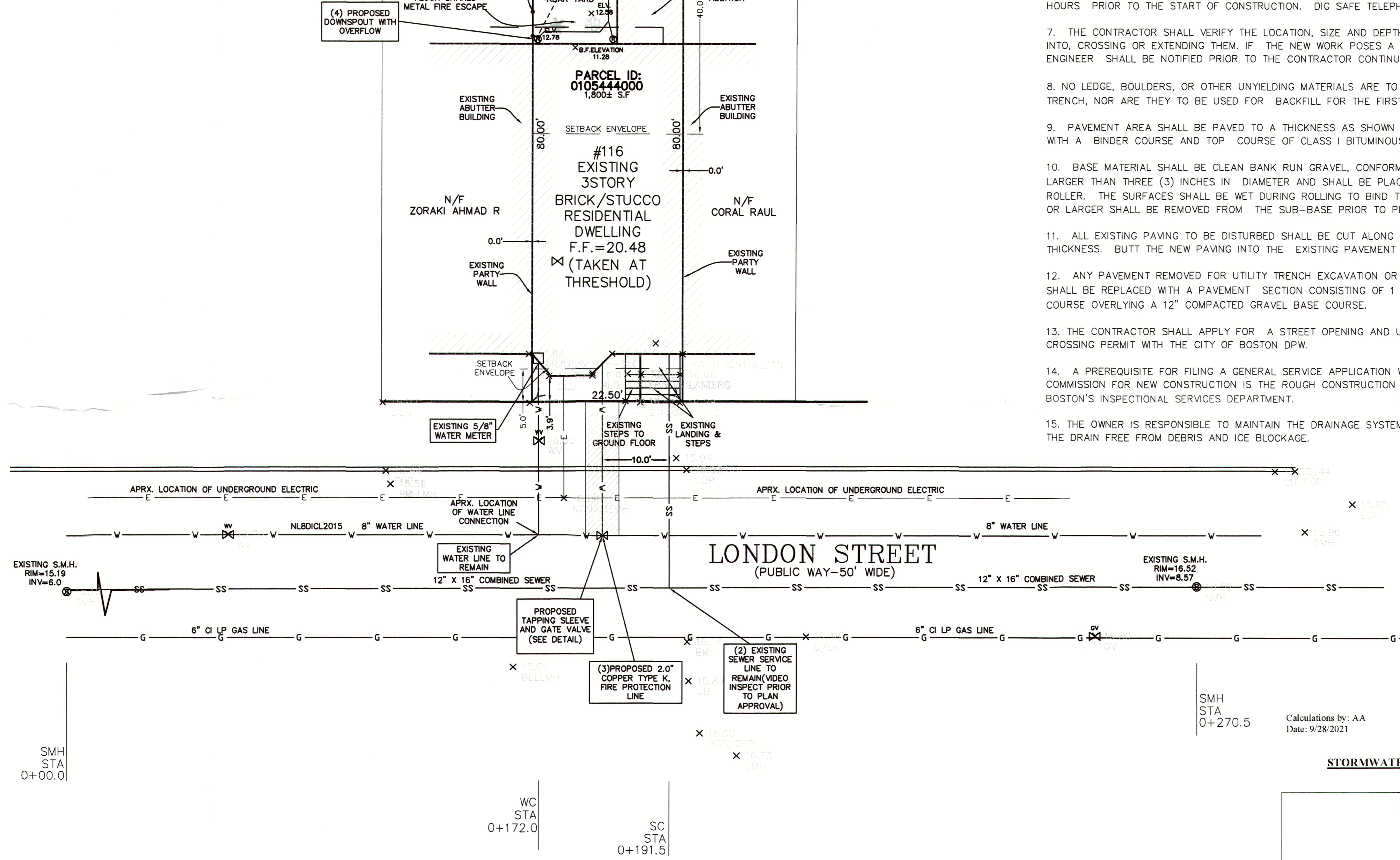
ALL WATER, SEWER AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY LICENSED DRAIN LAYER LICENSED BY THE BOSTON WATER AND SEWER COMMISSION.

RESERVED FOR BWSO USE ONLY

- (1) INFILTRATION SYSTEM
DATE: _____
INSPECTOR: _____
- (2) SEWER VIDEO INSPECTION
DATE: _____
INSPECTOR: _____
- (3) 2.0" FIRE LINE
DATE: _____
INSPECTOR: _____
- (4) PROPOSED DOWNSPOUT OVERFLOW
DATE: _____
INSPECTOR: _____
- (5) AS BUILT PREPARATION FEE
DATE: _____
INSPECTOR: _____

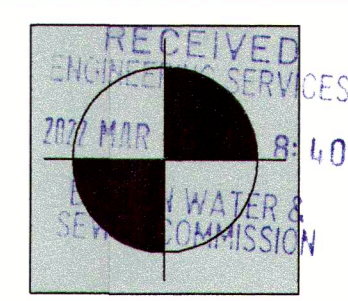
SITE PLAN #: 21597
 OWNERS INFORMATION:
 Thomas Walsh: 781 -333-9382
 UNIT 326 15 Albert Jacobbe Rd
 BOSTON MA, 02128
 PARCEL ID= 0105444000
 LAND USE CODE: R4 (4 UNITS)
 WATER ACCOUNT NUMBER :#1355403
 COBUCS NUMBER: #1639760356346
 116 LONDON ST.

* PER TITLE V, SEWER FLOW RESIDENTIAL
 990 G.P.D., (9 BEDROOMS x 110 G.P.D.)
 =990 G.P.D. (TOTAL SEWER FLOW)



CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
3. ALL WORK SHALL CONFORM TO CITY OF BOSTON GENERAL CONSTRUCTION STANDARDS.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR.
6. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
8. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
9. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
10. BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
11. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUTT THE NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN.
12. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1 1/2" WEAR COURSE OVERLYING A 1/2" BINDER COURSE OVERLYING A 12" COMPACTED GRAVEL BASE COURSE.
13. THE CONTRACTOR SHALL APPLY FOR A STREET OPENING AND UTILITY CONNECTION PERMITS AND SIDEWALK CROSSING PERMIT WITH THE CITY OF BOSTON DPW.
14. A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS THE ROUGH CONSTRUCTION SIGN-OFF DOCUMENT FROM THE CITY OF BOSTON'S INSPECTIONAL SERVICES DEPARTMENT.
15. THE OWNER IS RESPONSIBLE TO MAINTAIN THE DRAINAGE SYSTEM FOR PROPER OPERATION INCLUDING KEEPING THE DRAIN FREE FROM DEBRIS AND ICE BLOCKAGE.

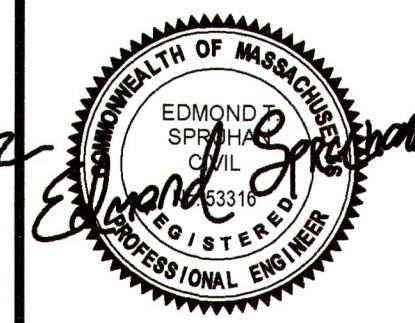
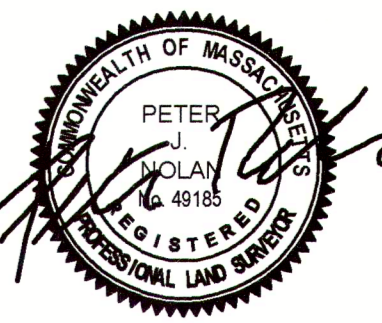


PETER NOLAN & ASSOCIATES, LLC

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 697 CAMBRIDGE STREET, SUITE 1031, BRIGHTON, MA 02135
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 617-782-1533
 Fax: 617-2025691

80 JEWETT ST. (SUITE 11) NEWTON, MA 02458
 Tel: 617-816-0722
 Email: edmond@spruhaneng.com



116 LONDON STREET,
 EAST BOSTON, MA

REVISION BLOCK

DESCRIPTION	DATE
REVISED AS PER BWSO COMMENTS	2/8/2022
REVISED AS PER BWSO COMMENTS	3/15/2022

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PLAN TO ACCOMPANY BWSO APPLICATION

PLAN:	1 OF 2
SCALE:	1" = 10'
DATE:	12-17-21
DRAWN BY:	AA
CHECKED BY:	PN
APPROVED BY:	ES

SHEET:
001

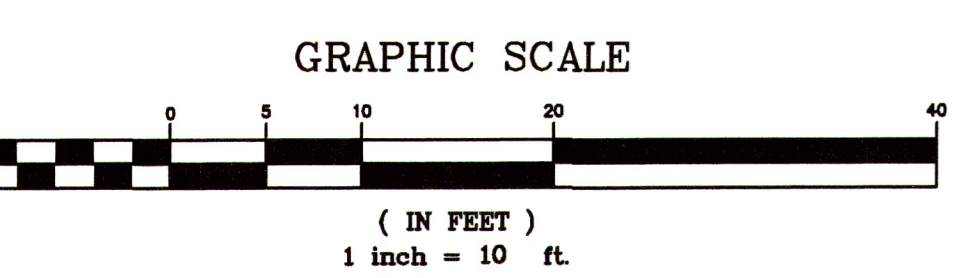
STORMWATER MANAGEMENT CALCULATIONS SYSTEM

Design Criteria:
 Impervious Roof = 1201.57 SF
 Impervious Pavement = 0 SF
 Total = 1,201.57 SF
 Design For 1" Rainstorm

Storage Volume Required:
 $V_R = (1"/12) (1,201.57 SF) = 100.13 CF$

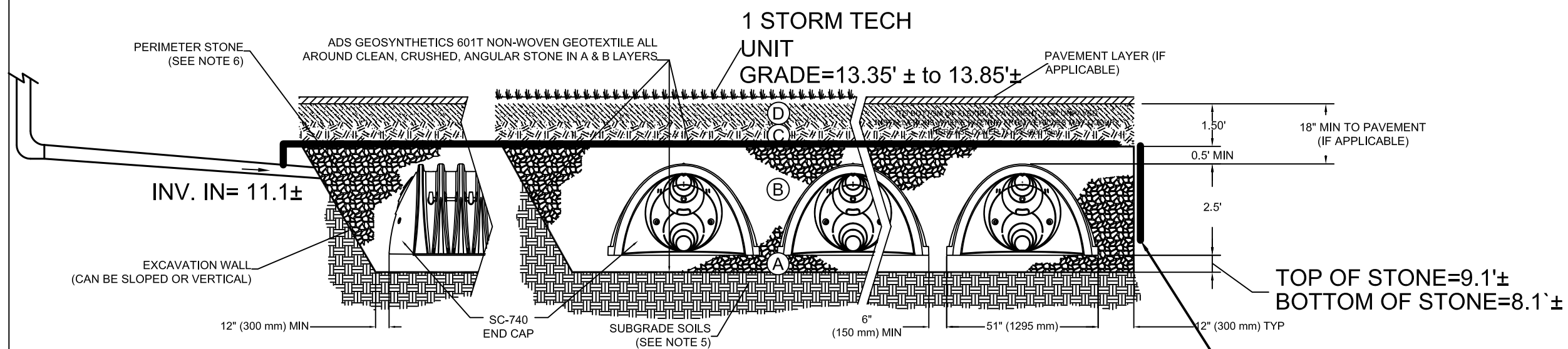
CAPACITY OF PROPOSED STORM TECH SYSTEM

Storage Capacity of single Storm Tech UNIT = 49 CF
 Void Ratio = 0.3
 Total Volume = (11' x 7' x 4' depth (2.58 for Storm Tech unit) 1 UNIT) = 308 CF
 Capacity for 1 UNIT = 49 CF
 Storage Capacity in Crushed Stone = (Total Volume - Capacity of Units) x Void Ratio = (308 - 49) x 0.3 = 77.7 CF
 Total Storage Provided = Capacity in Crushed Stone + Total Capacity in Units = 77.7 CF + 49 CF = 126.7 CF
 Since Total Storage Provided (126.7 CF) > Total Storage Required (100.13 CF/D) Therefore, utilize 1-Storm-Tech Chamber with 1ft. of Crushed Stone Beneath to Contain 1" Storm Event



