



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

Centre Street and Walter Street Intersection Boston 02130  
a. Street Address b. City/Town c. Zip Code

42° 17' 52.8" N 71° 07' 48.3" W  
d. Latitude e. Longitude

- -  
f. Assessors Map/Plat Number g. Parcel /Lot Number

2. Applicant:

Val Soroka  
a. First Name b. Last Name

Department of Conservation and Recreation  
c. Organization

251 Causeway Street, Suite 900  
d. Street Address

Boston Massachusetts 02114  
e. City/Town f. State g. Zip Code

(617) 626-4942 - val.soroka@mass.gov  
h. Phone Number i. Fax Number j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

Priscilla Geigis  
a. First Name b. Last Name

Department of Conservation and Recreation  
c. Organization

251 Causeway Street, Suite 900  
d. Street Address

Boston Massachusetts 02114  
e. City/Town f. State g. Zip Code

(617) 626-1250 - -  
h. Phone Number i. Fax Number j. Email address

4. Representative (if any):

Bob Stathopoulos  
a. First Name b. Last Name

Howard Stein Hudson  
c. Company

11 Beacon Street, Suite 1010  
d. Street Address

Boston Massachusetts 02108  
e. City/Town f. State g. Zip Code

(617) 348-3364 - bstathopoulos@hshassoc.com  
h. Phone Number i. Fax Number j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

Fee Exempt - -  
a. Total Fee Paid b. State Fee Paid c. City/Town Fee Paid



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## A. General Information (continued)

### 6. General Project Description:

The Applicant proposes transportation improvements at the intersection of Centre Street and Walter Street. The project will narrow vehicular travel lanes on both Centre Street and Walter Street, provide a separated cycle track along both sides of Centre Street and the westbound side of Walter Street, new and reconstructed sidewalks along Centre and Walter Street, ADA and signal improvements,

### 7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

### 7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

310 CMR 10.53 (f) Maintenance and improvement of existing public roadways.

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

### 8. Property recorded at the Registry of Deeds for:

- a. County \_\_\_\_\_
- b. Certificate # (if registered land) \_\_\_\_\_
- c. Book \_\_\_\_\_
- d. Page Number \_\_\_\_\_

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.





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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced

f.  Riverfront Area Bussey Brook - inland  
 1. Name of Waterway (if available) - **specify coastal or inland**

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 3,352 square feet

4. Proposed alteration of the Riverfront Area:

3,060 a. total square feet      - b. square feet within 100 ft.      - c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI?       Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?       Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

- | <u>Resource Area</u>                              | <u>Size of Proposed Alteration</u>                             | <u>Proposed Replacement (if any)</u> |
|---|--|--------------------------------------|
| a. <input type="checkbox"/> Designated Port Areas | Indicate size under Land Under the Ocean, below                |                                      |
| b. <input type="checkbox"/> Land Under the Ocean  | _____  |                                      |
|   | 1. square feet   |                                      |
|   | _____  |                                      |
|   | 2. cubic yards dredged   |                                      |
| c. <input type="checkbox"/> Barrier Beach         | Indicate size under Coastal Beaches and/or Coastal Dunes below |                                      |
| d. <input type="checkbox"/> Coastal Beaches       | _____  | _____                                |
|   | 1. square feet   | 2. cubic yards beach nourishment     |
| e. <input type="checkbox"/> Coastal Dunes         | _____  | _____                                |
|   | 1. square feet   | 2. cubic yards dune nourishment      |

- |   | <u>Size of Proposed Alteration</u>  | <u>Proposed Replacement (if any)</u>   |
|---|---|--|
| f. <input type="checkbox"/> Coastal Banks                         | _____   |  |
|   | 1. linear feet  |  |
| g. <input type="checkbox"/> Rocky Intertidal Shores               | _____   |  |
|   | 1. square feet  |  |
| h. <input type="checkbox"/> Salt Marshes                          | _____   | _____                                  |
|   | 1. square feet  | 2. sq ft restoration, rehab., creation |
| i. <input type="checkbox"/> Land Under Salt Ponds                 | _____   |  |
|   | 1. square feet  |  |
|   | _____   |  |
|   | 2. cubic yards dredged  |  |
| j. <input type="checkbox"/> Land Containing Shellfish             | _____   |  |
|   | 1. square feet  |  |
| k. <input type="checkbox"/> Fish Runs                             | Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above |  |
|   | _____   |  |
|   | 1. cubic yards dredged  |  |
| l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage | _____   |  |
|   | 1. square feet  |  |

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

\_\_\_\_\_

a. square feet of BVW

\_\_\_\_\_

b. square feet of Salt Marsh

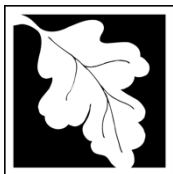
5.  Project Involves Stream Crossings

\_\_\_\_\_

a. number of new stream crossings

\_\_\_\_\_

b. number of replacement stream crossings



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### C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

#### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581

b. Date of map \_\_\_\_\_

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:

(a) within wetland Resource Area \_\_\_\_\_  
percentage/acreage

(b) outside Resource Area \_\_\_\_\_  
percentage/acreage

2.  Assessor's Map or right-of-way plan of site

2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a)  Project description (including description of impacts outside of wetland resource area & buffer zone)

(b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/mass-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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### C. Other Applicable Standards and Requirements (cont'd)

- (c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d)  Vegetation cover type map of site
- (e)  Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing.      \_\_\_\_\_ a. NHESP Tracking #      \_\_\_\_\_ b. Date submitted to NHESP

3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a.  Not applicable – project is in inland resource area only      b.  Yes       No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and  
the Cape & Islands:

North Shore - Hull to New Hampshire border:

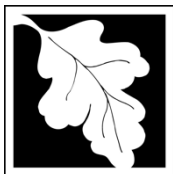
Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c.  Is this an aquaculture project?      d.  Yes       No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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### C. Other Applicable Standards and Requirements (cont'd)

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:  
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)  
2.  A portion of the site constitutes redevelopment  
3.  Proprietary BMPs are included in the Stormwater Management System.  
b.  No. Check why the project is exempt:  
1.  Single-family house  
2.  Emergency road repair  
3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

### D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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## D. Additional Information (cont'd)

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Plans Entitled "Centre Street and Walter Street, in the City of Boston, Suffolk County, NOI Permit Submission"

Howard Stein Hudson

b. Prepared By

Richard E. Latini

c. Signed and Stamped by

1"=20' unless noted otherwise.

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

September 2022

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

## E. Fees

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

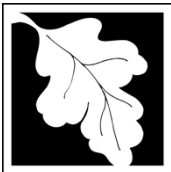
3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



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## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Patrice Kish Digitally signed by Patrice Kish Date: 2022.11.09 16:36:05 -05'00' <hr/> 1. Signature of Applicant Patrice Kish Digitally signed by Patrice Kish Date: 2022.11.09 16:35:31 -05'00' <hr/> 3. Signature of Property Owner (if different)  <hr/> 3. Signature of Property Owner (if different) <hr/> 5. Signature of Representative (if any)	<hr/> 2. Date <hr/> 4. Date <b>2022-11-09</b> <hr/> 4. Date <hr/> 6. Date
---	---

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

**ADDITIONAL PROPERTY OWNERS**

3. Property Owner

Jascha \_\_\_\_\_ Franklin-Hodge \_\_\_\_\_ | City of Boston \_\_\_\_\_  
a. First Name b. Last Name c. Company

**1 City Hall Square, Room 714** \_\_\_\_\_  
d. Mailing Address

**Boston** \_\_\_\_\_ **MA** \_\_\_\_\_ **02201**  
e. City/Town f. State g. Zip Code

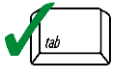
\_\_\_\_\_ i. Fax Number \_\_\_\_\_ j. Email address \_\_\_\_\_  
h. Phone Number





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**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

**1. Location of Project:**

Centre Street and Walter Street Intersection

a. Street Address

Boston

b. City/Town

Fee Exempt

d. Fee amount

c. Check number

**2. Applicant Mailing Address:**

Val

a. First Name

Soroka

b. Last Name

Department of Conservation and Recreation

c. Organization

251 Causeway Street, Suite 900

d. Mailing Address

Boston

e. City/Town

Massachusetts

f. State

02114

g. Zip Code

(617) 626-4942

h. Phone Number

-

i. Fax Number

val.soroka@mass.gov

j. Email Address

**3. Property Owner (if different):**

Priscilla

a. First Name

Geigis

b. Last Name

Department of Conservation and Recreation

c. Organization

251 Causeway Street, Suite 900

d. Mailing Address

Boston

e. City/Town

Massachusetts

f. State

02114

g. Zip Code

(617) 626-1250

h. Phone Number

-

i. Fax Number

j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



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**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

**Step 5/Total Project Fee:** \_\_\_\_\_

**Step 6/Fee Payments:**

Total Project Fee:	<u>Fee Exempt</u>
	a. Total Fee from Step 5
State share of filing Fee:	-
	b. 1/2 Total Fee <b>less</b> \$12.50
City/Town share of filling Fee:	-
	c. 1/2 Total Fee <b>plus</b> \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



## INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM (2021)

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

### INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

### INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, “state-listed” vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm) or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581-3336  
508.792.7270



**A. GENERAL INFORMATION**

1. Project Location

_____	_____	_____
a. Street Address	b. City/Town	c. Zip Code
_____	_____	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant

_____	_____	_____
a. First Name	b. Last Name	c. Company
_____		
d. Mailing Address		
_____	_____	_____
e. City/Town	f. State	g. Zip Code
_____	_____	_____
h. Phone Number	i. Fax Number	j. Email address

3. Property Owner

_____	_____	_____
a. First Name	b. Last Name	c. Company
_____		
d. Mailing Address		
_____	_____	_____
e. City/Town	f. State	g. Zip Code
_____	_____	_____
h. Phone Number	i. Fax Number	j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