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

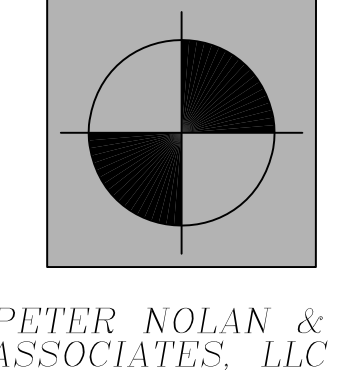
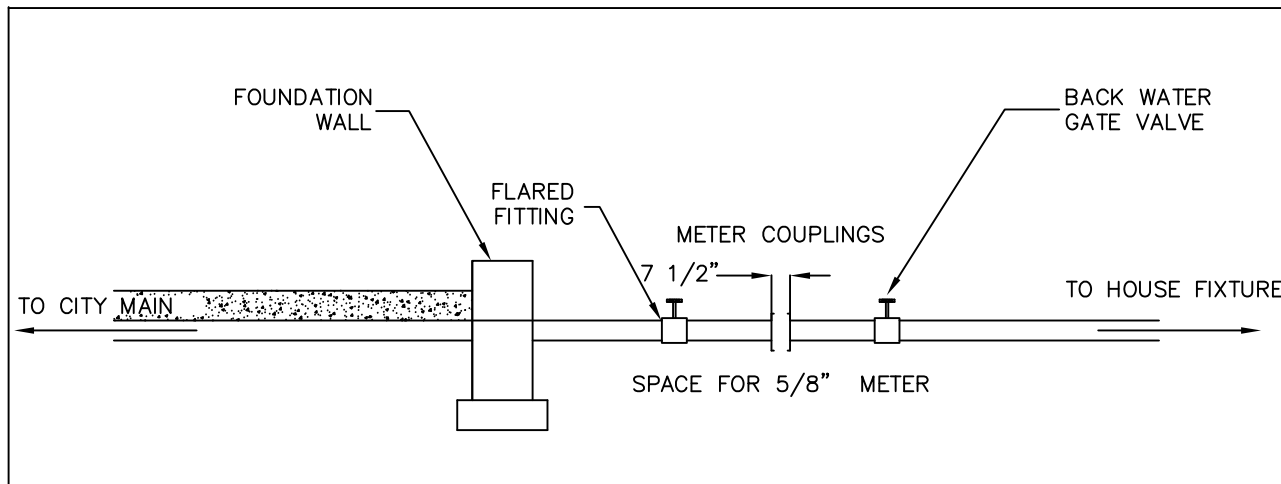
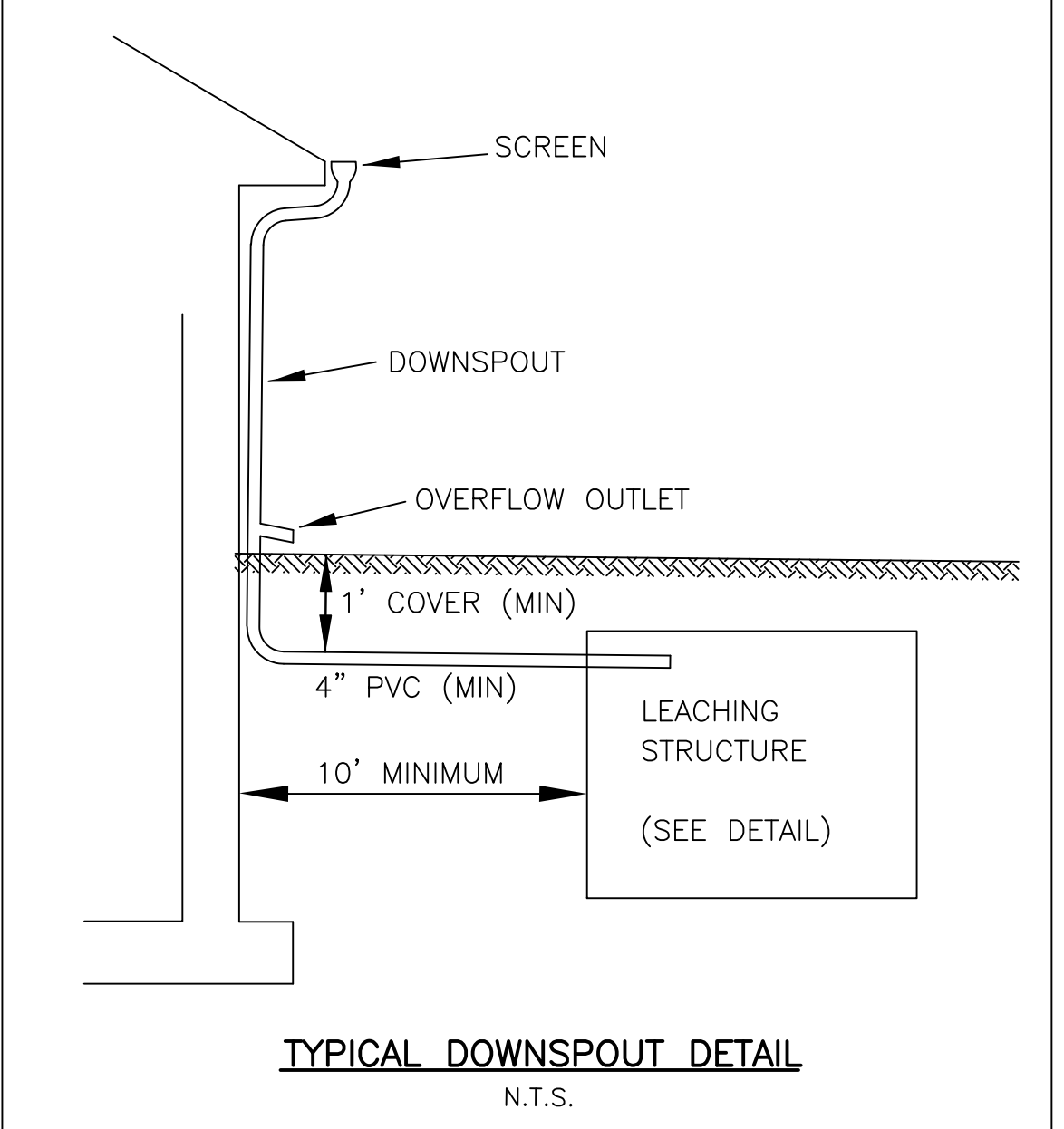
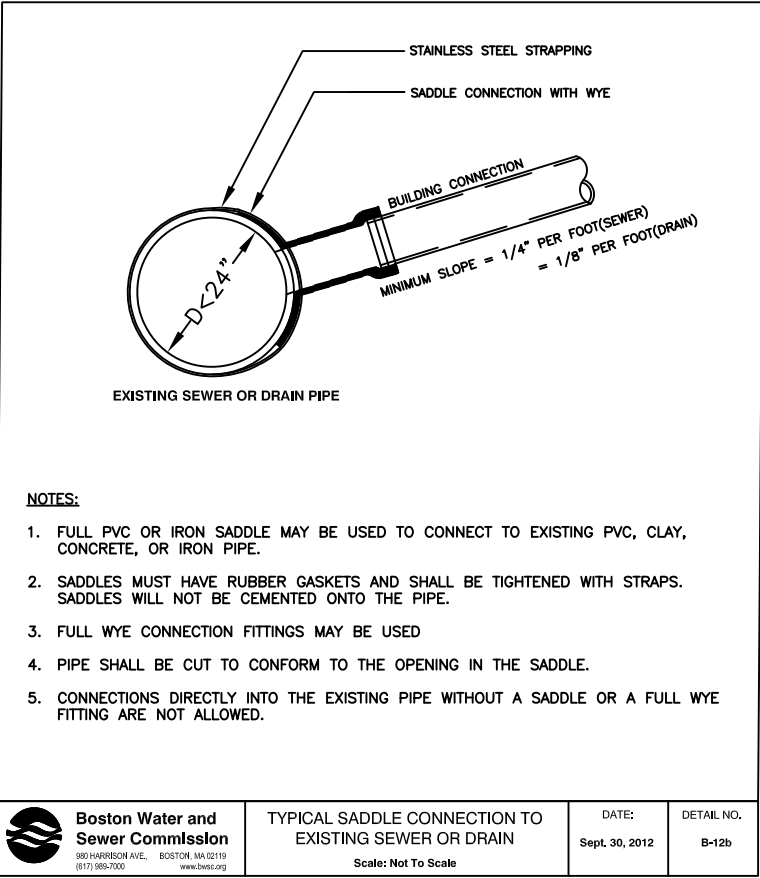
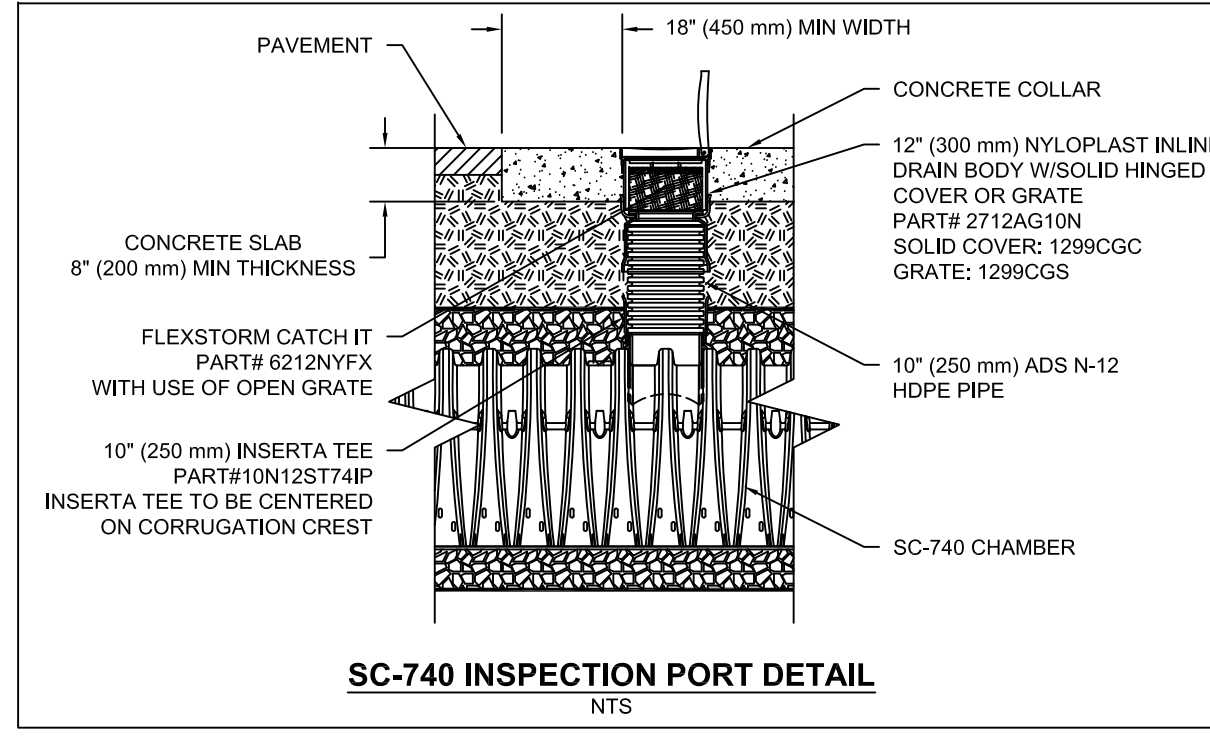
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('A' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M140 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 50,000 lbs (23 MN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (90 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}



- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'D' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH GENERAL NOTES

- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 96 INCHES INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 96 INCHES.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.



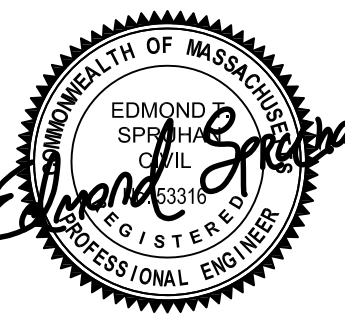
PETER NOLAN & ASSOCIATES, LLC

LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
697 CAMBRIDGE STREET, SUITE 1103, BRIGHTON, MA 02135
Tel: 857-891-7478
617-782-1533
Fax: 617-2025691



SPRUHAN ENGINEERING, P.C.

80 JEWETT ST., SUITE 11 NEWTON, MA 02458
Tel: 617-816-0722
Email: edmond@spruhaneng.com



116 LONDON STREET, EAST BOSTON, MA

REVISION BLOCK

DESCRIPTION	DATE
REVISED AS PER BWSC COMMENTS	2/8/2022
REVISED AS PER BWSC COMMENTS	3/15/2022

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Peter Nolan & Associates, LLC, or Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C.. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.

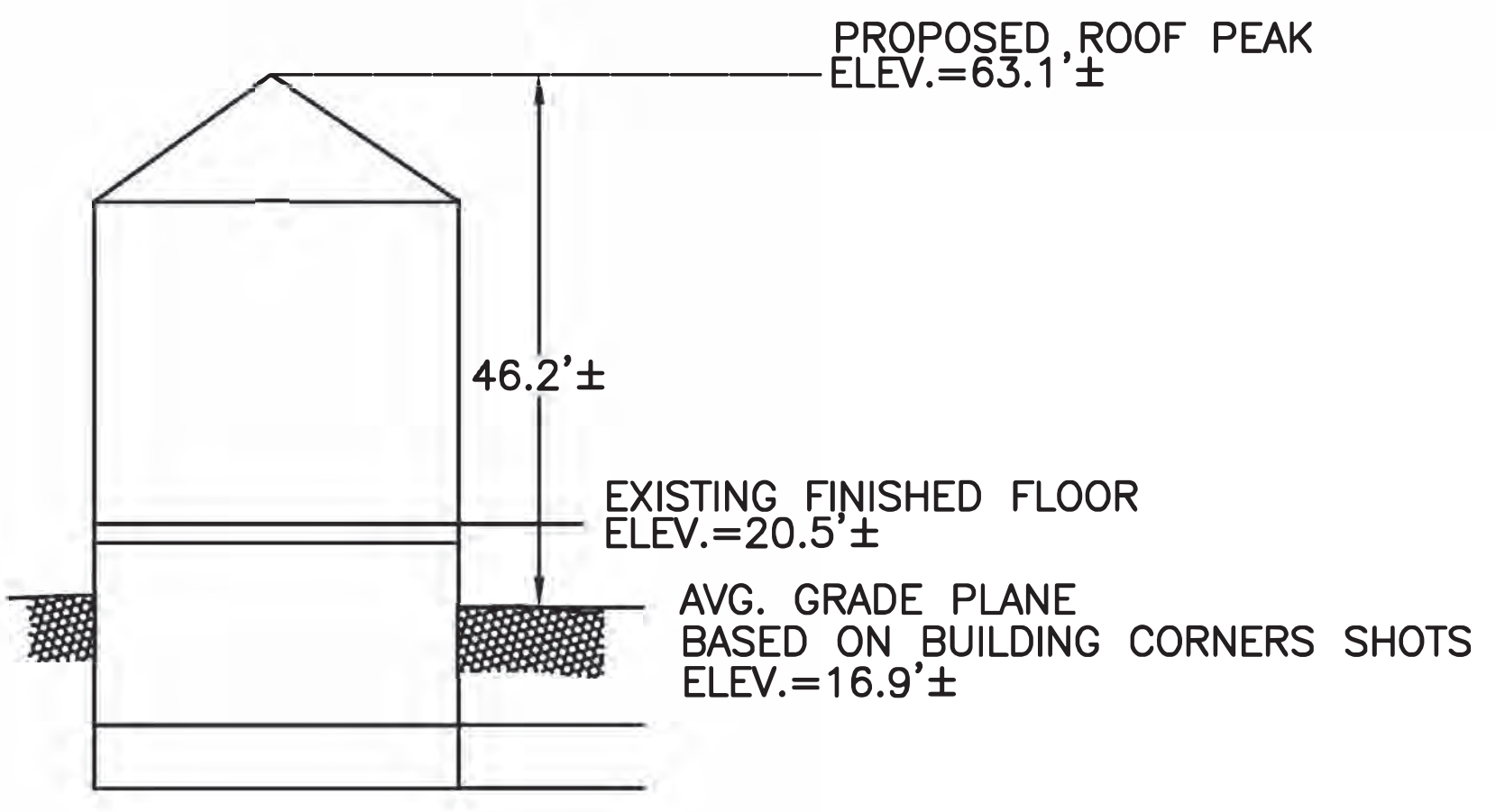
DETAIL SHEET

PLAN:	2 OF 2
SCALE:	1" = 10'
DATE:	12-17-21
DRAWN BY:	AA
CHECKED BY:	PN
APPROVED BY:	ES

SHEET: **002**

EXISTING LEGEND	
	SEWER LINE
	SEWER MANHOLE
	WATER LINE
	GAS LINE
	UTILITY POLE
	GAS VALVE
	OVERHEAD ELECTRIC SERVICE
	WATER VALVE
	CATCH BASIN
	FENCE
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)
	SPOT GRADE
	DRAIN MANHOLE
	HYDRANT
	TREE

ZONING LEGEND			
ZONING DISTRICT: 3F-2000 (THREE FAMILY RESIDENTIAL)			
	REQUIRED	EXISTING	PROPOSED
MIN. AREA FOR 1 DWELLING UNIT	1,000 S.F.	600± S.F.	600± S.F.
MIN. AREA FOR EACH ADDITIONAL DWELLING UNIT	2,000 S.F. (1,000 PER UNIT)	1,200± S.F.	1,200± S.F.
MIN. FRONTAGE	20'	22.50'	22.50'
MIN. YARD FRONT (5)	5'	3.9'	3.9'
SIDE (R) (6)	0.0'	0.0'	0.0'
SIDE (L) (6)	0.0'	0.0'	0.0'
REAR	40'	13.1'	26.6'
REAR YARD OCC.	25%	7.4%	7.4%
USABLE OPEN SPACE PER DWELLING UNIT (4)	300 S.F. PER DU	465± S.F.	465± S.F.
MIN. LOT WIDTH	20'	22.50'	22.50'
MAX. BLDG. HEIGHT (3)	35'	36.2'±	46.2'±
MAX. STORIES (3)	3.0	3.0	4.0
MAX. F.A.R.	1.0	-	-



PROPOSED PROFILE
NOT TO SCALE

- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 10/24/2019.
 2. DEED REFERENCE: BOOK 61888, PAGE 34, PLAN REFERENCE: BOOK 4, PLAN 10, SUFFOLK COUNTY DISTRICT REGISTRY OF DEEDS
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE AE, (EL 10 FEET) ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0081J, PANEL NUMBER 0081J, COMMUNITY NUMBER: 250286, DATED MARCH 16, 2016.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF BOSTON DATUM.
 9. ZONING DISTRICT: 3F-2000 EAST BOSTON NEIGHBORHOOD

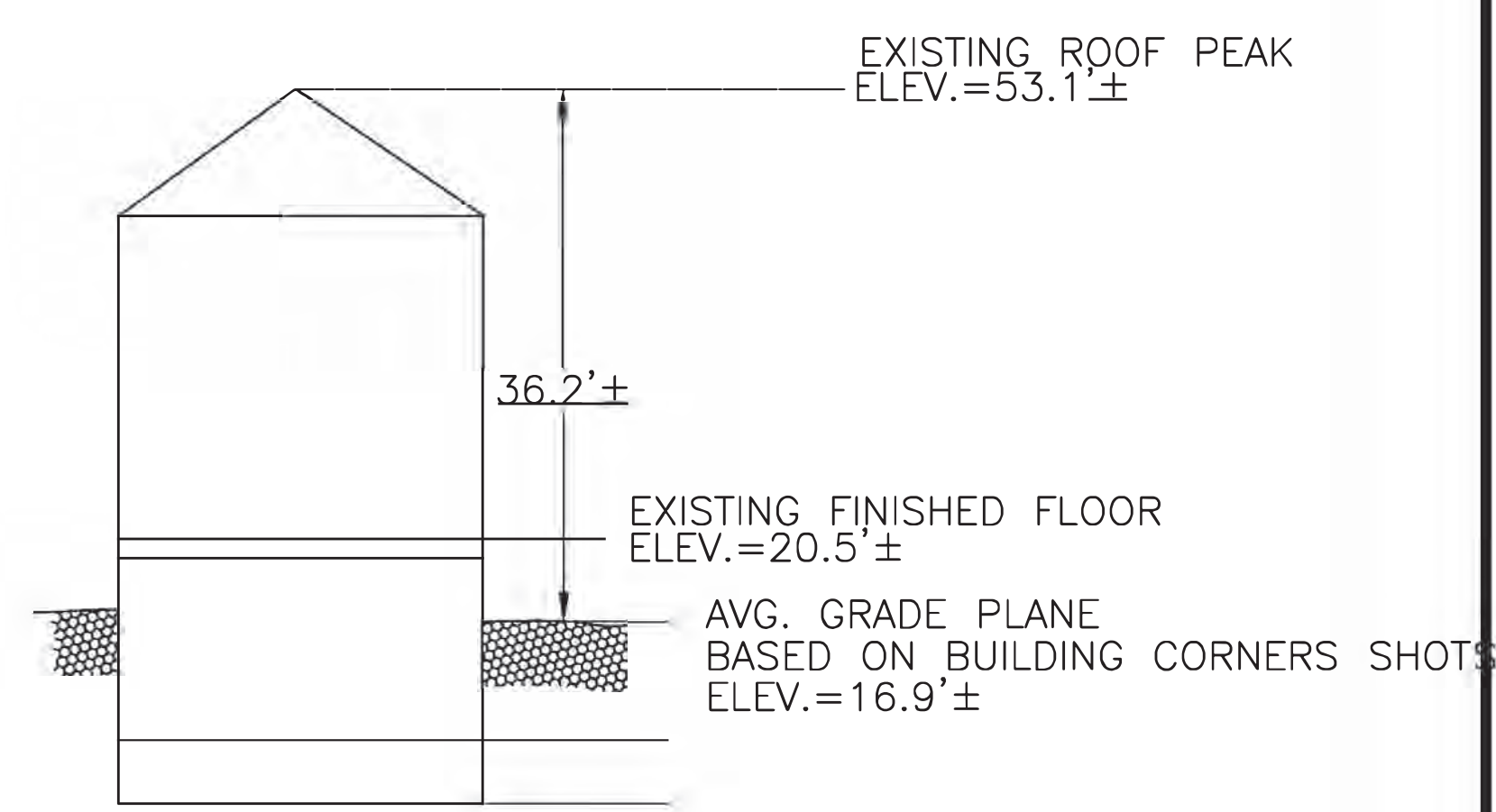
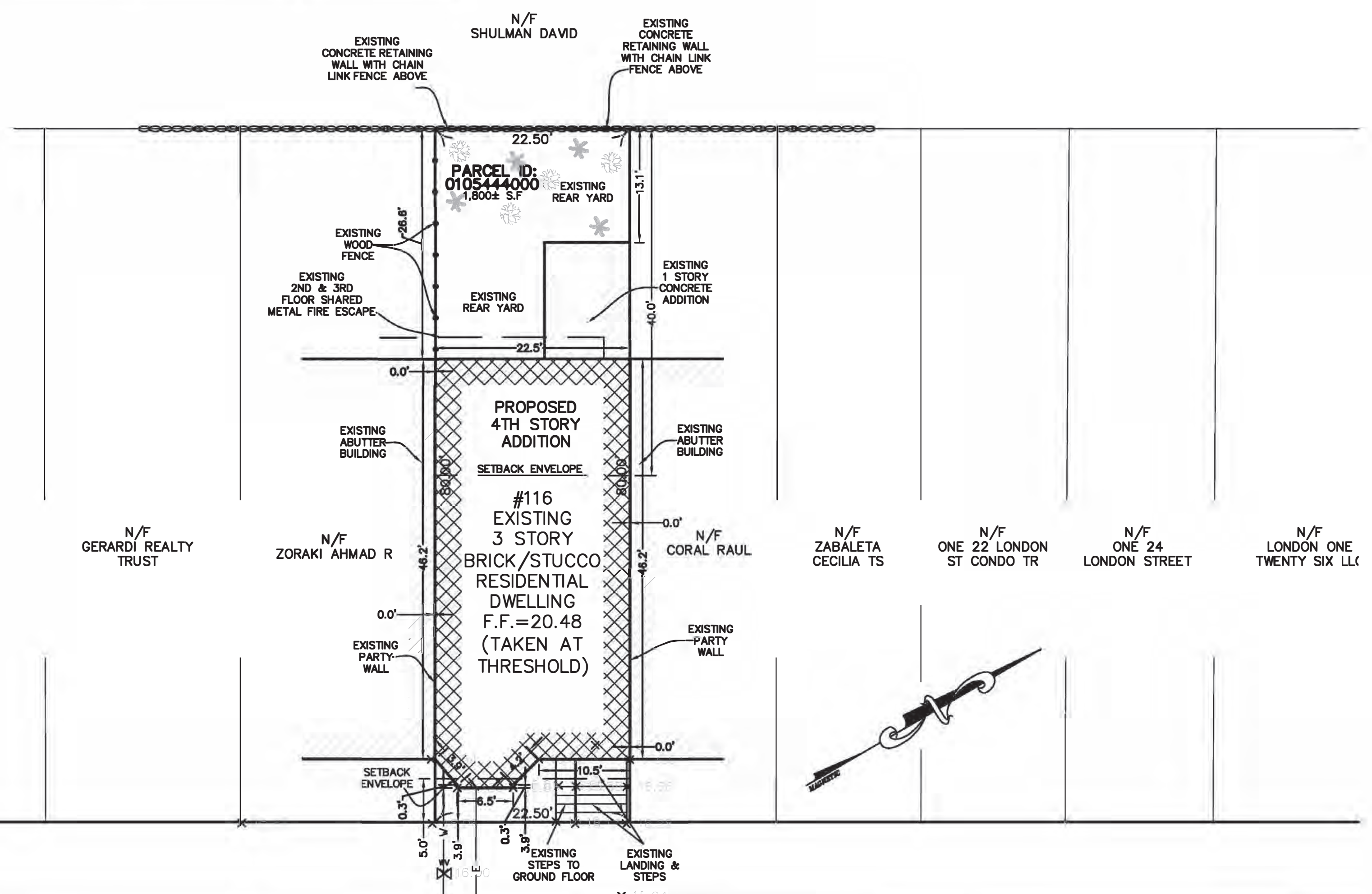
*** ZONING BYLAW FOOTNOTES ***

(3) = FOR THE PURPOSE OF DETERMINING BUILDING HEIGHT, THE FLOOR AREA OF A DORMER ON A DWELLING SHALL NOT BE INCLUDED IN THE FLOOR AREA CALCULATION FOR A HALF STORY; PROVIDED THAT SUCH DORMER IS NOT WIDER THAN EIGHT (8) FEET AND THE RIDGE LINE OF THE DORMER DOES NOT EXCEED THE RIDGE LINE OF AN EXISTING STRUCTURE OF WHICH IT IS A PART, OR THIRTY-FIVE (35) FEET, WHICHEVER IS LESS; AND PROVIDED FURTHER THAT ONLY THE FLOOR AREA OF TWO SUCH DORMERS SHALL NOT BE INCLUDED IN THE FLOOR AREA CALCULATION FOR A HALF STORY. HOWEVER, THE FLOOR AREA OF SUCH DORMERS SHALL BE INCLUDED IN GROSS FLOOR AREA OF THE DWELLING.