_____	_____	_____
a. First Name	b. Last Name	c. Company
_____		
d. Mailing Address		
_____	_____	_____
e. City/Town	f. State	g. Zip Code
_____	_____	_____
h. Phone Number	i. Fax Number	j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes  No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Project Type Checklist

- |   |   |
|---|---|
| a. <input type="checkbox"/> Single Family Home                | b. <input type="checkbox"/> Residential Subdivision             |
| c. <input type="checkbox"/> Limited Project Driveway Crossing | d. <input type="checkbox"/> Commercial/Industrial               |
| e. <input type="checkbox"/> Dock/Pier                         | f. <input type="checkbox"/> Utilities                           |
| g. <input type="checkbox"/> Coastal Engineering Structure     | h. <input type="checkbox"/> Agriculture – cranberries, forestry |
| i. <input type="checkbox"/> Transportation                    | j. <input type="checkbox"/> Other                               |

8. Property recorded at the Registry of Deeds

_____ a. County	_____ b. Page Number
_____ c. Book	_____ d. Certificate # (if registered land)

9. Total Fee Paid

_____ a. Total Fee Paid	_____ b. WPA Fee Paid	_____ c. Ordinance Fee Paid
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**B. BUFFER ZONE & RESOURCE AREA IMPACTS**

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes  No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Isolated Wetlands	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

**C. OTHER APPLICABLE STANDARDS & REQUIREMENTS**

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

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2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.
- Yes  No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

**A. Submit Supplemental Information for Endangered Species Review**

- Percentage/acreage of property to be altered:
- (1) within wetland Resource Area \_\_\_\_\_ percentage/acreage
- (2) outside Resource Area \_\_\_\_\_ percentage/acreage
- Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?
- Yes  No

If yes, provide the name of the ACEC: \_\_\_\_\_

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?
- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
    - Applying for a Low Impact Development (LID) site design credits
    - A portion of the site constitutes redevelopment
    - Proprietary BMPs are included in the Stormwater Management System
  - No. Check below & include a narrative as to why the project is exempt
    - Single-family house
    - Emergency road repair
    - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?
- Yes  No



**D. SIGNATURES AND SUBMITTAL REQUIREMENTS**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

**Patrice Kish**

Digitally signed by Patrice Kish  
Date: 2022.11.09 19:05:39 -05'00'

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

**Patrice Kish**

Digitally signed by Patrice Kish  
Date: 2022.11.09 19:06:09 -05'00'

\_\_\_\_\_  
Signature of Property Owner (if different)

\_\_\_\_\_  
Date

*Handwritten signature*

**2022-11-09**

\_\_\_\_\_  
Signature of Property Owner (if different)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Representative (if any)

\_\_\_\_\_  
Date





**ADDITIONAL PROPERTY OWNERS**

3. Property Owner

<u>Jascha</u>	<u>Franklin-Hodge</u>	<u>City of Boston</u>
a. First Name	b. Last Name	c. Company
<u>1 City Hall Square, Room 714</u>		
d. Mailing Address		
<u>Boston</u>	<u>Massachusetts</u>	<u>02201</u>
e. City/Town	f. State	g. Zip Code
<u>(617) 635-4900</u>	<u>jascha.franklin-hodge@boston.gov</u>	
h. Phone Number	i. Fax Number	j. Email address



**APPENDIX A. - STATUTORY REVIEW & APPROVAL CHECKLIST**

Applicants submitting a Notice of Intent to the Boston Conservation Commission are also required to include a list of all permits and approvals either obtained, or necessary to be obtained, for the proposed activity. This checklist is not fully comprehensive but Applicants may utilize this checklist to fulfill this requirement. Any additional permits and approvals needed should be discussed in the narrative accompanying the Notice of Intent.

**FEDERAL REVIEWS AND APPROVALS**

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input type="checkbox"/>	National Environmental Policy Act (NEPA)	Varies
<input type="checkbox"/>	<input type="checkbox"/>	Section 404 Permit	U.S. Army Corps of Engineers
<input type="checkbox"/>	<input type="checkbox"/>	National Pollution Discharge Elimination System Permit (NPDES)	U.S. Environmental Protection Agency
<input type="checkbox"/>	<input type="checkbox"/>	Stormwater Construction General Permit	U.S. Environmental Protection Agency
<input type="checkbox"/>	<input type="checkbox"/>	Federal Endangered Species Act (ESA)	U.S. Fish and Wildlife Service or National Marine Fisheries Service
<input type="checkbox"/>	<input type="checkbox"/>	Federal Fisheries Regulations	National Marine Fisheries Service

**COMMONWEALTH OF MASSACHUSETTS REVIEWS AND APPROVALS**

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Environmental Policy Act (MEPA)	Massachusetts Environmental Policy Act Office
<input type="checkbox"/>	<input type="checkbox"/>	Federal Consistency Review	Office of Coastal Zone Management
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Public Waterfront Act (Chapter 91)	Massachusetts Department of Environmental Protection (Waterways Program)
<input type="checkbox"/>	<input type="checkbox"/>	Section 401 Water Quality Certification	Massachusetts Department of Environmental Protection (Wetlands Program)
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Endangered Species Act (MESA)	National Heritage and Endangered Species Program
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Marine Fisheries Regulations	Massachusetts Division of Marine Fisheries



<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Massachusetts Board of Underwater Archaeological Resources
<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Massachusetts Historical Commission
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Contingency Plan	Massachusetts Department of Environmental Protection
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Building Code Variance	Board of Building Regulations and Standards

**CITY OF BOSTON LOCAL REVIEWS AND APPROVALS**

NEEDED	OBTAINED	REGULATION	REVIEW BODY
<input type="checkbox"/>	<input type="checkbox"/>	Boston Zoning Code Article 80	Boston Planning and Development Agency
<input type="checkbox"/>	<input type="checkbox"/>	Boston Zoning Code	Inspectional Services Department
<input type="checkbox"/>	<input type="checkbox"/>	Boston Zoning Code Variance	Zoning Board of Appeals
<input type="checkbox"/>	<input type="checkbox"/>	Project Design Review	Civic Design Commission
<input type="checkbox"/>	<input type="checkbox"/>	Utility Plan Review	Boston Water and Sewer Commission
<input type="checkbox"/>	<input type="checkbox"/>	Boston Zoning Code Article 32 (GCOD)	Boston Groundwater Trust
<input type="checkbox"/>	<input type="checkbox"/>	Historic Preservation	Boston Landmarks Commission
<input type="checkbox"/>	<input type="checkbox"/>	Boston City Code (100 Foot Rule)	Boston Parks and Recreation Commission
<input type="checkbox"/>	<input type="checkbox"/>	Public Realm Improvements	Boston Public Improvement Commission
<input type="checkbox"/>	<input type="checkbox"/>	Parking Freeze/Abrasive Blasting	Boston Air Pollution Control Commission
<input type="checkbox"/>	<input type="checkbox"/>	Massachusetts Building Code	Inspectional Services Department



## APPENDIX B. - CONSERVATION COMMISSION FILING FEES

The proposed project is located at the intersection of Centre Street and Walter Street in Boston, Massachusetts. Proposed activities are included the Notice of Intent Fee Category 3 in the Boston Conservation Commission Guidelines.

Local Fees:

Category 3 - 1 x \$550.00 = \$550.00 under local ordinance  
Title 14 Section 450 - \$1,500.00 for NOI processing.

Total fees = \$2,050.00



BOSTON, MASSACHUSETTS

# Centre Street and Walter Street Transportation Improvements Notice of Intent

Prepared for  
**Department of Conservation and Recreation**

Prepared by  
**Howard Stein Hudson**

November 2022



**HOWARD STEIN HUDSON**

Engineers + Planners





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**3 Attachment C – Wetland Photographs**

**4 Attachment D – Abutter Notification Information**

- 4.1.1 Abutters Map
- 4.1.2 Abutters List
- 4.1.3 Affidavit of Service
- 4.1.4 Babel Notice
- 4.1.5 Abutter Notification

**5 Attachment E – Permit Plans**



# 1 Attachment A – Project Narrative

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## 1.1 Project Overview

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On behalf of the Department of Conservation and Recreation (DCR), *Howard Stein Hudson (HSH)* is pleased to submit this Notice of Intent (NOI) application to the City of Boston Conservation Commission (the Commission). This NOI has been prepared in accordance with the Massachusetts Department of Environmental Protection (MassDEP) Stormwater Standards, Massachusetts Wetland Protection Act (MGL c.131 s.40), and implementing Regulations (310 CMR 10.00) (the Act).

The Applicant proposes transportation improvements at the intersection of Centre Street and Walter Street. The purpose of this project is to provide safety improvements and enhanced access and traffic flow for vehicles, pedestrians, and bicycles. Work within the Project limits and buffer zone will include sidewalk and roadway reconstruction, median modification and removal, curb relocation, drainage improvements, bicycle accommodations, improved traffic operations and safety, improved pedestrian access and safety, signs, and pavement markings. The Project will narrow vehicular travel lanes on both Centre and Walter Streets, and provide a separated cycle track along both sides of Centre Street and both sides of Walter Street. Sidewalks and pedestrian ramps will be reconstructed to meet the current standards of the Americans with Disabilities Act (ADA) and Architectural Access Board (AAB). Most of the pavement work will include mill and overlay and small areas within the project limits will include full depth pavement work. An aerial map of the Project Area is provided in **Figure 1 of Attachment B**; the U.S. Geological Survey (USGS) Map of the Project Area is provided in **Figure 2**.