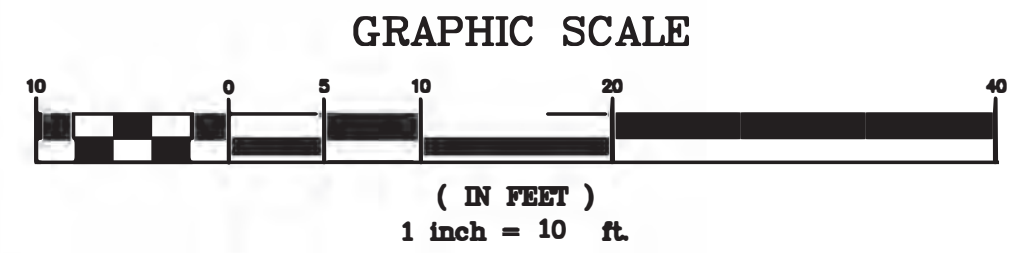
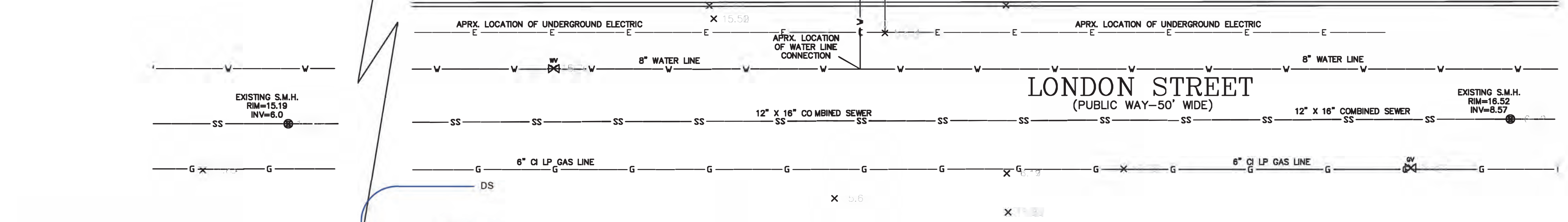
(4) = APPLICABLE ONLY TO RESIDENTIAL USES AND DORMITORY/FRATERNITY USES. IN MFR SUBDISTRICTS, ALL OR PART OF THE USABLE OPEN SPACE REQUIREMENT MAY BE MET BY SUITABLY DESIGNED AND ACCESSIBLE SPACE ON BALCONIES OF MAIN BUILDINGS OR ON THE ROOFS OF WINGS OF MAIN BUILDINGS OR ON THE ROOFS OF ACCESSORY BUILDINGS.

(5) = SEE SECTION 53-57.2 (CONFORMITY WITH EXISTING BUILDING ALIGNMENT). A BAY WINDOW MAY PROTRUDE INTO A FRONT YARD.

(6) = SEMI-ATTACHED DWELLINGS, TOWN HOUSE BUILDINGS, AND ROW HOUSE BUILDINGS ARE ONLY REQUIRED TO HAVE SIDE YARDS ON SIDES THAT ARE NOT ATTACHED TO ANOTHER DWELLING



EXISTING PROFILE
NOT TO SCALE



APPROVED
Design Section
BOSTON REDEVELOPMENT AUTHORITY
9/27/2021

Design Review
for the
Board of Appeal
M. Cannizzo
Signature

BOA 1161114. Any changes to these plans must be submitted to the BPDA for approval. All PVC trim and siding is to be painted.

SCALE	1"=10'
DATE	10/28/2019
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	116 LONDON STREET EAST BOSTON MASSACHUSETTS
DRAWN BY	KK
CHKD BY	ETS
APPD BY	P.N
REVISION	
BY	
EXISTING CONDITIONS PLAN	
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 1 NEWTON MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com	
SHEET NO.	1

PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE (LESS THIRD PARTY COST).
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NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC ANY VIOLATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC SHALL RENDER IT INVALID AND UNINSURABLE.



**NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES
COMISIÓN DE CONSERVACIÓN DE BOSTON**

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. 116 London Street LLC ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es 116 London Street East Boston, MA.

C. El proyecto consiste en instalación de un sistema de infiltración dentro de Terrenos Sujetos a Flujo de Tormentas Costeras (LSCSF).

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en CC@boston.gov.

E. Las copias de la notificación de intención pueden obtenerse en Norse Environmental Services, Inc. a mail@norseenv.com entre las 8am-6pm lunes a jueves, viernes / hasta el mediodía.

F. De acuerdo con el Capítulo 107 de las Actas de 2022, la audiencia pública se llevará a cabo virtualmente en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar ID de reunión 686 458 2044 # y usar # como su ID de participante.

G. La información relativa a la fecha y hora de la audiencia pública puede solicitarse a la **Comisión de Conservación de Boston** por correo electrónico a CC@boston.gov o llamando al **(617) 635-4416** entre las **9 AM y las 5 PM, de lunes a viernes**.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en el **Boston Herald** con al menos cinco (5) días de antelación.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en www.boston.gov/public-notices y en el Ayuntamiento de Boston con no menos de cuarenta y ocho (48) horas de antelación. Si desea formular comentarios, puede asistir a la audiencia pública o enviarlos por escrito a CC@boston.gov o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201.

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.



City of Boston
Environment



NOTA: si tiene previsto asistir a la audiencia pública y necesita servicios de interpretación, sírvase informar al personal en CC@boston.gov antes de las 12 PM del día anterior a la audiencia.

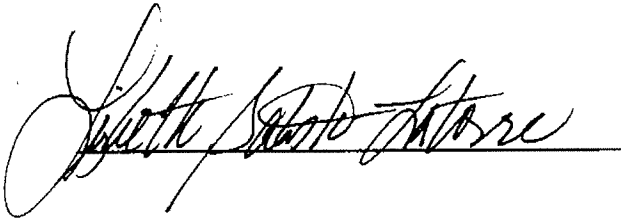
Benoit Language Services, Inc.

33 South Street
P.O. Box 147
Northborough, MA 01532
www.benoitinc.com

Phone: 1 (800)261-5152
Facsimile: (508) 393-4191

TRANSLATOR'S CERTIFICATION

I, Lizbeth Batista-Latorre, hereby CERTIFY that the preceding document is a true and accurate translation. I am competent in both Spanish and English and am fully able to render such translation to the best of my skills and abilities.

A handwritten signature in cursive script, reading "Lizbeth Batista-Latorre", written over a horizontal line.

Spanish Interpreter/Translator



A. GENERAL INFORMATION

1. Project Location

116 London Street

a. Street Address

East Boston

b. City/Town

02128

c. Zip Code

Ward 01

f. Assessors Map/Plat Number

Parcel 05444000

g. Parcel /Lot Number

2. Applicant

Thomas

a. First Name

Walsh, Manager

b. Last Name

116 London Street, LLC

c. Company

15 Monsignor Albert Jacobbe Road, Unit 326

d. Mailing Address

Boston

e. City/Town

MA

f. State

02128

g. Zip Code

781-333-9382

h. Phone Number

i. Fax Number

twalsh@netwatchusa.com

j. Email address

3. Property Owner

Thomas

a. First Name

Walsh, Manager

b. Last Name

116 London Street LLC

c. Company

15 Monsignor Albert Jacobbe Road, Unit 326

d. Mailing Address

Boston

e. City/Town

MA

f. State

02128

g. Zip Code

781-333-9382

h. Phone Number

i. Fax Number

twalsh@netwatchusa.com

j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

Maureen

a. First Name

Herald

b. Last Name

Norse Environmental Services, Inc.

c. Company

92 Middlesex Road, Unit 4

d. Mailing Address

Tyngsboro

e. City/Town

MA

f. State

01879

g. Zip Code

978-649-9932

h. Phone Number

i. Fax Number

mail@norseenv.com

j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

Yes

No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

Proposing to install rooftop infiltration within Land Subject to Coastal Storm Flowage (LSCSF).

7. Project Type Checklist

- a. Single Family Home
- b. Residential Subdivision
- c. Limited Project Driveway Crossing
- d. Commercial/Industrial
- e. Dock/Pier
- f. Utilities
- g. Coastal Engineering Structure
- h. Agriculture – cranberries, forestry
- i. Transportation
- j. Other

8. Property recorded at the Registry of Deeds

Suffolk County ROD

34

a. County

b. Page Number

61888

c. Book

d. Certificate # (if registered land)

9. Total Fee Paid

\$175.00

\$75.00

\$100.00

a. Total Fee Paid

b. WPA Fee Paid

c. Ordinance Fee Paid

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

Yes

No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Isolated Wetlands	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

included on page 7



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhesp/nhregmap.htm>.

Yes

No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

Percentage/acreage of property to be altered:

(1) within wetland Resource Area

_____ percentage/acreage

(2) outside Resource Area

_____ percentage/acreage

Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

Yes

No

If yes, provide the name of the ACEC: _____

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.

Applying for a Low Impact Development (LID) site design credits

A portion of the site constitutes redevelopment

Proprietary BMPs are included in the Stormwater Management System

No. Check below & include a narrative as to why the project is exempt

Single-family house

Emergency road repair

Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?

Yes

No



D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

Signature of Applicant

10/03/22

Date

Signature of Property Owner (if different)

Date

Signature of Representative (if any)

10/5/22

Date



APPENDIX A. - STATUTORY REVIEW & APPROVAL CHECKLIST

Applicants submitting a Notice of Intent to the Boston Conservation Commission are also required to include a list of all permits and approvals either obtained, or necessary to be obtained, for the proposed activity. This checklist is not fully comprehensive but Applicants may utilize this checklist to fulfill this requirement. Any additional permits and approvals needed should be discussed in the narrative accompanying the Notice of Intent.

FEDERAL REVIEWS AND APPROVALS

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input type="checkbox"/>	National Environmental Policy Act (NEPA)	Varies
<input type="checkbox"/>	<input type="checkbox"/>	Section 404 Permit	U.S. Army Corps of Engineers
<input type="checkbox"/>	<input type="checkbox"/>	National Pollution Discharge Elimination System Permit (NPDES)	U.S. Environmental Protection Agency
<input type="checkbox"/>	<input type="checkbox"/>	Stormwater Construction General Permit	U.S. Environmental Protection Agency
<input type="checkbox"/>	<input type="checkbox"/>	Federal Endangered Species Act (ESA)	U.S. Fish and Wildlife Service or National Marine Fisheries Service
<input type="checkbox"/>	<input type="checkbox"/>	Federal Fisheries Regulations	National Marine Fisheries Service

COMMONWEALTH OF MASSACHUSETTS REVIEWS AND APPROVALS

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Environmental Policy Act (MEPA)	Massachusetts Environmental Policy Act Office
<input type="checkbox"/>	<input type="checkbox"/>	Federal Consistency Review	Office of Coastal Zone Management
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Public Waterfront Act (Chapter 91)	Massachusetts Department of Environmental Protection (Waterways Program)
<input type="checkbox"/>	<input type="checkbox"/>	Section 401 Water Quality Certification	Massachusetts Department of Environmental Protection (Wetlands Program)
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Endangered Species Act (MESA)	National Heritage and Endangered Species Program
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Marine Fisheries Regulations	Massachusetts Division of Marine Fisheries



<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Massachusetts Board of Underwater Archaeological Resources
<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Massachusetts Historical Commission
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Contingency Plan	Massachusetts Department of Environmental Protection
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Building Code Variance	Board of Building Regulations and Standards

CITY OF BOSTON LOCAL REVIEWS AND APPROVALS

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boston Zoning Code Article 80	Boston Planning and Development Agency
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boston Zoning Code	Inspectional Services Department
<input type="checkbox"/>	<input type="checkbox"/>	Boston Zoning Code Variance	Zoning Board of Appeals
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project Design Review	Civic Design Commission
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility Plan Review	Boston Water and Sewer Commission
<input type="checkbox"/>	<input type="checkbox"/>	Boston Zoning Code Article 32 (GCOD)	Boston Groundwater Trust
<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Boston Landmarks Commission
<input type="checkbox"/>	<input type="checkbox"/>	Boston City Code (100 Foot Rule)	Boston Parks and Recreation Commission
<input type="checkbox"/>	<input type="checkbox"/>	Public Realm Improvements	Boston Public Improvement Commission
<input type="checkbox"/>	<input type="checkbox"/>	Parking Freeze/Abrasive Blasting	Boston Air Pollution Control Commission
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Massachusetts Building Code	Inspectional Services Department



NORSE ENVIRONMENTAL SERVICES, INC.

92 Middlesex Road, Unit 4

Tyngsboro, MA 01879

TEL. (978) 649-9932 • FAX (978) 649-7582

Website: www.norseenvironmental.com

Notice of Intent Report

For

**116 London Street
Ward 01 Parcel 054444000
East Boston, MA**

Prepared For

116 London Street LLC
15 Monsignor Albert Jacobbe Road, Unit 326
East Boston, MA 02128

Prepared By

Norse Environmental Services, Inc.
92 Middlesex Road, Unit 4
Tyngsborough, MA 01879

October 2022

Revised November 1, 2022

Narrative

The applicant is proposing to install rooftop infiltration within Land Subject to Coastal Storm Flowage (LSCSF). The infiltration system is for the fourth-floor addition on the existing dwelling. The site shall be serviced by city sewer and water.

Site Description

The lot consists of 1800 +/- s.f. of land, located on the westerly side of London Street in East Boston, MA. An existing (3)-story residential building, landing, steps, party walls, concrete retaining walls, rear yard and fence are located on the property.

Soils

The Web Soil Survey maps this site as Urban land, wet substratum. Urban land, wet substratum consists of areas where 85 percent of the land surface is covered by structures or impervious surfaces such as buildings, pavement, industrial sites, and railroad yards, and where the underlying soil is dominated by fill material overlying wet soils. The underlying wet soils may include Freetown, Saco, Scarborough, and Swansea. The areas are irregular in shape range from 6 to 2,100 acres in size. A water table may be present in the lower substratum. Included with this unit in mapping are areas of Udorthents, loamy soils and Udorthents, wet substratum soils where the soil is exposed.

Resource Area

The FEMA Flood Insurance Rate Maps the entire site within LSCSF. The maps designate the property as a Zone AE, elevation 10 ft. or 16.46 ft. Boston City Base (BCB). 310 CMR 10.04 Land Subject to Coastal Storm Flowage means, "land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater". The Massachusetts Wetland Protection Act has no performance standards for work within LSCSF, however the City of Boston has Wetlands Regulations and Ordinance.

The project proposes temporary disturbance of 295 s.f. for the installation of the infiltration system. Once the unit is installed and backfilled, the grades shall be return to the original site conditions. There is no filling of the site, and the disturbed areas shall be loam and seeded.

Please note, there is no removal of vegetation or trees to install the infiltration unit. The backyard is presented vegetated with weeds and Japanese knotweed. Please see the attached photographs. The 4th floor addition is above LSCSF elevation 16.46 ft. and above the Sea Level Rise of 19.5 ft.

Climate Change Resilience

The project is designed to implement and integrate climate change and adaptation planning considerations. These considerations include sea level rise, increase heat waves, extreme precipitation events, stormwater runoff, changing precipitation patterns and coastal and stormwater flooding.

Sea Level Rise

The Sea Level Rise (SLR) elevation is 19.5 ft. The buildings first floor elevation is 20.48 ft. or almost one foot above the SLR. The fourth-floor addition mechanics are proposed within the unit or above the 19.5 ft. sea level rise. The applicant is proposing temporary disturbance to install the infiltration system, restore the existing grades, clean-up the rear yard, loam and seed and plant a native tree. No filling is proposed within LSCSF.

Increase Heat Waves

The applicant is proposing to improve the existing conditions by cleaning up the rear yard, loam and seeding, providing rooftop infiltration, incorporating a white rubber roof for the fourth-floor addition, and planting a native tree. The rear yard is neglected with debris, trash, and Japanese knotweed. The rear yard will be returned to the existing grade, loam and seeded and plant a native tree. The lawn and tree will provide some green space within the city. Please see the photographs of the existing conditions.

Extreme Precipitation Events

The applicant is proposing to improve the existing conditions by incorporating rooftop infiltration and green space (lawn and tree). The downspout shall overflow during extreme precipitation event.

Stormwater runoff

The project is not increasing the impervious area or filling the site. The project is improving the existing conditions by incorporating rooftop infiltration for the building. The infiltrator is designed for the (1)-year storm and captures 1201.57 s.f. of the roof area. The Boston Water and Sewer Commission, Inundation Model predicts London Street to be flooded by greater than 2 ft. The existing grade or ground level of the structure averages 16.9 ft., and the first-floor elevation is 20.48 ft. The first floor living space is 3.58 ft. above the ground level. Please see the attached Inundation Model.

The installation of the rooftop infiltration will result in temporary alteration of LSCSF. The infiltration unit is underground and will not impact or increase the predicted storm surge or flooding elevation.

Outstanding Resource Water

The project is not located within an Outstanding Resource Water (ORW).

Section XVII. Land Subject to Coastal Storm Flowage

A. Preamble

Land Subject to Coastal Storm Flowage (LSCSF) is significant to the Ordinance's protected Resource Area Values of storm damage prevention, flood control, protection of wildlife and wildlife habitat, prevention of pollution, erosion and sedimentation control, and to mitigate the impacts of climate change.

F. Redevelopment Within Previously Developed LSCSF

1. For purposes of this section, Redevelopment shall mean work or activity within previously developed or degraded areas prior to December 19, 2019. A previously developed or degraded area contains impervious surfaces from existing structures or pavement, absence of topsoil, junkyards, or abandoned dumping grounds. Redevelopment of these areas of LSCSF should not adversely impact LSCSF. Areas that were once previously developed or degraded that have since been remediated and/or over time become natural or relatively undisturbed, including through the presence of topsoil and other vegetation, are no longer considered redevelopment.

The dwelling was constructed in 1920 and shall be considered a redevelopment.

2. Notwithstanding the provisions of Section XVII(E), the Commission may permit work or activity that constitutes a Redevelopment, provided that the work or activity shall conform to the following criteria:

- i. At a minimum, proposed work or activity shall result in an improvement over existing conditions of the capacity of LSCSF to protect at least one of the Resource Area Values described in Section XVII(A) and adaptations to or mitigation against the impacts of SLR on the project and the area of the proposed work or activity;

The project will result in an improvement over existing conditions by incorporating rooftop infiltration into the project design. The applicant is mitigating the impacts of climate change by cleaning up the rear yard, loam and seeding, incorporating a white rubber roof for the fourth-floor addition, and planting a native tree. The lawn and tree will provide some green space within the city. In addition, the proposed fourth floor mechanics are proposed within the unit or above the 19.5 ft. sea level rise.

- ii. Stormwater management is provided according to the performance standards established in 310 Code Mass. Regs. 10.05(6)(k), as applicable to the proposed work or activity, including such performance standards as are applicable to proposed Redevelopment.

*310 CMR 10.05(6)(l) The Stormwater Management Standards shall not apply to:
(3) **Multi-family housing development** and redevelopment projects, **with four or fewer units**, including condominiums, cooperatives, apartment buildings and townhouse provided there are no stormwater discharges that may potentially affect a critical area.*

The Stormwater Management Standards do not apply because the project comprises of (4) units and there are no stormwater discharges to a critical area. Regardless, the applicant is proposing to improve the existing conditions by incorporating rooftop infiltration.

- iii. The proposed work or activity shall not inhibit any planned flood resilience, adaptation, or mitigation solutions and shall not inhibit the ability to enact such solutions in a timely and practical manner as referenced by Climate Ready Boston or any successor initiative of the City.

The project shall not inhibit any planned flood resilience, adaptation, or mitigation solutions and shall not inhibit the ability to enact such solutions in a timely and practical manner as referenced by Climate Ready Boston or any successor initiative of the City.

The applicant is not proposing to fill within LSCSF. The work is temporary to install rooftop infiltration and return the site to the preexisting grades. The applicant is proposing to improve the existing conditions by loam and seeding and planting a native tree.

3. Notwithstanding the provisions of Section XVII(E)(12), the provisions of Section XVII(E)(9), (10), (11), and (13) shall apply to proposed Redevelopment.

E. Performance Standards

9. Notwithstanding Sections XVII(E)(1) through (8), the Commission may, in its sole discretion, permit the following activities provided that the applicant demonstrates to the satisfaction of the Commission that best available measures, as defined by the Ordinance,

are utilized to minimize or eliminate adverse impacts on the critical characteristics of and Resource Area Values protected by LSCSF described in Section XVII(A) herein, and provided further that all other performance standards for overlapping or overlaying wetland resource areas are met:

N/A. The applicant is proposing temporary work in the rear yard.

10. In the interest of storm damage prevention, flood control, and prevention of pollution, should the Commission permit activity or work in LSCSF that is part of new construction or constitutes substantial improvement to an existing structure, the Commission may condition the permitted activity or work so that any critical building systems, infrastructure, or equipment is located two (2) feet above the anticipated BFE expected to occur within the next 50 years based on the best available data and projections of SLR.

The FEMA Flood Insurance Rate Maps the entire site within LSCSF. The FEMA maps the property as a Zone AE, elevation 10 ft. or 16.46 ft. Boston City Base (BCB). The existing buildings first floor elevation is 20.48 ft. or almost a one foot above the SLR of 19.5 ft. The proposed 4th floor addition and mechanics will be located above the SLR.

- i. In the event that the proposed work or activity is temporary, then any critical building systems, infrastructure, or equipment shall be located two (2) feet above the anticipated BFE at the conclusion of the project's determined duration of the temporary work.

The proposed work (installation of the roof top infiltration) is temporary and the critical building systems, infrastructure and equipment shall be in the 4th floor unit or greater than (2) ft. above the anticipated BFE.

- ii. At a minimum, the anticipated BFE shall be based on the best available and most recent data and projections for SLR made available by the City or any of its agencies, boards, commissions, or quasi-City agencies, including, but not limited to, data and information made available through the Climate Ready Boston initiative or any successor initiative.

The BFE and projected SLR is the best available and most recent data provided by the City of Boston.

- iii. In the event that elevating or relocating critical building systems, infrastructure, or equipment is not practicable, as determined by the Commission, the Commission may require the Applicant to employ other floodproofing strategies such as floodwalls or shields, and the Applicant shall, at a minimum, secure such equipment with anchors or tie-downs to prevent flotation.

The critical building systems, infrastructure and equipment shall be in the 4th floor unit or greater than (2) ft above the anticipated BFE.

11. When any proposed work or activity in LSCSF is located within an ACEC, the proposed work or activity shall have no adverse impact upon the Resource Area Values described

in Section XVII(A) and shall fully mitigate any impacts resulting from the proposed work or activity.

The project is not located within an Area of Critical Environmental Concern (ACEC). Please see the enclosed MassGIS Map.

13. Notwithstanding the provisions of Section XVII(E)(2) through (X), no project may be permitted which will have any adverse impact on specified habitat sites of rare vertebrate or invertebrate species indicated on the most recent Estimated Habitat Map of State-listed Rare Wetlands Wildlife (if any) published by the Massachusetts NHESP.

The proposed work within LSCSF is outside of any areas found to be significant to the protection of wildlife habitat. There are no Priority/Estimated Habitat, please see the enclosed MassGIS Map.

Sequence of Work

1. The applicant shall post the DEP File No. 006-1901 sign.
2. The city shall be notified prior to the start of construction.
3. The applicant shall construct the 4th floor addition.
4. Gutters and downspouts shall be installed along the roofline and building.
5. The infiltrator unit shall be dug and installed per the approved plan.
6. A tree shall be installed in the backyard. The tree shall not be installed on top of the infiltrator unit.
7. All exposed/disturbed areas shall be seeded with grass.



R + 100 Year Storm Surge

100 year / 2070 SLR + 100 Year Storm Surge

Storm Analysis Results

Storm Analysis Results

- Flood Depth Less than 1 Foot
- Flood Depth Between 1 and 2 Feet
- Flood Depth Greater than 2 Feet

Esri Community Maps Contributors, City of Boston, MassGIS, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, Safe... Powered by Esri

1

Extreme Weather Event

T-storm

Nor'easter

Tropical

2

Amount of Rainfall

10 year	100 year	500 year
5.84 in	9.58 in	13.9 in

(over a period of 48 hours)

3

Sea Level Rise (SLR) and Storm Surge from Baseline Condition

4.5 ft	7.0 ft
2030 SLR + Storm Surge	2070 SLR + Storm Surge
100 Year Storm Surge	Compare 2030 & 2070

4

Impact Forecast

School	Health Facility	Police Department
EMS/Fire Station	MBTA Station	

360 Tour

Click on Map

EXISTING LEGEND

SS	SEWER LINE
⊙	SEWER MANHOLE
W	WATER LINE
G	GAS LINE
⊕	UTILITY POLE
⊗	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
⊕	WATER VALVE
□	CATCH BASIN
○	FENCE
205	CONTOUR LINE (MJR)
195	CONTOUR LINE (MNR)
X	SPOT GRADE
⊕	DRAIN MANHOLE
⊕	HYDRANT
⊕	TREE