The proposed roadway and intersection improvements qualify as a Limited Project under the Act at 310 CMR 10.53(3)(f) as it consists of widening less than a single lane and correcting substandard intersections. Additionally, this is a redevelopment project.<sup>1</sup>

## 1.2 Existing Conditions

---

The Project exists at the intersection of Centre Street and Walter Street in Boston, Massachusetts. The Project Area limit of work along Centre Street lies entirely within the DCR Right of Way (ROW) and continues approximately 350 linear feet (lf) to the northeast and 400 lf to the southwest from the

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<sup>1</sup>For the purposes of the Stormwater Management Standards, redevelopment projects are defined to include the following (in part): "Maintenance and improvement of existing roadways, including widening less than a single lane, adding shoulders, correcting substandard intersections, and improving inadequate drainage systems."





intersection of Walter Street. The Project Area limit of work along Walter Street lies entirely within the City of Boston ROW and continues approximately 550 lf to the south from the intersection of Centre Street. The Project Area is approximately 7,979± square feet (sf) within the 25-foot Riverfront Area, Waterfront Area, and 100-foot buffer zone associated with Bussey Brook that runs under Walter Street. The area within these zones consists of paved impervious surfaces along Walter Street, including roadway, sidewalk, pedestrian ramps, and landscaped areas. The existing drainage system collects stormwater runoff that discharges to the Bussey Brook.

The current Massachusetts Natural Heritage and Endangered Species Program (NHESP) Atlas (MassGIS, 2008) does not identify any Estimated Habitats of Rare Wildlife (310 CMR 10.59) or Priority Habitats of Rare Species in or near the Project area (**Figure 3** of Attachment B). The current Flood Insurance Rate Map (FIRM) does not identify any floodplains to be within the limit of work of the Project area (**Figure 4** of Attachment B).

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## 1.3 Proposed Work

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The Project consists of proposed roadway rehabilitation and safety improvements within the ROW. The proposed design includes geometric improvements to improve safety for all roadway users, pavement milling and overlay, full depth pavement reconstruction, new drainage structures, reconstruction of driveway openings, new traffic signals, pavement markings, and signage.

The existing roadway will be reduced from two lanes to one lane in each direction. The narrowing of the roadway allows for the installation of a separated five-foot-wide bike lane along the east and west sides of the roadway and wider pedestrian facilities. The proposed sidewalks vary in width from 7.5-feet to 20-feet at crossing areas. Landscaping improvements will be installed within the proposed medians and sidewalks, including planters, planting beds, and street tree installation. Drainage improvements within the corridor consist of deep sump catch basins and manhole installation as well as adjustments to the existing structures to remain. Additional utility improvements, including hydrant relocation and street light relocation, are proposed in association with roadway island removal, curb line relocation, and separated bike lane installation. All proposed and relocated utility structures will tie into the existing utility networks within the Project Area.

The Project will result in a net decrease of impervious cover by approximately 1,087 sf, therefore reducing the amount of stormwater being discharged to Bussey Brook. An operation and maintenance plan will be employed to ensure the continued functioning of the stormwater management system. Construction period controls will be used to prevent erosion and transport of sediment and other pollutants offsite or into the wetlands.



### 1.3.1 STORMWATER MANAGEMENT IMPROVEMENTS

As a redevelopment project, per Standard 7 of the MassDEP Stormwater Management Standards, the Project has been designed to comply to the maximum extent practicable with MassDEP's stormwater management standards relative to previously developed areas.<sup>2</sup> In the post development condition, the design goal was to minimize impacts to existing drainage patterns. The Project will narrow the existing roadway cross section by installing new granite curbing to allow for the installation of a separated bike lane and wider pedestrian facilities. Deep sump hooded catch basins will be installed along the proposed curb line to ensure the existing drainage pattern is maintained. Drainage manholes will be installed to minimize the number of connections to the existing drainage system. The roadway improvements will not result in an increase in flow or velocity of waters as the total impervious surface area within the Project Area is being reduced and the existing drainage patterns are being maintained. For a more comprehensive discussion, refer to the Stormwater Memorandum prepared by HSH that is provided in this submission (under separate cover).

### 1.3.2 CONSTRUCTION SCHEDULE

Construction is expected to commence during fall 2023 and be completed by April 2024.

### 1.3.3 LANDSCAPING

In the existing condition, there are no landscaping elements within the Project Area. The landscaping goal for this Project is to provide beautification along the Project corridor where feasible. The Project involves the installation of loam and seed to allow for the installation of trees along the Project corridor in the future. The limiting factor for landscaping includes utility conflicts and limited ROW.

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## 1.4 Wetland Resource Area Impacts

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The Project has been designed to avoid alterations to wetland resources areas to the maximum extent practicable. Portions of the proposed activities will be conducted within the 25-foot riverfront area of the Bussey Brook, the City of Boston's Waterfront Area located 25-feet from the riverfront area, and 100-foot buffer zone. No work is proposed to the inland bank.

---

<sup>2</sup> For the purposes of the Stormwater Management Standards, redevelopment projects are defined to include the following (in part): "Maintenance and improvement of existing roadways, including widening less than a single lane, adding shoulders, correcting substandard intersections, improving existing drainage systems, and repaving."



### 1.4.1 LIMITED PROJECT

The Project consists of the maintenance and improvement of an existing public roadway. As such, the proposed roadway improvements qualify as Limited Project under the Act pursuant to 310 CMR 10.53(3)f as follows:

*“Maintenance and improvement of existing public roadways, but limited to widening less than a single lane, adding shoulders, correcting substandard intersections, and improving inadequate drainage systems.”*

The Project’s compliance with the relevant General Performance Standards is discussed in the Compliance with Performance Standards section of this report.

### 1.4.2 WORK IN THE BUFFER ZONE

The project involves the following alterations within the Buffer Zone, as defined in Section 1.5.2:

- Temporary alterations in the 100-foot buffer zone include pavement markings within the ROW of Walter Street, curbing removal and relocation, drainage adjustments, streetlight infrastructure installation, sidewalk and driveway reconstruction, and mill and overlay of the roadway.
- Permanent alterations in the 100-foot buffer zone include approximately 70 sf of new impervious surface associated with sidewalk reconstruction on the eastern side of Walter Street

Temporary and permanent alterations to the land within the 100-foot buffer zone are shown on the “Permit Plans” in **Attachment E**.

### 1.4.3 WORK IN THE WATERFRONT AREA

The project involves the following temporary alterations within the Waterfront Area, as defined in Section 1.5.2:

- Temporary alterations in the Waterfront Area include pavement markings within the ROW of Walter Street, streetlight infrastructure installation, and mill and overlay of the roadway. These alterations will not create any new impervious surface within the Waterfront Area.

Temporary alterations to the land within the Waterfront Area are shown on the “Permit Plans” in **Attachment E**.

### 1.4.4 WORK IN THE RIVERFRONT AREA

The project involves the following temporary alterations within the Riverfront Area, as defined in Section 1.5.1:



- Temporary alterations in the Riverfront Area include pavement markings within the ROW of Walter Street, drainage adjustments, streetlight infrastructure installation, and mill and overlay of the roadway. These alterations will not create any new impervious surface within the Riverfront Area.

Temporary alterations to the land within the riverfront area are shown on the “Permit Plans” in **Attachment E**.

---

## 1.5 Compliance with Performance Standards

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The following section describes the Project’s compliance with the performance standards as applicable under Section 310 CMR 10.00 of the Wetlands Protection Act for Inland Bank.

### 1.5.1 RIVERFRONT AREA

Riverfront Area is defined in 310 CMR 10.58 as “*the area of land between a river's mean annual high water line and a parallel line measured horizontally [25-ft away in Boston]. The riverfront area may include or overlap other resource areas or their buffer zones. The riverfront area does not have a buffer zone.*”

#### 1.5.1.1 STATE PERFORMANCE STANDARDS (310 CMR 10.58(5))

The general performance standards for previously developed Riverfront Areas stipulates the following:

*Redevelopment Within Previously Developed Riverfront Areas; Restoration and Mitigation. Notwithstanding the provisions of 310 CMR 10.58(4)(c) and (d), the issuing authority may allow work to redevelop a previously developed riverfront area, provided the proposed work improves existing conditions. Redevelopment means replacement, rehabilitation or expansion of existing structures, improvement of existing roads, or reuse of degraded or previously developed areas. A previously developed riverfront area contains areas degraded prior to August 7, 1996, by impervious surfaces from existing structures or pavement, absence of topsoil, junkyards, or abandoned dumping grounds. Work to redevelop previously developed riverfront areas shall conform to the following criteria:*

- At a minimum, proposed work shall result in an improvement over existing conditions of the capacity of the riverfront area to protect the interests identified in M.G.L. c. 131 § 40. When a lot is previously developed but no portion of the riverfront area is degraded, the requirements of 310 CMR 10.58(4) shall be met.*

No portion of the previously developed land within the riverfront area will be degraded, all work within the riverfront area is within the limits of the existing roadway.

- Stormwater management is provided according to standards established by the Department.*



## NOTICE OF INTENT

Centre Street and Walter Street Transportation Improvements  
November 2022

Erosion and sediment controls including silt fencing and temporary inlet protection for all proposed and existing drainage catch basins and inlets will be provided.

- c) *Within 200-foot riverfront areas, proposed work shall not be located closer to the river than existing conditions or 100 feet, whichever is less, or not closer than existing conditions within 25 foot riverfront areas, except in accordance with 310 CMR 10.58(5)(f) or (g).*

There are no 200-ft riverfront areas identified for this project. Proposed work within the 25-foot riverfront area includes repaving of the roadway and pavement marking installation.

- d) *Proposed work, including expansion of existing structures, shall be located outside the riverfront area or toward the riverfront area boundary and away from the river, except in accordance with 310 CMR 10.58(5)(f) or (g).*

There will be no expansion of existing structures within the riverfront area.

- e) *The area of proposed work shall not exceed the amount of degraded area, provided that the proposed work may alter up to 10% if the degraded area is less than 10% of the riverfront area, except in accordance with 310 CMR 10.58(5)(f) or (g).*

The proposed work will not exceed the amount of degraded area. This project will result in a decrease in impervious area.

- f) *When an applicant proposes restoration on-site of degraded riverfront area, alteration may be allowed notwithstanding the criteria of 310 CMR 10.58(5)(c), (d), and (e) at a ratio in square feet of at least 1:1 of restored area to area of alteration not conforming to the criteria. Areas immediately along the river shall be selected for restoration. Alteration not conforming to the criteria shall begin at the riverfront area boundary. Restoration shall include: 1. removal of all debris but retaining any trees or other mature vegetation; 2. grading to a topography which reduces runoff and increases infiltration; 3. coverage by topsoil at a depth consistent with natural conditions at the site; and 4. seeding and planting with an erosion control seed mixture, followed by plantings of herbaceous and woody species appropriate to the site.*

The proposed work within the Riverfront area does not include restoration of on-site riverfront area, all work within the riverfront area is within the existing paved areas, and only consists of street light conduit installation, mill and overlay of the existing roadway, adjustments to drainage structures within the roadway, and installation of new pavement markings.

- g) *When an applicant proposes mitigation either on-site or in the riverfront area within the same general area of the river basin, alteration may be allowed notwithstanding the criteria of 310*



*CMR 10.58(5)(c), (d), or (e) at a ratio in square feet of at least 2:1 of mitigation area to area of alteration not conforming to the criteria or an equivalent level of environmental protection where square footage is not a relevant measure. Alteration not conforming to the criteria shall begin at the riverfront area boundary. Mitigation may include off-site restoration of riverfront areas, conservation restrictions under M.G.L. c. 184, §§ 31 through 33 to preserve undisturbed riverfront areas that could be otherwise altered under 310 CMR 10.00, the purchase of development rights within the riverfront area, the restoration of bordering vegetated wetland, projects to remedy an existing adverse impact on the interests identified in M.G.L. c. 131, § 40 for which the applicant is not legally responsible, or similar activities undertaken voluntarily by the applicant which will support a determination by the issuing authority of no significant adverse impact. Preference shall be given to potential mitigation projects, if any, identified in a River Basin Plan approved by the Secretary of the Executive Office of Energy and Environmental Affairs.*

No mitigation is proposed in the riverfront area within the same general area of the river basin.

*h) The issuing authority shall include a continuing condition in the Certificate of Compliance for projects under 310 CMR 10.58(5)(f) or (g) prohibiting further alteration within the restoration or mitigation area, except as may be required to maintain the area in its restored or mitigated condition. Prior to requesting the issuance of the Certificate of Compliance, the applicant shall demonstrate the restoration or mitigation has been successfully completed for at least two growing seasons.*

No permanent alterations are proposed within the riverfront area.

### **1.5.1.2 CITY OF BOSTON PERFORMANCE STANDARDS**

The City of Boston Wetland Ordinance stipulates the following requirements relative to Waterfront Area in section c) Jurisdiction:

*The Commission therefore may require that any person filing an application (hereinafter, the Applicant) restore or maintain a strip of continuous, undisturbed or restored vegetative cover, or waterfront public access throughout the Waterfront Area, unless the Commission determines, based on adequate evidence, that the area or part of it may be altered without harm to the values of the resource areas protected by the Ordinance. Such disturbed areas must be minimized to the greatest extent possible.*

All proposed work within the Waterfront Area exists between the existing curb lines of Walter Street, the area is comprised entirely of bituminous concrete. No work is proposed to the adjacent sidewalks or landscaped areas within the resource area. The proponent does not anticipate any harm



to the existing vegetative cover and therefore does not intend to restore vegetated areas within the Project limits. No adverse effects to the Waterfront Area are anticipated as part of this Project.

### 1.5.2 INLAND BANK

Inland Bank is defined in 310 CMR 10.58 as “(a) A Bank is the portion of the land surface which normally abuts and confines a water body. It occurs between a water body and a vegetated bordering wetland and adjacent flood plain, or, in the absence of these, it occurs between a water body and an upland. A Bank may be partially or totally vegetated, or it may be comprised of exposed soil, gravel, or stone. (b) The physical characteristics of a Bank, as well as its location, as described in 310 CMR 10.54(2)(a), are critical to the protection of the interests specified in 310 CMR 10.54(1). (c) The upper boundary of a Bank is the first observable break in the slope or the mean annual flood level, whichever is lower. The lower boundary of a Bank is the mean annual low flow level.”

Buffer Zone is defined in 310 CMR 10.04 as “that land extending 100 feet horizontally outward from the boundary of any area specified in 310 CMR 10.02(1)(a)”, which includes Bank. Improvements to 7,979 sf of land within the buffer zone include new pavement, pavement markings, and curb relocation for the openings to the proposed separated bike lanes on Walter Street.

Waterfront Area is defined in Section 7-1.4. (b) of the City of Boston’s Ordinance Protecting Local Wetlands and Promoting Climate Change Adaptation in the City of Boston as “The portion of the buffer zone which extends twenty-five (25) feet horizontally from the edge of the following wetland resource areas: 1. any coastal beach, dune, bank, tidal flats, rocky intertidal shores, salt marshes or land containing shellfish; or 2. any inland bank, lake, pond, intermittent stream, brook, creek or riverfront area.” There are no permanent alterations proposed within the Waterfront Area, temporary alterations are proposed as detailed in Section 1.4.3.

There are no performance standard requirements for the waterfront area per the City of Boston ordinance.

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## 1.6 Mitigation Measures

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### SEDIMENT BARRIERS

The Project will install erosion and sediment controls prior to any major earthwork activity. Erosion and sediment controls are expected to consist of silt fencing, hay bales, and drain inlet protection, and will be installed prior to the initiation of land disturbance activities. All barriers will remain in place until disturbed areas are stabilized. An adequate stockpile of erosion control materials will be always onsite for emergency or routine replacement.





## EXTENDED SHUTDOWN STABILIZATION

The contractor must ensure the site is stabilized in the event of extended shutdown due to weather, economic conditions, or any other cause. Temporary stabilization will be provided through temporary seeding during growing season and chopped hay and/or tackifier during non-growing season. Disturbed areas will be kept to a minimum and will be stabilized within 14 days after construction activities have temporarily or permanently stopped on any portion of the site. Stabilization of disturbed areas will be achieved by paving, temporary seeding, permanent seeding, mulching (blown hay or woodchips), landscaping, or an acceptable equivalent alternative.

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## 1.7 Climate Resiliency

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The following discussion will consider the effects that climate change may have on the Project Area and adjacent resource area and will outline adaptation planning considerations and climate resiliency solutions.

### 1.7.1 SEA-LEVEL RISE/COASTAL FLOODING

The Project area does not fall within an area of Boston that is projected to be affected by Sea Level Rise in the foreseeable future. The Project Area limits do not currently fall within the Base Flood Elevation for Sea Level Rise, the Federal Emergency Management Agency (FEMA) flood insurance rate maps do not identify floodplains within the Project limits, and the Climate Ready Boston Map Explorer does not identify any area of coastal flood risk through the 2070's to be within the Project limits.

### 1.7.2 PRECIPITATION/STORMWATER FLOODING

From 1958 to 2010, there was a 70% increase in the amount of precipitation that fell on the days with the heaviest precipitation. There is significant probability that the amount of precipitation will continue to increase through the end of the century. To account for stormwater impacts that may occur within the Project Area, the Boston Water and Sewer Commission's (BWSC's) Stormwater Inundation Model was used to study potential effects of thunderstorms, nor'easters, tropical storms, and frontal storms during various rainfall events based on current sea level rise projections for 2070. The Project area is currently located outside of BWSC's current Stormwater Inundation Model. However, the model does show flooding on the upstream side of Bussey Brook, immediately adjacent to the Project limit, of less than one foot during a 500-year tropical storm event, accounting for 2070 sea level rise projections. The Project does not include any work to the upstream or downstream sides of the Bussey Brook culvert where it runs beneath Walter Street; therefore, it is not anticipated that the proposed work will have an impact on the projected flood depth of Bussey Brook. The proposed work adjacent to Bussey Brook includes roadway mill and overlay between the existing





curb line, pavement markings, adjustments to existing infrastructure frames and grates/covers, and the installation of street lighting conduit and handholes.

### 1.7.3 EXTREME HEAT

The City of Boston's Heat Resiliency Study is an ongoing climate resilience planning process to share information on the risks facing Boston, some solutions that can reduce urban heat island effects across the City and in localized areas, and some immediate methods to increase access to heat relief resources. The following is a discussion on measures to reduce the heat island effect based on preliminary finding from the Heat Resiliency Study.

The existing Project area is comprised of the intersection of the Centre Street and Walter Street roadways, adjacent sidewalks, driveways, and grassed medians. The proposed work within the Project Area will result in a decrease of total impervious cover, consisting of cement concrete and bituminous concrete, by 1,087 sf.

Within the Project Area there are no significant non-vegetated structures (i.e. buildings) or vegetated objects, such as trees, that shade areas within the Project limits. The proposed work does not include the erection of any significant physical structures or planting of any trees that will shade the Project Area. The Arnold Arboretum intends to plant trees within Walter Street ROW in the future that will provide shaded areas within the Project Limits.

There is not an existing vegetation maintenance plan for the existing grassed medians within the Centre Street and Walter Street ROW. The proponent does not intend on developing a vegetation maintenance plan; however, one can be provided if required.