ZONING LEGEND

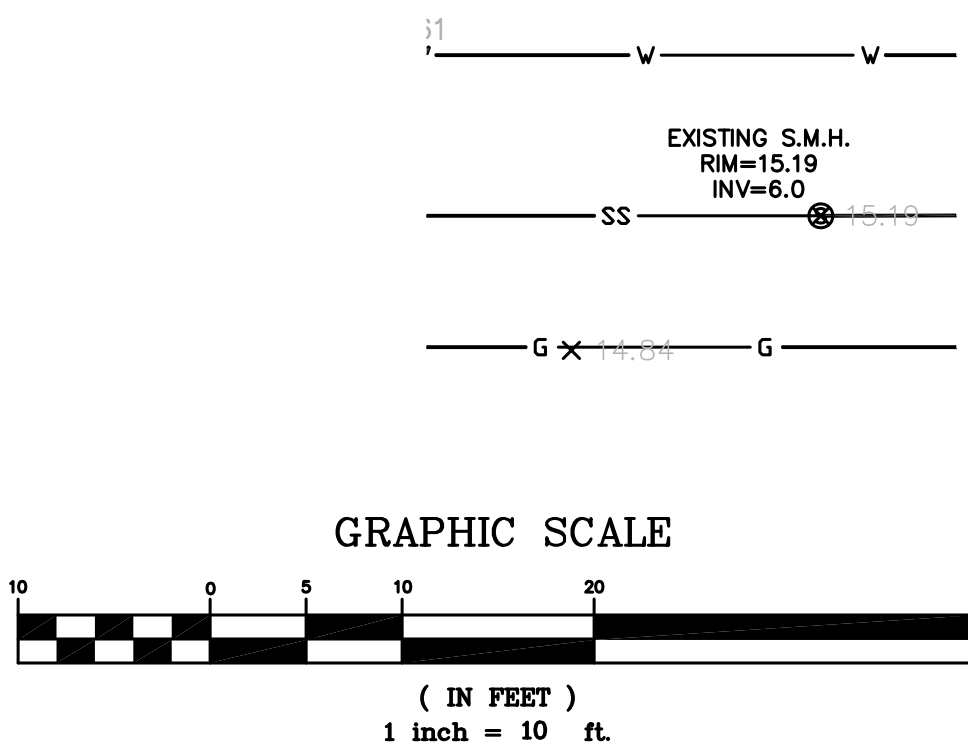
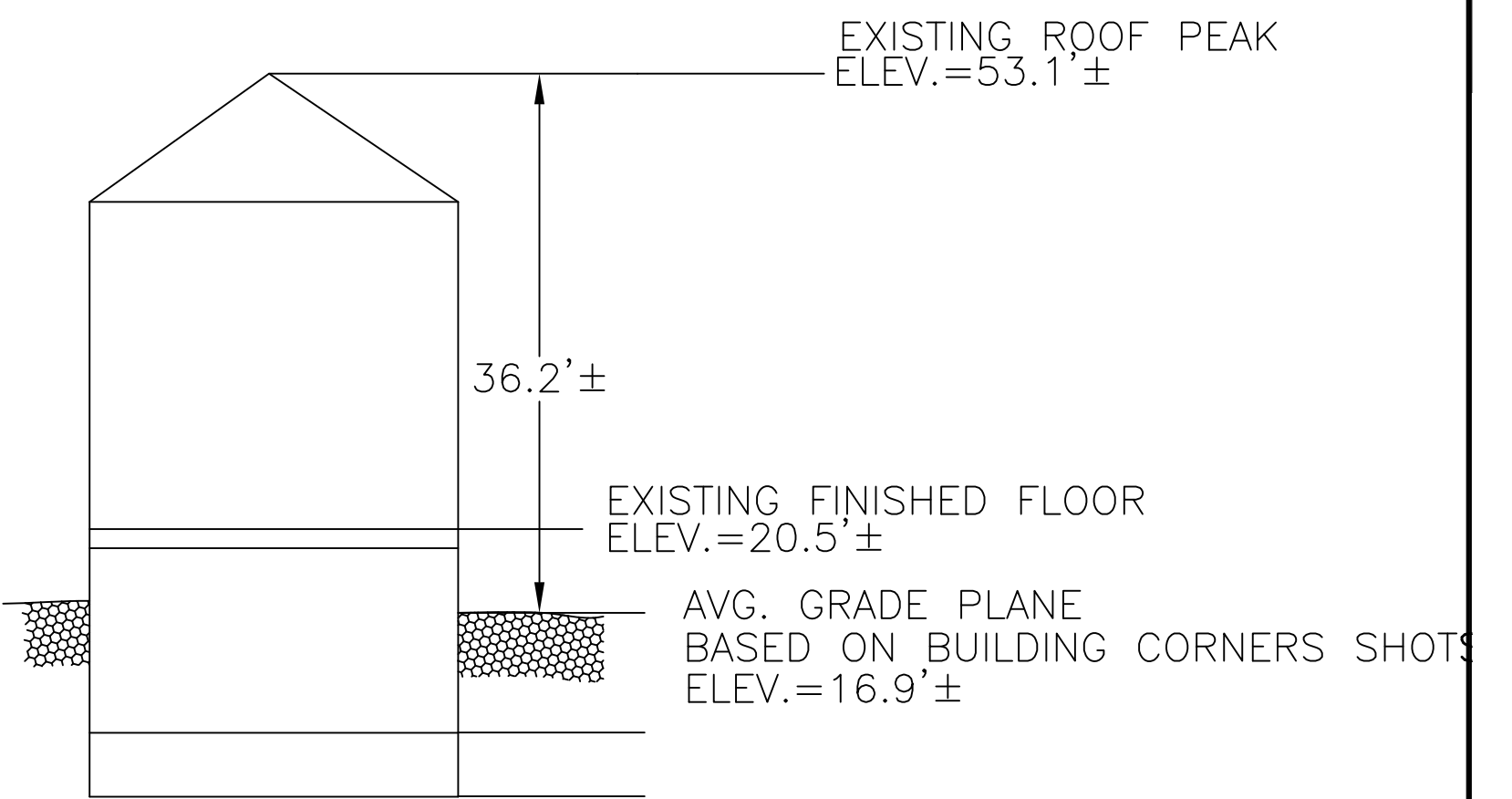
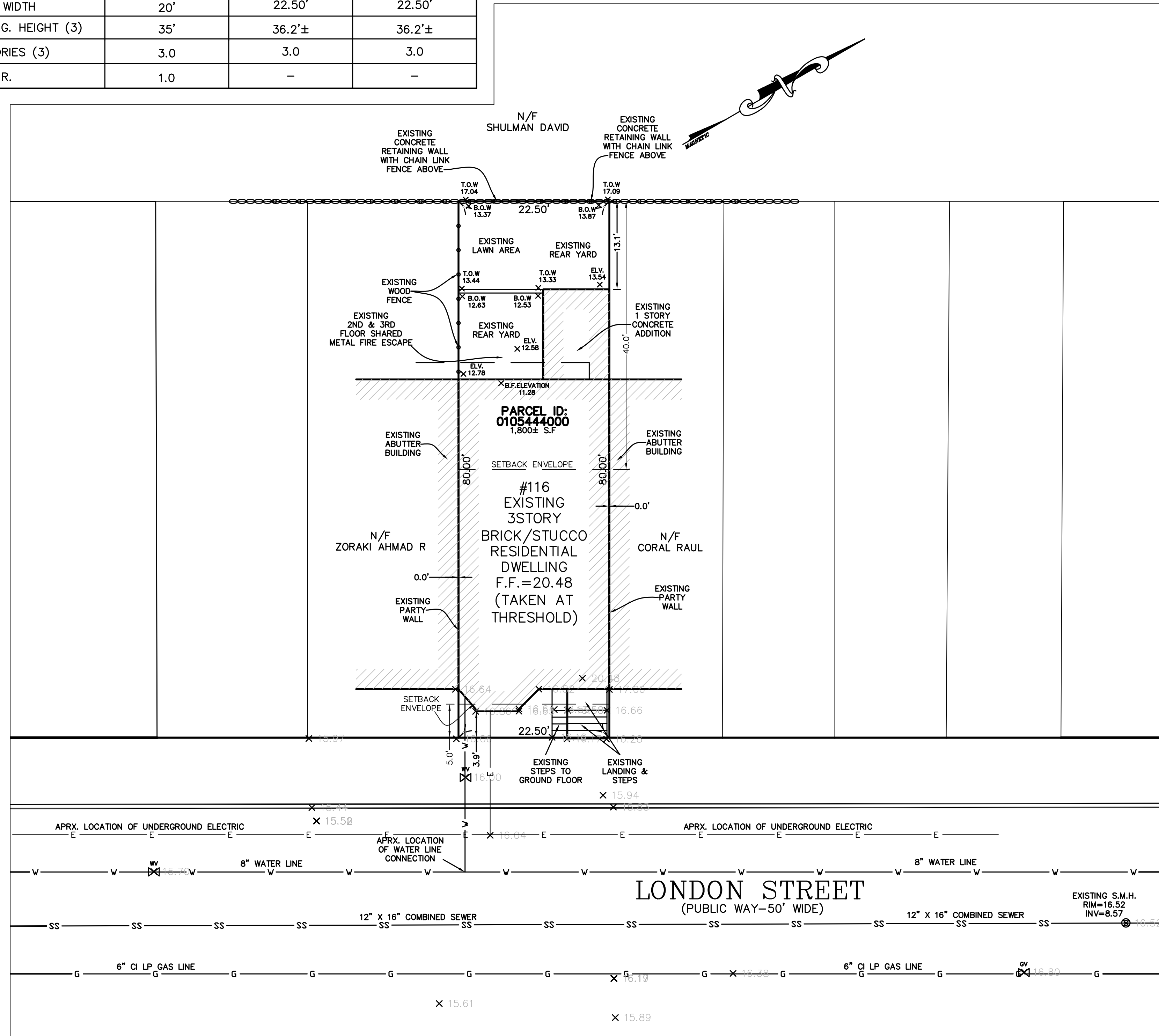
ZONING DISTRICT: 3F-2000 (THREE FAMILY RESIDENTIAL)

	REQUIRED	EXISTING	PROPOSED
MIN. AREA FOR 1 DWELLING UNIT	1,000 S.F.	600± S.F.	600± S.F.
MIN. AREA FOR EACH ADDITIONAL DWELLING UNIT	2,000 S.F. (1,000 PER UNIT)	1,200± S.F.	1,200± S.F.
MIN. FRONTAGE	20'	22.50'	22.50'
MIN. YARD FRONT (5)	5'	3.9'	3.9'
SIDE (R) (6)	0.0'	0.0'	0.0'
SIDE (L) (6)	0.0'	0.0'	0.0'
REAR	40'	13.1'	13.1'
REAR YARD OCC.	25%	7.4%	7.4%
USABLE OPEN SPACE PER DWELLING UNIT (4)	300 S.F.	200± S.F.	200± S.F.
MIN. LOT WIDTH	20'	22.50'	22.50'
MAX. BLDG. HEIGHT (3)	35'	36.2'±	36.2'±
MAX. STORIES (3)	3.0	3.0	3.0
MAX. F.A.R.	1.0	-	-

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 10/24/2019.
2. DEED REFERENCE: BOOK 61888, PAGE 34, PLAN REFERENCE: BOOK 4, PLAN 10, SUFFOLK COUNTY DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE AE, (EL 10 FEET) ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0081J, PANEL NUMBER 0081J, COMMUNITY NUMBER: 250286, DATED MARCH 16, 2016.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF BOSTON DATUM.
9. ZONING DISTRICT: 3F-2000 EAST BOSTON NEIGHBORHOOD

NOTE: THE SITE IS LOCATED WITHIN LAND SUBJECT TO COSTAL FLOODING.
 ZONE: AE
 NAVD88 ELEVATION=10.00'.
 BCB ELEVATION=16.46'.



PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.
 COPYRIGHT 2019 PETER NOLAN & ASSOCIATES LLC
 All Rights Reserved
 NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC ANY VIOLATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC SHALL BE PENALTY AND UNLAWFUL.

SCALE	1"=10'
DATE	10/26/2019
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	116 LONDON STREET EAST BOSTON MASSACHUSETTS
DRAWN BY	KK
CHKD BY	ETS
APPD BY	PJN
REVISION	
BY	
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 1 NEWTON MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com	
SHEET NO.	1

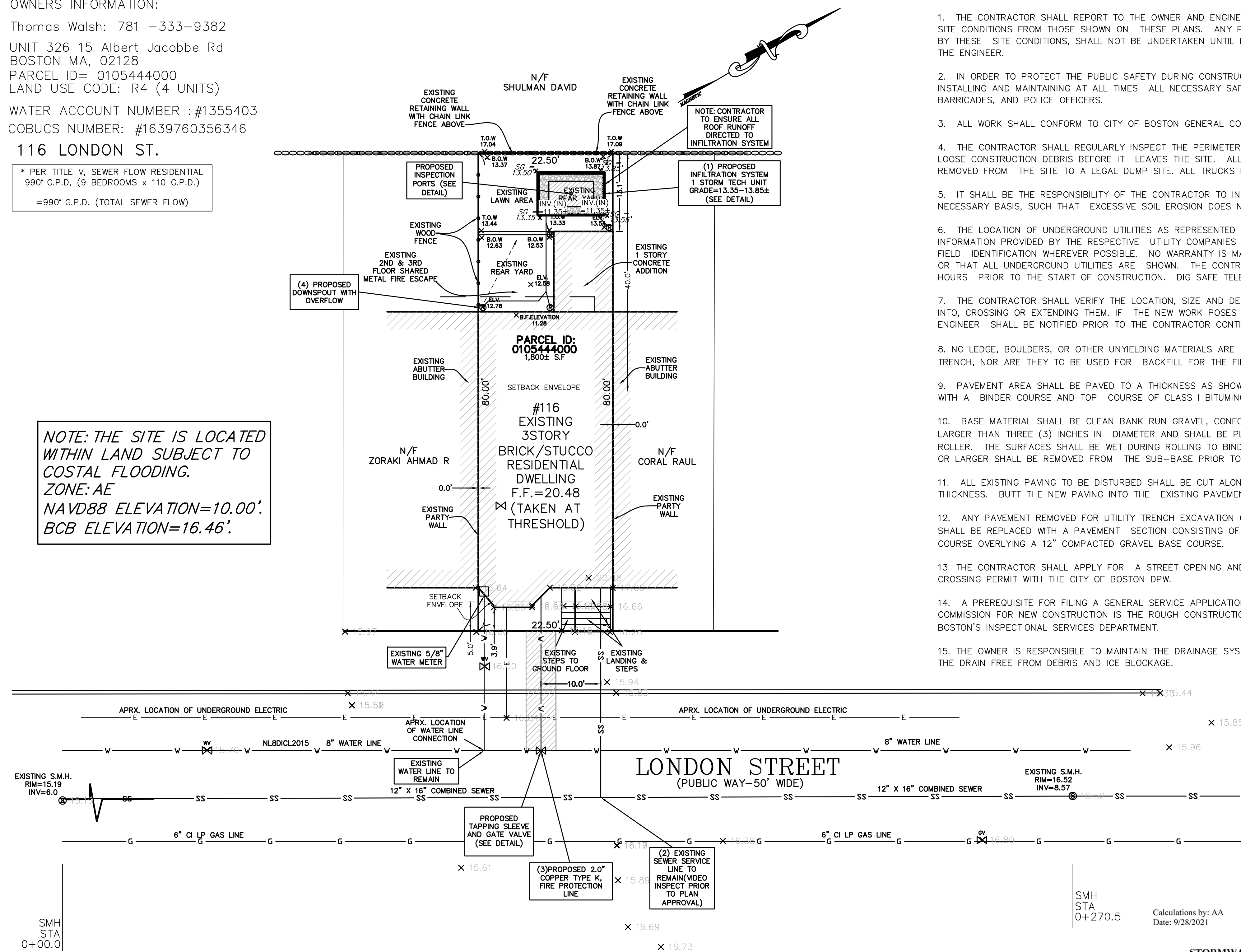
SITE PLAN #: 21597
 OWNERS INFORMATION:
 Thomas Walsh: 781 -333-9382
 UNIT 326 15 Albert Jacobbe Rd
 BOSTON MA, 02128
 PARCEL ID= 0105444000
 LAND USE CODE: R4 (4 UNITS)
 WATER ACCOUNT NUMBER : #1355403
 COBUCS NUMBER: #1639760356346
116 LONDON ST.