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## 1.8 Project Construction

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The project will utilize phased construction to minimize disruptions to the traveling public, the business community, and adjacent land uses while describing stages and workzones to allow the work to proceed efficiently. To support this approach, the project includes a Traffic Management Plan (TMP) with engineered workzones, advanced signage, site signage, pavement markings, and protective barrier. The TMP includes locations for police detail officers or flaggers to assist with traffic control. The following suggested staging will be provided to the contractor:

- Make all necessary abutter/stakeholder notifications and obtain all necessary permits;
- Install all erosion control measures, advanced warning signage, and variable message boards;
- Stage 1 – demolish existing median islands and pave to create additional room within the work area;



- Stage 2 – install median islands in Centre Street on the east and west sides of Walter Street. Install any traffic signal equipment and drainage;
- Stage 3 – construct the southwest corner of the intersection of Centre Street and Walter Street and the divider island on Walter Street including drainage, traffic signal equipment, sidewalks, and landscaping;
- Stage 4 – construct the northeast corner of the intersection of Centre Street and Walter Street including drainage, traffic signal equipment, sidewalks, and landscaping;
- Stage 5 – construct the north side of the intersection including drainage, traffic signal equipment, sidewalks driveways, and landscaping;
- Stage 6 – perform final paving, pavement markings signage, and landscaping; and
- Stage 7 – project closeout including removing warning signage, removing erosion control, contractor demobilization, final inspection, and acceptance.

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## 1.9 Conclusions

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The information contained in this NOI describes the site, proposed work, and effect of said work on the interests identified in the Act and further demonstrates that the Project can be constructed in accordance with the applicable performance standards for the affected wetland resource areas. A clear limit of work line has been provided on the enclosed Permit Drawings and appropriate sedimentation and erosion control measures will be employed by the site contractor to avoid impacts to wetland resource areas during construction. The Applicant therefore respectfully requests that the Commission issue an Order of Conditions approving the Project with appropriate conditions to protect the interests identified in M.G.L. c. 131 §40.



## 2 Attachment B – Figures

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Figure 1. *Locus Map*







Figure 2. *USGS Topographic Map*

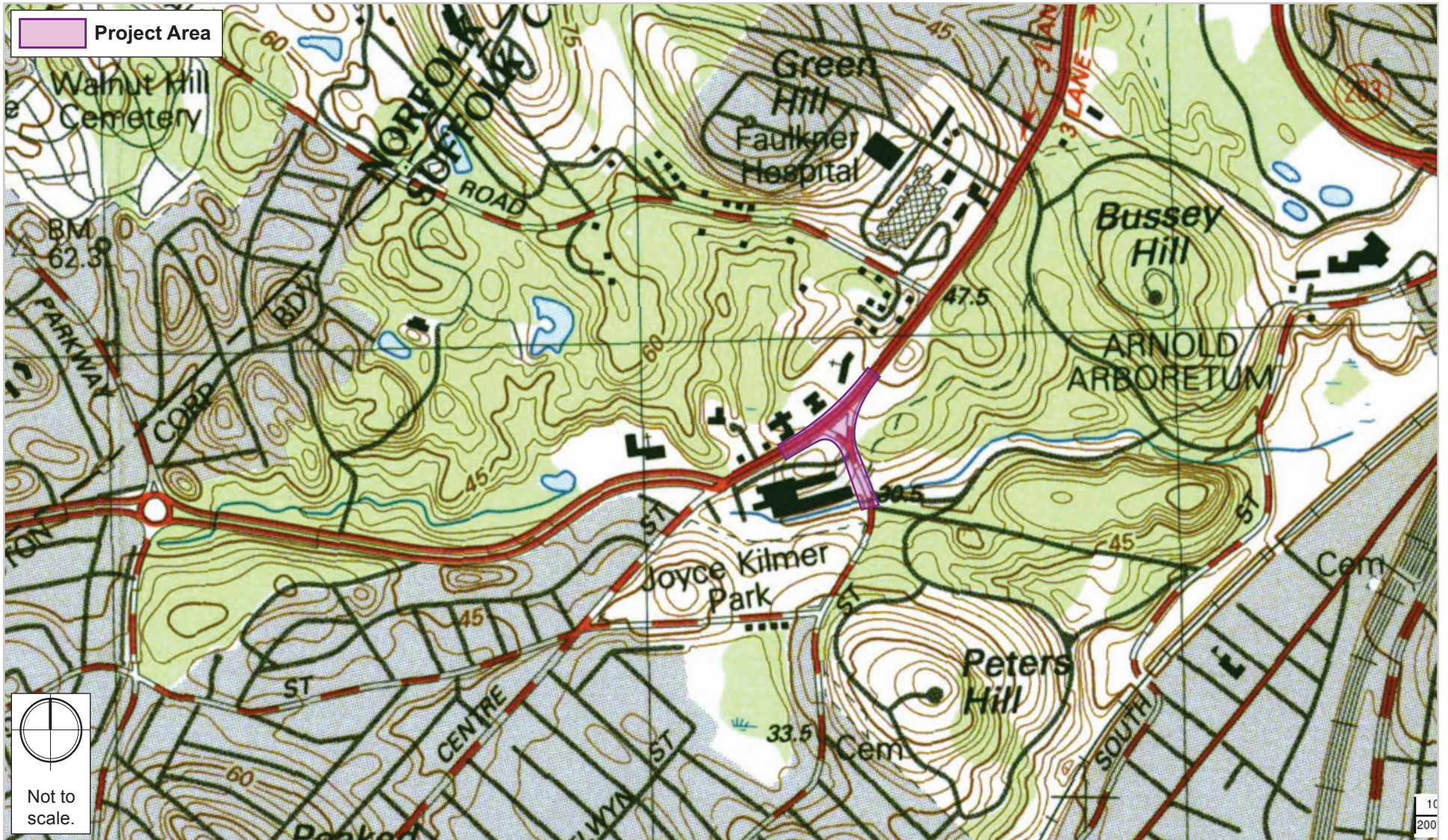






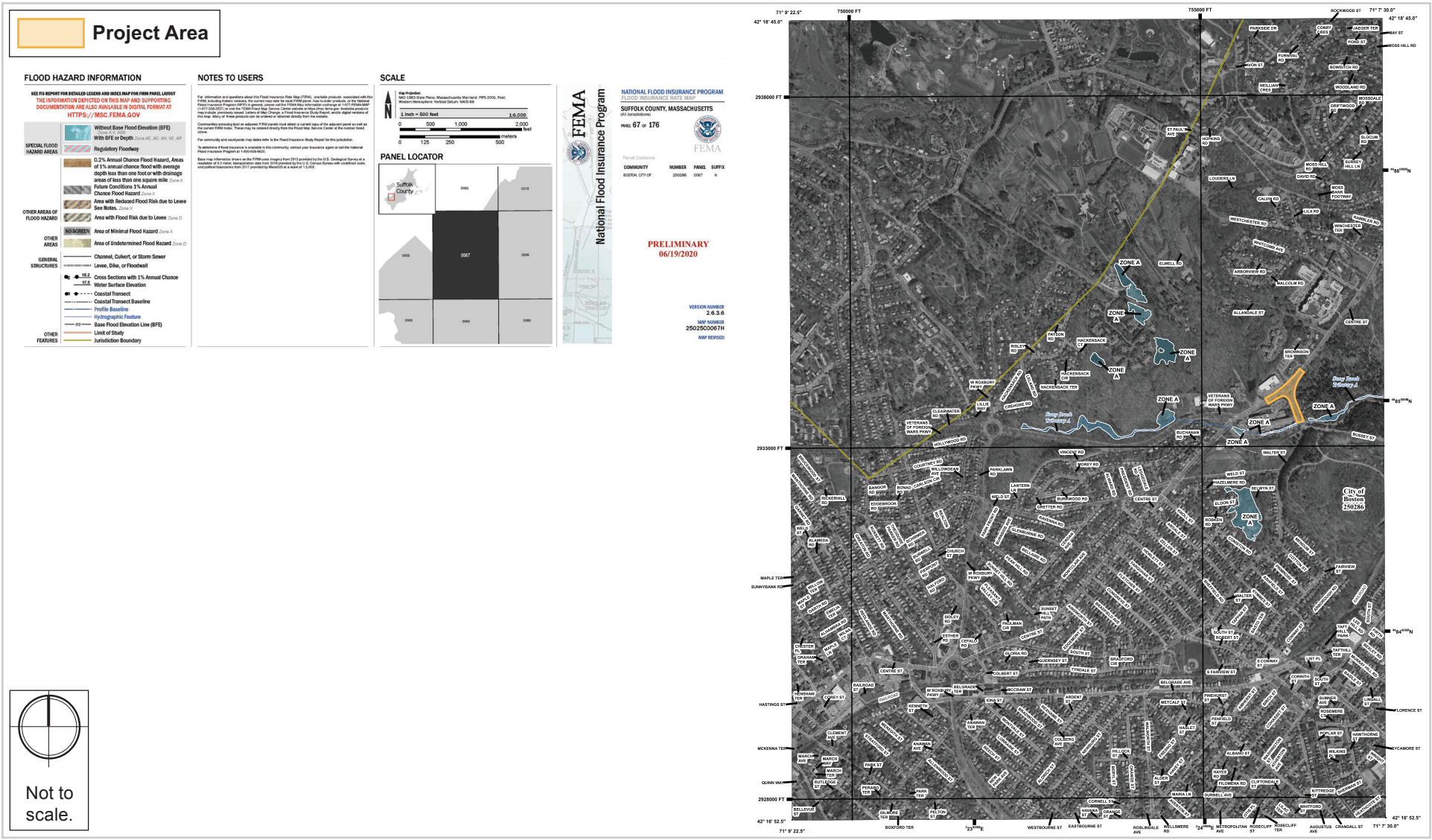
Figure 3. *NHESP Map*







Figure 4. Flood Insurance Rate Map





## 3 Attachment C – Wetland Photographs

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*Photo 1. Bussey Brook Facing West (East Side)*