* PER TITLE V, SEWER FLOW RESIDENTIAL
 990' G.P.D., (9 BEDROOMS x 110 G.P.D.)
 =990' G.P.D. (TOTAL SEWER FLOW)

**NOTE: THE SITE IS LOCATED
 WITHIN LAND SUBJECT TO
 COSTAL FLOODING.
 ZONE: AE
 NAVD88 ELEVATION=10.00'.
 BCB ELEVATION=16.46'.**

CONSTRUCTION NOTES

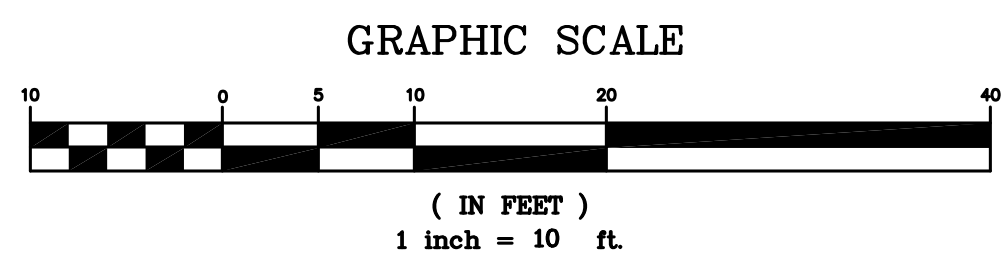
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
- ALL WORK SHALL CONFORM TO CITY OF BOSTON GENERAL CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
- PAVEMENT AREA SHALL BE TAPPED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE 1-1.
- BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
- ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUT THE NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN.
- ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1 1/2" WEAR COURSE OVERLYING A 1/2" BINDER COURSE OVERLYING A 12" COMPACTED GRAVEL BASE COURSE.
- THE CONTRACTOR SHALL APPLY FOR A STREET OPENING AND UTILITY CONNECTION PERMITS AND SIDEWALK CROSSING PERMIT WITH THE CITY OF BOSTON DPW.
- A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS THE ROUGH CONSTRUCTION SIGN-OFF DOCUMENT FROM THE CITY OF BOSTON'S INSPECTORIAL SERVICES DEPARTMENT.
- THE OWNER IS RESPONSIBLE TO MAINTAIN THE DRAINAGE SYSTEM FOR PROPER OPERATION INCLUDING KEEPING THE DRAIN FREE FROM DEBRIS AND ICE BLOCKAGE.



- (1) INFILTRATION SYSTEM
DATE: _____
INSPECTOR: _____
- (2) SEWER VIDEO INSPECTION
DATE: _____
INSPECTOR: _____
- (3) 2.0" FIRE LINE
DATE: _____
INSPECTOR: _____
- (4) PROPOSED DOWNSPOUT OVERFLOW
DATE: _____
INSPECTOR: _____
- (5) AS BUILT PREPARATION FEE
DATE: _____
INSPECTOR: _____

NOTES:

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SMH STA 0+270.5
 Calculations by: AA
 Date: 9/28/2021

STORMWATER MANAGEMENT CALCULATIONS SYSTEM

Design Criteria: Impervious Roof = 1201.57 SF Impervious Pavement = 0 SF Total = 1,201.57 SF Design For 1" Rainstorm
Storage Volume Required: $V_R = (1/12)(1,201.57 SF) = 100.13 CF$
CAPACITY OF PROPOSED STORM TECH SYSTEM
Storage Capacity of single Storm Tech UNIT = 49 CF Void Ratio = 0.3 Total Volume = (11' x 7' x 4' _{Depth (2.58 for Storm Tech unit)} 1 UNIT) = 308 CF Capacity for 1 UNIT = 49 CF Storage Capacity in Crushed Stone = (Total Volume - Capacity of Units) x Void Ratio = (308 - 49) x 0.3 = 77.7 CF Total Storage Provided = Capacity in Crushed Stone + Total Capacity in Units = 77.7 CF + 49 CF = 126.7 CF Since Total Storage Provided (126.7 CF) > Total Storage Required (100.13 CF/D) Therefore, utilize 1-Storm-Tech Chamber with 1ft. of Crushed Stone Beneath to Contain 1" Storm Event

PETER NOLAN & ASSOCIATES, LLC
 LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
 697 CAMBRIDGE STREET, SUITE 1103, BRIGHTON, MA 02135
 Tel: 857-891-7478
 617-782-1533
 Fax: 617-2025691

SPRUHAN ENGINEERING, P.C.
 80 JEWETT ST., SUITE 11 NEWTON, MA 02458
 Tel: 617-816-0722
 Email: edmond@spruhaneng.com

116 LONDON STREET, EAST BOSTON, MA

REVISION BLOCK	
DESCRIPTION	DATE
REVISED AS PER BWSC COMMENTS	2/8/2022
REVISED AS PER BWSC COMMENTS	5/15/2022

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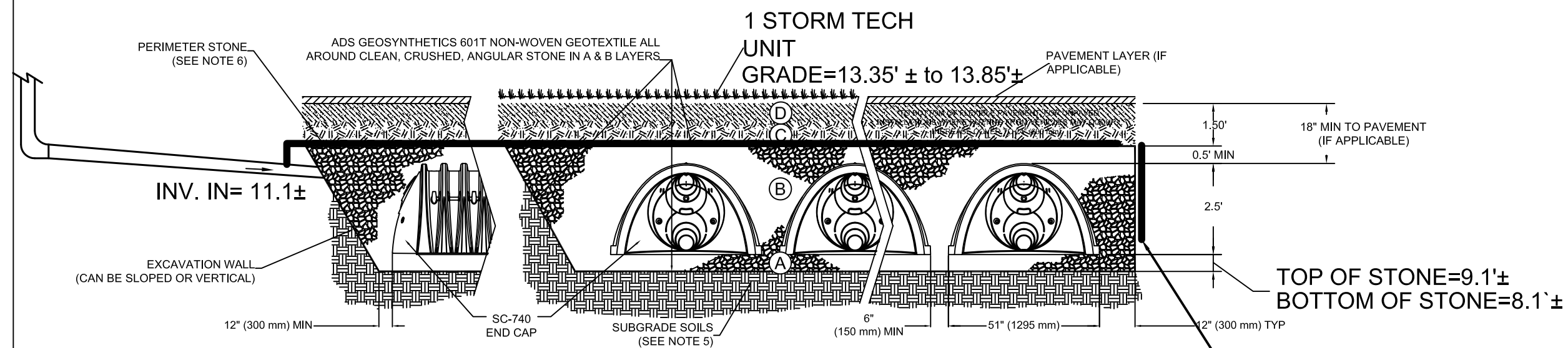
PLAN TO ACCOMPANY BWSC APPLICATION

PLAN:	1 OF 2
SCALE:	1" = 10'
DATE:	12-17-21
DRAWN BY:	CS
CHECKED BY:	PN
APPROVED BY:	ES

001

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE TO LAYER 'D'. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M140 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 10,000 lbs (45 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