*Photo 2. Bussey Brook Facing North (West Side)*







*Photo 3. Bussey Brook Culvert (West Side)*





## 4 Attachment D – Abutter Notification Information

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4.1.1 ABUTTERS MAP

4.1.2 ABUTTERS LIST

4.1.3 AFFIDAVIT OF SERVICE

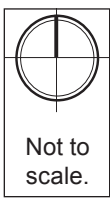
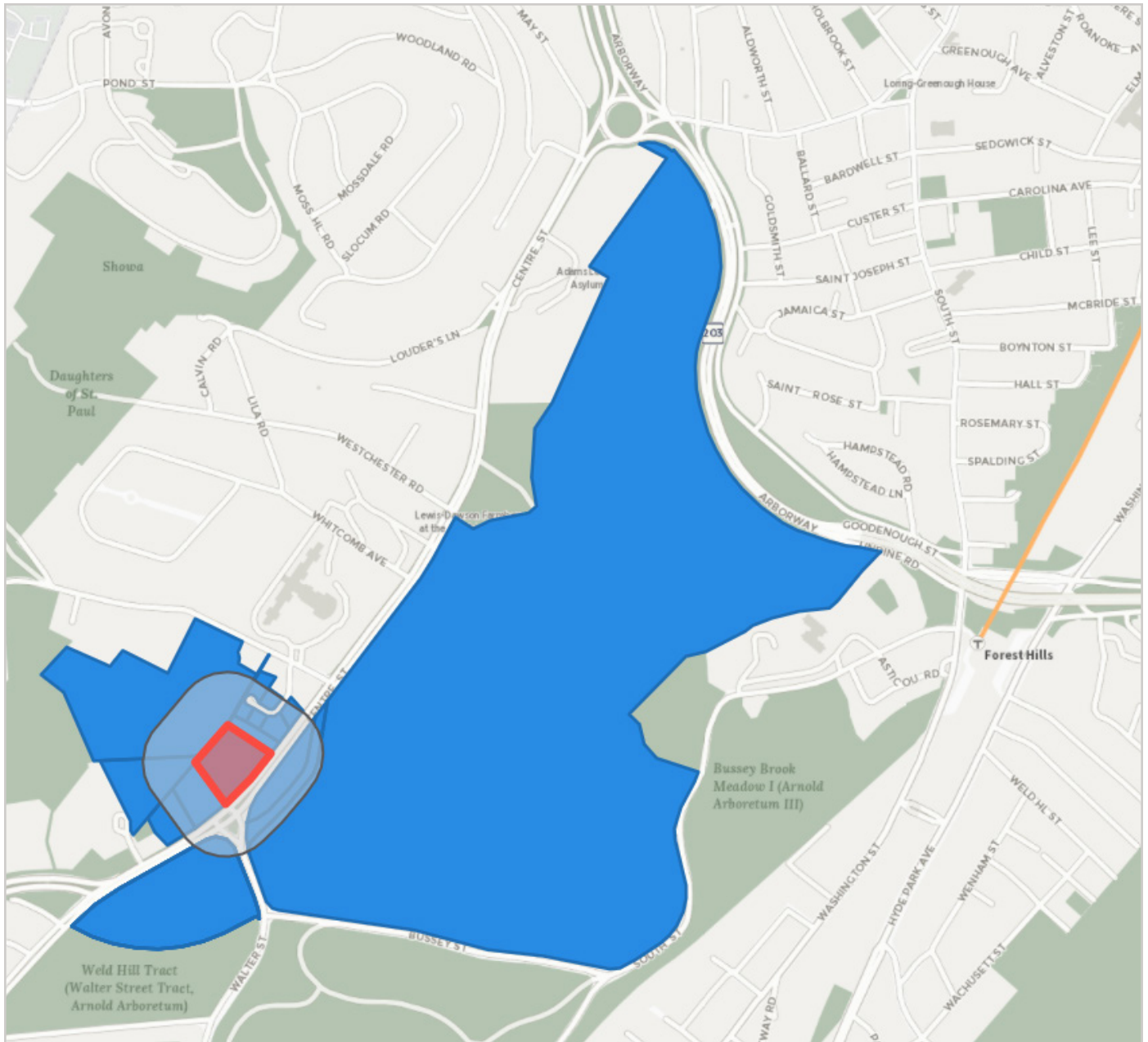
4.1.4 BABEL NOTICE

4.1.5 ABUTTER NOTIFICATION





### Abutter Map



ROXBURY HOME FOR AGED  
1205 CENTRE  
WEST ROXBURY, MA 2132

HEBREW REHABILITATION CENTER  
HEBREW REHABILITATION CNTR  
1200 CENTRE ST  
ROSLINDALE, MA 2131

CITY OF BOSTON  
CENTRE  
WEST ROXBURY, MA 2132

APOSTOLIC EXARCHATE  
5-15 VFW PARKWAY  
WEST ROXBURY, MA 2132

HEBREW REHABILITATION CENTER  
HEBREW REHABILITATION CNTR  
1200 CENTRE ST  
ROSLINDALE, MA 2131

BRIGHAM AND WOMENS FAULKNER  
C/O BRIGHAM & WOMENS FAULKNER  
HOSPITAL INC  
1245 CENTRE ST  
WEST ROXBURY, MA 2132

HEBREW REHABILITATION CNTR  
1200 CENTRE  
ROSLINDALE, MA 2131

ROX HOME FOR AGED WOMEN  
1215 CENTRE  
WEST ROXBURY, MA 2132

ROXBURY HOME FOR AGED WOMEN  
1215R CENTRE  
WEST ROXBURY, MA 2132

HEBREW REHABILITATION CENTER  
1200 CENTRE ST  
ROSLINDALE, MA 2131

ROXBURY HOME FOR AGED WOMEN  
CENTRE  
WEST ROXBURY, MA 2132

ROXBURY HOME FOR AGED WOMEN  
335 CENTRAL ST  
SAUGUS, MA 1906

APOSTOLIC EXARCHATE  
5 VFW PKWY  
WEST ROXBURY, MA 2132

BRIGHAM AND WOMENS FAULKNER  
C/O BRIGHAM & WOMENS FAULKNER  
HOSPITAL INC  
1245 CENTRE ST  
BOSTON, MA 2130

CITY OF BOSTON  
ARBORWAY  
JAMAICA PLAIN, MA 2130

JANSEN FREDERICK  
10 BROWNSON TER  
JAMAICA PLAIN, MA 2130

CAWLEY JAMES M JR ETAL  
8 BROWNSON TERR  
JAMAICA PLAIN, MA 2130

JRD HOMES LLC  
15 BROWNSON TER  
JAMAICA PLAIN, MA 2130

TRINITY LUTHERAN CHURCH  
1193 CENTRE  
WEST ROXBURY, MA 2132

BROWNSON REALTY TRUST  
6 BROWNSON TE  
JAMAICA PLAIN, MA 2130

DECELLES RUTH A  
12 BROWNSON TE  
JAMAICA PLAIN, MA 2130

TRINITY LUTHERAN CHURCH  
1193 CENTRE ST  
ROSLINDALE, MA 2131

ABRAHAM NICHOLAS  
C/O DONNA CAWLEY  
8 BROWNSON TE #  
JAMAICA PLAIN, MA 2130

BROWN DANIEL A  
9 BROWNSON TE  
JAMAICA PLAIN, MA 2130

CITY OF BOSTON  
CENTRE  
JAMAICA PLAIN, MA 2130

SPRINGHOUSE INC  
44 ALLANDALE ST  
JAMAICA PLAIN, MA 2130

FAULKNER HOSPITAL INC  
ALLANDALE  
WEST ROXBURY, MA 2132

HARVARD COLL PRES & FELL  
CENTRE  
JAMAICA PLAIN, MA 2130



**AFFIDAVIT OF SERVICE  
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act  
and Boston Wetlands Ordinance**

I, \_\_\_\_\_, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A \_\_\_\_\_ was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by \_\_\_\_\_ for \_\_\_\_\_ located at \_\_\_\_\_.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

## **Translator's Affidavit**

I, Danyal Najmi, am a professional translator with Rosetta Languages, fluent in English and Spanish. I hereby certify that I have translated and verified the following document which is attached to this affidavit.

- Abutter Notification, Centre St and Walter St, English>Spanish

I further certify that, to the best of my knowledge, the attached translation written in Spanish is a true and accurate translation of the original document written in English.

**Danyal Najmi**

Rosetta Languages

617-909-3522

Danyal.Najmi@gmail.com

Rosettalanguages.org





## BABEL NOTICE

English:

**IMPORTANT!** This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at [cc@boston.gov](mailto:cc@boston.gov) or 617-635-3850.

Spanish:

**¡IMPORTANTE!** Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico [cc@boston.gov](mailto:cc@boston.gov) o llamando al 617-635-3850.

Haitian Creole:

**AVI ENPÒTAN!** Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan [cc@boston.gov](mailto:cc@boston.gov) oswa 617-635-3850.

Traditional Chinese:

**非常重要！**這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 [cc@boston.gov](mailto:cc@boston.gov) 電話# 617-635-3850..

Vietnamese:

**QUAN TRỌNG!** Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ [cc@boston.gov](mailto:cc@boston.gov) hoặc số điện thoại 617-635-3850.

Simplified Chinese:

**非常重要！**这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联联系我们的邮箱 [cc@boston.gov](mailto:cc@boston.gov) 电话# 617-635-3850.

Cape Verdean Creole:

**INPURTANTI!** Es dukumentu ó aplikason ten **informason inpur tanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na [cc@boston.gov](mailto:cc@boston.gov) ó 617-635-3850.

Arabic:

**مهم!** يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائدك. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على [cc@boston.gov](mailto:cc@boston.gov) أو 617-635-3850.

Russian:

**ВАЖНО!** В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты [cc@boston.gov](mailto:cc@boston.gov), либо по телефону 617-635-3850.

Portuguese:

**IMPORTANTE!** Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: [cc@boston.gov](mailto:cc@boston.gov) ou 617-635-3850.

French:

**IMPORTANT !** Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à [cc@boston.gov](mailto:cc@boston.gov) ou au 617-635-3850.





**NOTIFICATION TO ABUTTERS  
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. \_\_\_\_\_ has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is \_\_\_\_\_.

C. The project involves \_\_\_\_\_.

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at [CC@boston.gov](mailto:CC@boston.gov).

E. Copies of the Notice of Intent may be obtained from \_\_\_\_\_ by contacting them at \_\_\_\_\_ between the hours of \_\_\_\_\_, \_\_\_\_\_.

F. In accordance with the Chapter 20 of the Acts of 2021, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing [CC@boston.gov](mailto:CC@boston.gov) or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on [www.boston.gov/public-notices](http://www.boston.gov/public-notices) and in Boston City Hall not less than forty-eight (48) hours in advance. If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

NOTE: If you plan to attend the public hearing and are in need of interpretation, please notify staff at [CC@boston.gov](mailto:CC@boston.gov) by 12 PM the day before the hearing.

**NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES  
COMISIÓN DE CONSERVACIÓN DE BOSTON**

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. Bob Stathopoulos ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es el cruce de Centre Street y Walter Street.

C. Este proyecto se trata de mejoramientos en las calles y el flujo de tránsito.

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en [CC@boston.gov](mailto:CC@boston.gov).

E. Las copias de la notificación de intención pueden obtenerse de Howard Stein Hudson, por correo electrónico a [bstathopoulos@hshassoc.com](mailto:bstathopoulos@hshassoc.com) o llamando al 617.348.3364 entre las 9 AM y las 5 PM, de lunes a viernes.

F. De acuerdo con el Capítulo 20 de las Leyes de 2021, la audiencia pública se llevará a cabo **virtualmente** en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar ID de reunión 686 458 2044 # y usar # como su ID de participante.

G. La información relativa a la fecha y hora de la audiencia pública puede solicitarse a la **Comisión de Conservación de Boston** por correo electrónico a [CC@boston.gov](mailto:CC@boston.gov) o llamando al **(617) 635-3850** entre las **9 AM y las 5 PM, de lunes a viernes**.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en el **Boston Herald** con al menos cinco (5) días de antelación.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en [www.boston.gov/public-notices](http://www.boston.gov/public-notices) y en el Ayuntamiento de Boston con no menos de cuarenta y ocho (48) horas de antelación.

NOTA: Si desea formular comentarios, puede asistir a la audiencia pública o enviarlos por escrito a [CC@boston.gov](mailto:CC@boston.gov) o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201.

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.

NOTA: Si pretende asistir a la audiencia pública y necesita interpretación, por favor avise nuestra oficina por correo electrónico a [CC@boston.gov](mailto:CC@boston.gov) antes de las 12PM el día anterior de la audiencia.



## 5 Attachment E – Permit Plans

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Permit Plan sets are being provided separately from this report.

# DEPARTMENT OF CONSERVATION & RECREATION TRANSPORTATION IMPROVEMENT PROJECT

PLAN AND PROFILE OF  
CENTRE STREET  
AND WALTER STREET  
IN THE CITY OF  
BOSTON  
SUFFOLK COUNTY

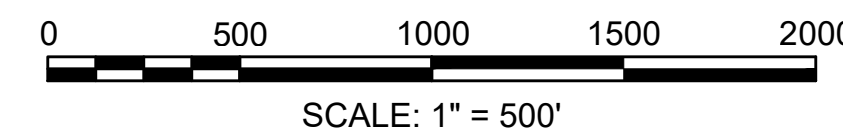
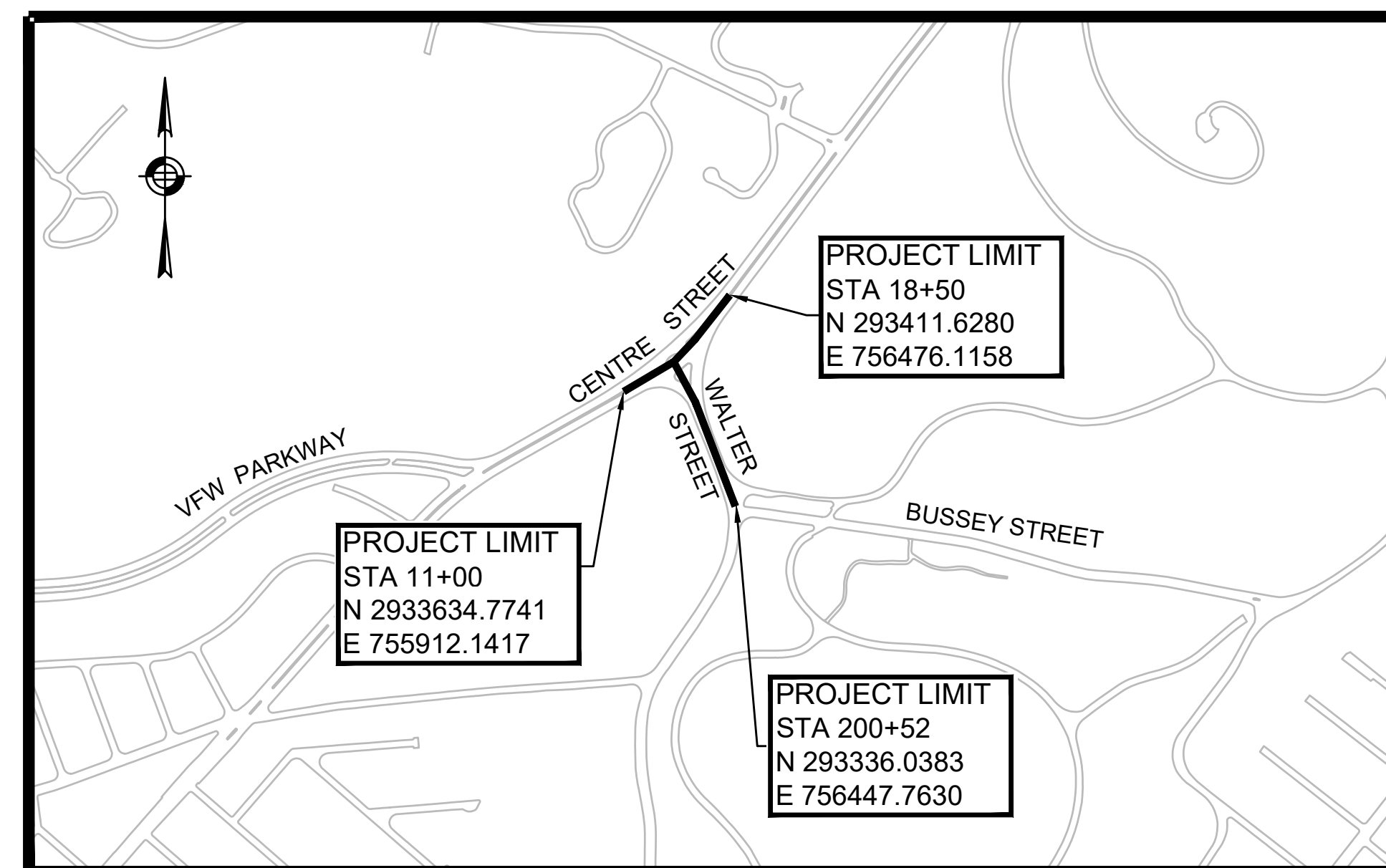
**BOSTON  
CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	1	27
PROJECT FILE NO.		2017243.03	

**TITLE SHEET & INDEX**

## NOI PERMIT SUBMISSION

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	GENERAL NOTES
3	LEGEND & ABBREVIATIONS
4	KEY PLAN
5 - 9	SURVEY PLANS
10	CONSTRUCTION BASELINE TIES
11	ALTERATION PLAN
12 - 14	CONSTRUCTION PLANS
15 - 17	GRADING PLANS
18 - 20	UTILITY PLANS
21 - 22	LANDSCAPE PLANS
23 - 26	CONSTRUCTION DETAILS
27	LANDSCAPE DETAILS



**LENGTH OF PROJECT**  
CENTRE STREET: 750.00 FEET = 0.142 MILES  
WALTER STREET: 548.00 FEET = 0.104 MILES

DESIGN DESIGNATION	CENTRE STREET	WALTER STREET
DESIGN SPEED	25 MPH	25 MPH
DESIGN ADT	36,370	14,720
K	7.9%	11.0%
D	52.6%	52.9%
T (PEAK HOUR)	0.7%	0.9%
T (AVERAGE DAY)	6.6%	8.6%
DHV	2,870	1,620
DDHV	1,510	860
FUNCTIONAL CLASSIFICATION	URBAN PRINCIPAL ARTERIAL	URBAN COLLECTOR



**HOWARD STEIN HUDSON**  
11 Beacon Street, Suite 1010  
Boston, MA 02108  
www.hshassoc.com

DATE	DESCRIPTION	REV #
SEPT 2022	NOI PERMIT SUBMISSION	0
APR 2021	100% SUBMISSION	0
NOV 2020	25%/75% SUBMISSION	0



STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	2	27
PROJECT FILE NO.		2017243.03	

**GENERAL NOTES**

**GENERAL NOTES**

**SURVEY**

- ALL UNDERGROUND UTILITIES AS SHOWN WERE COMPILED USING FIELD SURVEY INFORMATION AND AVAILABLE RECORD INFORMATION PROVIDED BY A PLUS CONSTRUCTION SERVICES CORP. ON THE PLAN ENTITLED SURVEY BASEPLAN, DATED MARCH 03, 2020 WITH SUPPLEMENTAL INFORMATION PROVIDED BY ADDITIONAL SURVEY TAKEN ON APRIL 30, 2020.
- THE UNDERGROUND UTILITIES, AS SHOWN ON THE PLANS, HAVE BEEN COMPLIED FROM RECORD PLANS, THE ACCURACY AND COMPLETENESS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE DIGGING BEGINS THE CONTRACTOR IS REQUIRED TO CALL DIG SAFE AT (888)344-7233. ALL CITY OWNED UTILITY STRUCTURES WITHIN AREAS AFFECTED BY THE WORK SHALL BE ADJUSTED TO NEW LINE AND GRADE AS DIRECTED BY THE ENGINEER. ANY UTILITY POLES AND/OR GUY POLES WITHIN AREAS AFFECTED BY THE WORK SHALL BE REMOVED AND RESET BY THE RESPECTIVE UTILITY COMPANY. ALTERATIONS TO UTILITIES NOT OWNED BY THE CITY SHALL BE MADE BY THE RESPECTIVE UTILITY OWNERS.
- THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- ELEVATIONS SHOWN REFER TO NAVD 88 VERTICAL DATUM. THE COORDINATE INFORMATION INCLUDED ON THESE PLANS IS BASED UPON MASSACHUSETTS GRID SYSTEM, NAD 1983, AS DERIVED FROM GPS CONTROL COORDINATES PROVIDED BY THE MASSDOT HIGHWAY DEPARTMENT SURVEY SECTION, FIELDBOOK NUMBER 40756.
- BENCHMARK INFORMATION:  
SEE CONSTRUCTION BASELINE TIES SHEET 9 FOR BENCHMARK INFORMATION AND LOCATIONS.
- CONTRACTOR SHALL USE A PROFESSIONAL LAND SURVYOER LICENSE IN MASSACHUSETTS TO RE-ESTABLISH SURVEY CONTORL PRIOR TO BEGINING WORK ON THIS CONTRACT.