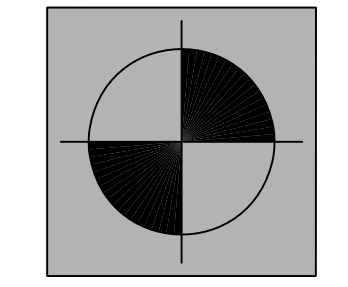
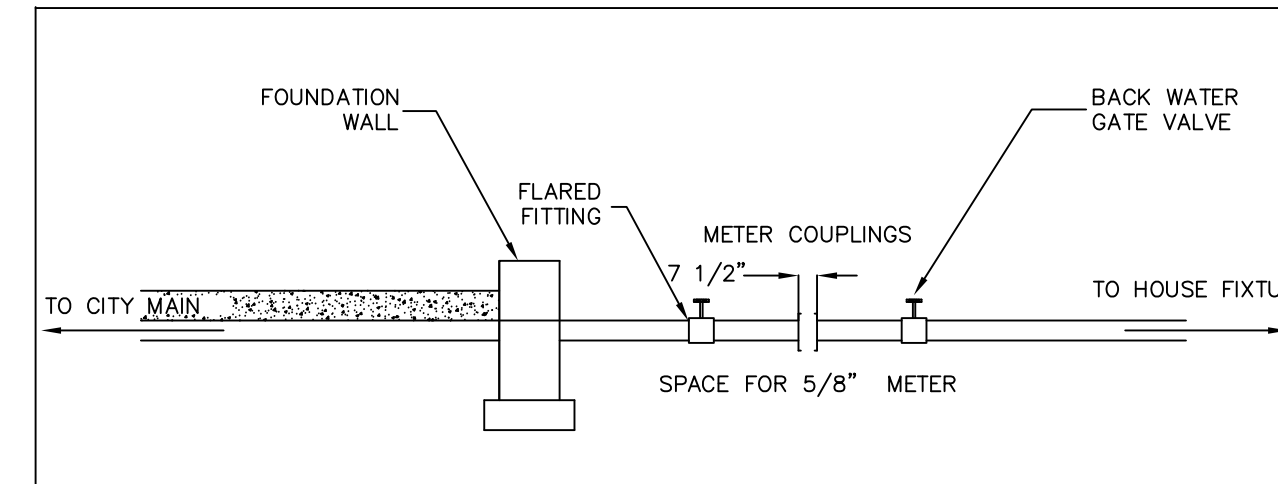
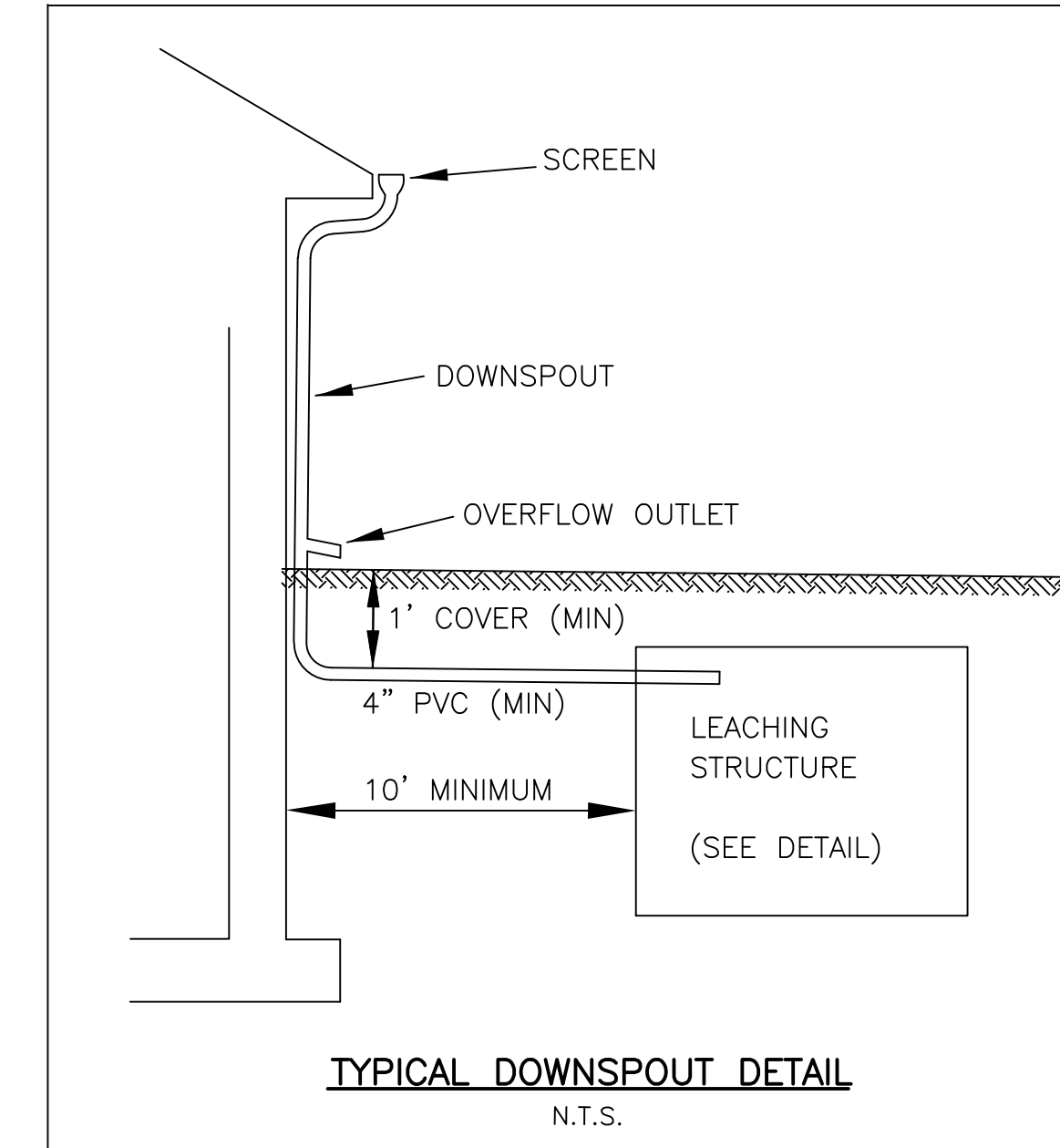
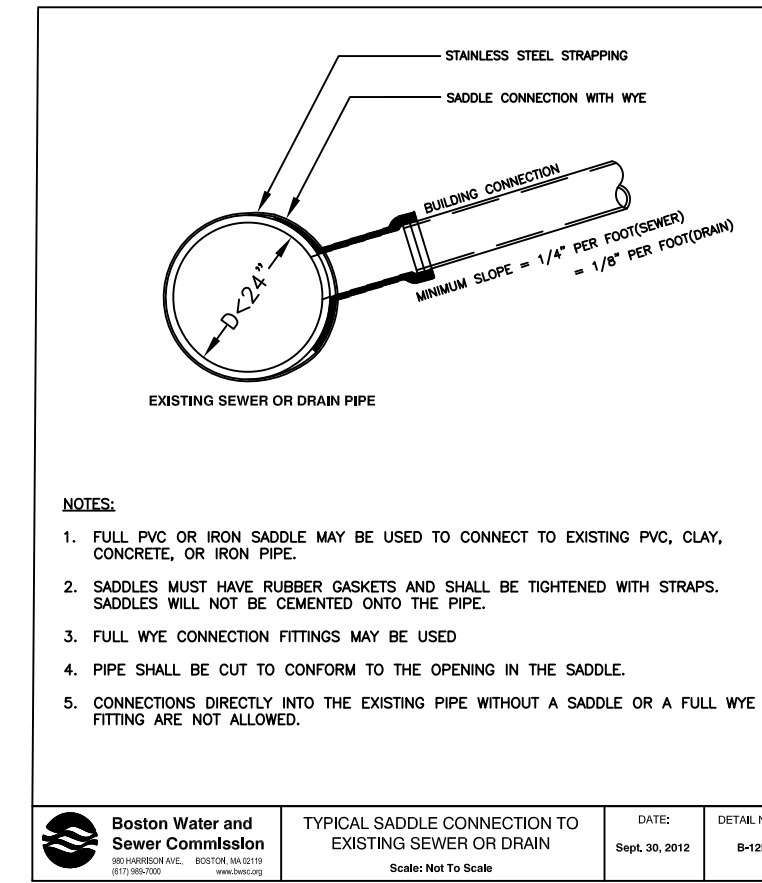
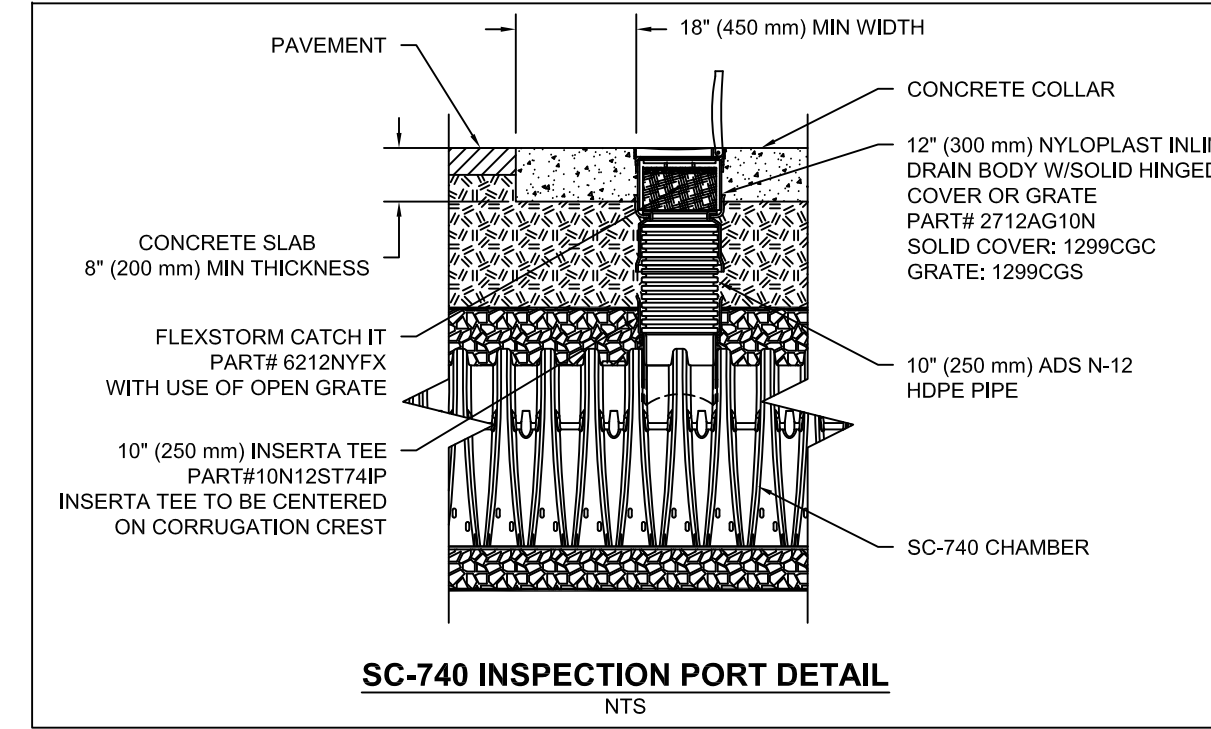


NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS," OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'D' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

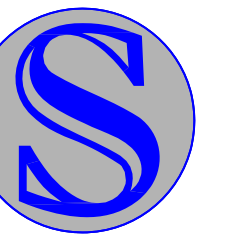
STORMTECH GENERAL NOTES

- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 96 INCHES INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 96 INCHES.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE. CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.



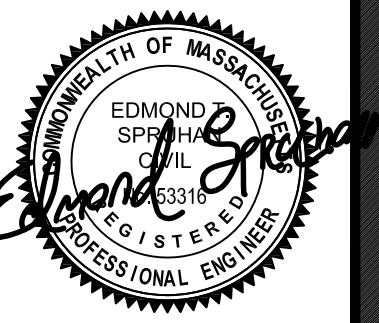
PETER NOLAN & ASSOCIATES, LLC

LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
697 CAMBRIDGE STREET,
(SUITE 1103),
BRIGHTON, MA 02135
Tel: 857-891-7478
617-782-1533
Fax: 617-2025691



SPRUHAN ENGINEERING, P.C.

80 JEWETT ST. (SUITE 11)
NEWTON, MA 02458
Tel: 617-816-0722
Email: edmond@spruhaneng.com



116 LONDON STREET,
EAST BOSTON, MA

REVISION BLOCK

DESCRIPTION	DATE
REVISED AS PER BWSC COMMENTS	2/8/2022
REVISED AS PER BWSC COMMENTS	3/15/2022

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DETAIL SHEET

PLAN:	2 OF 2
SCALE:	1"=10'
DATE:	12-17-21
DRAWN BY:	CS
CHECKED BY:	PN
APPROVED BY:	ES

SHEET: **002**



A. GENERAL INFORMATION

1. Project Location

116 London Street

a. Street Address

East Boston

b. City/Town

02128

c. Zip Code

Ward 01

f. Assessors Map/Plat Number

Parcel 05444000

g. Parcel /Lot Number

2. Applicant

Thomas

a. First Name

Walsh, Manager

b. Last Name

116 London Street, LLC

c. Company

15 Monsignor Albert Jacobbe Road, Unit 326

d. Mailing Address

Boston

e. City/Town

MA

f. State

02128

g. Zip Code

781-333-9382

h. Phone Number

i. Fax Number

twalsh@netwatchusa.com

j. Email address

3. Property Owner

Thomas

a. First Name

Walsh, Manager

b. Last Name

116 London Street LLC

c. Company

15 Monsignor Albert Jacobbe Road, Unit 326

d. Mailing Address

Boston

e. City/Town

MA

f. State

02128

g. Zip Code

781-333-9382

h. Phone Number

i. Fax Number

twalsh@netwatchusa.com

j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

Maureen

a. First Name

Herald

b. Last Name

Norse Environmental Services, Inc.

c. Company

92 Middlesex Road, Unit 4

d. Mailing Address

Tyngsboro

e. City/Town

MA

f. State

01879

g. Zip Code

978-649-9932

h. Phone Number

i. Fax Number

mail@norseenv.com

j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

Yes

No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

Proposing to install rooftop infiltration within Land Subject to Coastal Storm Flowage (LSCSF).

7. Project Type Checklist

- a. Single Family Home
- b. Residential Subdivision
- c. Limited Project Driveway Crossing
- d. Commercial/Industrial
- e. Dock/Pier
- f. Utilities
- g. Coastal Engineering Structure
- h. Agriculture – cranberries, forestry
- i. Transportation
- j. Other

8. Property recorded at the Registry of Deeds

Suffolk County ROD

34

a. County

b. Page Number

61888

c. Book

d. Certificate # (if registered land)

9. Total Fee Paid

\$175.00

\$75.00

\$100.00

a. Total Fee Paid

b. WPA Fee Paid

c. Ordinance Fee Paid

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

Yes

No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Isolated Wetlands	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

included on page 7



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhesp/nhregmap.htm>.

Yes

No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

Percentage/acreage of property to be altered:

(1) within wetland Resource Area

_____ percentage/acreage

(2) outside Resource Area

_____ percentage/acreage

Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

Yes

No

If yes, provide the name of the ACEC: _____

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.

Applying for a Low Impact Development (LID) site design credits

A portion of the site constitutes redevelopment

Proprietary BMPs are included in the Stormwater Management System

No. Check below & include a narrative as to why the project is exempt

Single-family house

Emergency road repair

Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?

Yes

No



D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

Signature of Applicant

10/03/22

Date

Signature of Property Owner (if different)

Date

Signature of Representative (if any)

10/5/22

Date



APPENDIX A. - STATUTORY REVIEW & APPROVAL CHECKLIST

Applicants submitting a Notice of Intent to the Boston Conservation Commission are also required to include a list of all permits and approvals either obtained, or necessary to be obtained, for the proposed activity. This checklist is not fully comprehensive but Applicants may utilize this checklist to fulfill this requirement. Any additional permits and approvals needed should be discussed in the narrative accompanying the Notice of Intent.

FEDERAL REVIEWS AND APPROVALS

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input type="checkbox"/>	National Environmental Policy Act (NEPA)	Varies
<input type="checkbox"/>	<input type="checkbox"/>	Section 404 Permit	U.S. Army Corps of Engineers
<input type="checkbox"/>	<input type="checkbox"/>	National Pollution Discharge Elimination System Permit (NPDES)	U.S. Environmental Protection Agency
<input type="checkbox"/>	<input type="checkbox"/>	Stormwater Construction General Permit	U.S. Environmental Protection Agency
<input type="checkbox"/>	<input type="checkbox"/>	Federal Endangered Species Act (ESA)	U.S. Fish and Wildlife Service or National Marine Fisheries Service
<input type="checkbox"/>	<input type="checkbox"/>	Federal Fisheries Regulations	National Marine Fisheries Service

COMMONWEALTH OF MASSACHUSETTS REVIEWS AND APPROVALS

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Environmental Policy Act (MEPA)	Massachusetts Environmental Policy Act Office
<input type="checkbox"/>	<input type="checkbox"/>	Federal Consistency Review	Office of Coastal Zone Management
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Public Waterfront Act (Chapter 91)	Massachusetts Department of Environmental Protection (Waterways Program)
<input type="checkbox"/>	<input type="checkbox"/>	Section 401 Water Quality Certification	Massachusetts Department of Environmental Protection (Wetlands Program)
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Endangered Species Act (MESA)	National Heritage and Endangered Species Program
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Marine Fisheries Regulations	Massachusetts Division of Marine Fisheries



<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Massachusetts Board of Underwater Archaeological Resources
<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Massachusetts Historical Commission
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Contingency Plan	Massachusetts Department of Environmental Protection
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Building Code Variance	Board of Building Regulations and Standards

CITY OF BOSTON LOCAL REVIEWS AND APPROVALS

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boston Zoning Code Article 80	Boston Planning and Development Agency
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boston Zoning Code	Inspectional Services Department
<input type="checkbox"/>	<input type="checkbox"/>	Boston Zoning Code Variance	Zoning Board of Appeals
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project Design Review	Civic Design Commission
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility Plan Review	Boston Water and Sewer Commission
<input type="checkbox"/>	<input type="checkbox"/>	Boston Zoning Code Article 32 (GCOD)	Boston Groundwater Trust
<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Boston Landmarks Commission
<input type="checkbox"/>	<input type="checkbox"/>	Boston City Code (100 Foot Rule)	Boston Parks and Recreation Commission
<input type="checkbox"/>	<input type="checkbox"/>	Public Realm Improvements	Boston Public Improvement Commission
<input type="checkbox"/>	<input type="checkbox"/>	Parking Freeze/Abrasive Blasting	Boston Air Pollution Control Commission
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Massachusetts Building Code	Inspectional Services Department