**WETLANDS**

- WETLAND RESOURCE AREAS DELINEATED BY LUCAS ENVIRONMENTAL, LLC ON DECEMBER 15, 2020.

**UTILITIES**

- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES AT NO ADDITIONAL COST TO THE OWNER. IF THE CONTRACTOR ADJUSTS UTILITY COVERS IT SHALL BE DEEMED PART OF THE WORK AND THERE WILL BE NO ADDITIONAL COMPENSATION.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE NECESSITY OF MAKING HIS OWN INVESTIGATION IN ORDER TO ASSURE THAT NO DAMAGE TO EXISTING STRUCTURES, DRAINAGE LINES, TRAFFIC SIGNAL CONDUITS, ETCETERA, WILL OCCUR.
- THE CONTRACTOR SHALL NOTIFY MASSACHUSETTS DIG SAFE AND PROCURE A DIG SAFE NUMBER FOR EACH LOCATION PRIOR TO DISTURBING EXISTING GROUND IN ANY WAY. THE TELEPHONE NUMBER OF THE DIG SAFE CALL CENTER IS 1-888-344-7233."
- NO EXISTING PUBLIC UTILITY STRUCTURES SHALL BE ABANDONED AND/OR DISMANTLED WITHOUT AUTHORIZATION FROM THE ENGINEER.
- DRAINAGE ELEVATIONS ARE PROVIDED FOR DESIGN PURPOSE ONLY. THE CONTRACTOR SHALL VERIFY BY TEST PIT, THE LOCATIONS OF EXISTING UTILITIES WHICH MAY CONFLICT WITH THE PROPOSED DRAINAGE DESIGN. ANY FIELD ADJUSTMENTS REQUIRED WILL BE MADE AS APPROVED OR DIRECTED BY THE ENGINEER. ONLY AFTER THE CONTRACTOR VERIFIES ELEVATIONS FOR THE CONSTRUCTABILITY OF THE DRAINAGE SYSTEM SHALL ANY STRUCTURES BE ORDERED. ANY FIELD ADJUSTMENT TO LINE AND GRADE UP TO A DEPTH OF 5 FEET SHALL BE INCLUDED IN THE COST OF THE PIPE. PIPE EXCAVATION GREATER THAN 5 FEET WILL BE PAID UNDER CLASS B TRENCH EXCAVATION.
- ALL CATCH BASIN GRATES WITHIN THE CENTRE STREET RIGHT-OF-WAY SHALL BE D-FRAME OR 24-INCH x 24-INCH WITH 2-INCH OPENINGS. ALL CATCH BASIN GRATES WITHIN THE WALTER STREET RIGHT-OF-WAY SHALL COMPLY WITH BWSC STANDARDS. MASSDOT CASCADE CATCH BASIN GRATES SHALL NOT BE USED.
- BWSC OPERATIONS (617-989-2726) MUST BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO THE INSTALLATION OF FIRE HYDRANTS AND, IF NEEDED, SHUTTING DOWN OF THE MAIN. WATER GATE RESTRAIN OR MAIN SHUT DOWN SHOULD BE PROVIDED FOR HYDRANT AND LATERAL INSTALLATIONS.
- ALL STREETLIGHT POSTS TO BE POWERED AND MAINTAINED BY THE CITY OF BOSTON STREETLIGHTING DEPARTMENT SHALL BE 24-FT CONCRETE POSTS WITH 62 WATT LED RECTANGULAR FIXTURES.

**CONSTRUCTION**

- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DAMAGED BY THE CONTRACTOR'S OPERATIONS, INCLUDING STAGING AREAS, SHALL BE RESTORED TO THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT ADDITIONAL WORK WITHIN THE PROJECT LIMITS MAY BE PERFORMED BY OTHERS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO COORDINATE WITH ANY SUCH WORK. NO ADDITIONAL COMPENSATION WILL BE MADE FOR EXTRA WORK DAYS, DELAYS, OR RESCHEDULING OF WORK TO ACCOMMODATE ANY OTHER CONSTRUCTION, PERMIT AND/OR MAINTENANCE OPERATIONS IN THE AREA.
- JOINTS BETWEEN NEW HOT MIX ASPHALT, ROADWAY PAVEMENT, AND THE LOCATIONS OF SAW CUT FOR EXISTING PAVEMENT SHALL BE SEALED WITH HOT POURED RUBBERIZED ASPHALT AND BACKSANDED.
- ALL GRADING SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), LATEST EDITION. IN CASE OF CONFLICT BETWEEN REGULATIONS, THE GUIDELINE PROVIDING GREATER ACCESS SHALL APPLY. WHEELCHAIR RAMP INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE MASSDOT WHEELCHAIR RAMP STANDARDS-LATEST EDITION AND THE PLANS.
- WHERE THE NEW CONSTRUCTION IS WITHIN THE EXISTING TRAVELED WAY, THE CONTRACTOR SHALL PERFORM WORK SO THAT INTERFERENCE TO BUSINESS CONCERNS AND ABUTTERS, ON ACCOUNT OF THE CONSTRUCTION WORK, IS KEPT TO A MINIMUM. THE CONTRACTOR WILL NOT BE ALLOWED TO PARK EQUIPMENT, OR STOCKPILE MATERIAL ON THE TRAVELED WAYS OVERNIGHT OR WHEN NOT IN USE. THE CONTRACTOR SHALL MAINTAIN SAFE AND REASONABLE ACCESS TO AND FROM ABUTTING PROPERTIES AT ALL TIMES AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AT HIS OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INVESTIGATING AND CONFIRMING THAT ALL ITEMS TO BE REUSED ARE IN SERVICEABLE CONDITION. IF IT IS DEEMED THAT ANY ITEM IS NOT ABLE TO BE REUSED, THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING AND INCLUDE ESTIMATED COSTS TO INSTALL NEW.

**TRAFFIC**

- THE MINIMUM MOUNTING HEIGHT OF POST-MOUNTED SIGNS, MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE TOP OF THE CURB OR SIDEWALK, OR TO THE ELEVATION OF THE NEAR EDGE OF THE TRAVELED WAY, SHALL BE 7 FEET UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- TRAFFIC SIGNAL CONDUIT SHALL BE 3" PVC UNLESS OTHERWISE NOTED.

**TEMPORARY TRAFFIC CONTROL**

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR TRAFFIC MANAGEMENT AND TO COMPLY WITH CONDITIONS OUTLINED WITHIN THE SPECIFICATIONS AND MASSDOT HIGHWAY DIVISION STANDARD DETAILS AND DRAWINGS FOR THE DEVELOPMENT OF TRAFFIC MANAGEMENT PLANS MANUAL.
- THIS PLAN DEPICTS IN SCHEMATIC FORM, THE ELEMENTS OF AN APPROACH TO THE LAYOUT AND PLANNING OF THE WORK DURING THE PROGRESS OF THE CONSTRUCTION OPERATIONS.THE PREPARER OF THIS PLAN HAS NO ROLE IN THE OVERSIGHT OR OTHERWISE IN THE IMPLEMENTATION OF THIS PLAN.
- CONTRACTOR SHALL SUBMIT TO THE RESIDENT ENGINEER TRAFFIC MANAGEMENT PLANS FOR REVIEW AND APPROVAL BY MASSDOT HIGHWAY DIVISION. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION EFFORT WITH OTHER PROJECTS IN THE VICINITY IN ORDER TO MINIMIZE POTENTIAL TRAFFIC AND PARKING IMPACTS.
- THE TEMPORARY TRAFFIC CONTROL PLANS CONTAINED HEREIN ARE GIVEN AS A GUIDE FOR TYPICAL WORK ZONE TRAFFIC CONTROL APPLICATIONS FOR THE TYPES OF WORK ANTICIPATED FOR THIS PROJECT. THEY ARE NOT INTENDED TO COVER ALL POSSIBLE CONSTRUCTION OPERATIONS WHICH THE CONTRACTOR MAY CHOOSE TO EMPLOY. WORK ZONE TRAFFIC CONTROL FOR OTHER CONSTRUCTION OPERATIONS OR OTHER TRAFFIC SITUATIONS IF APPLICABLE SHALL BE IN ACCORDANCE WITH THE CURRENT M.U.T.C.D. AND AS APPROVED OR DIRECTED BY RESIDENT ENGINEER.
- LANE RESTRICTIONS (OTHER THAN ACTIVE WORK ZONES) MAY NOT REMAIN OVERNIGHT OR DURING NON-WORKING HOURS AND MUST BE REMOVED BY THE END OF EACH WORKING TIME RESTRICTION. AFTER EACH WORKING DAY, TRAFFIC CONTROL DEVICES THAT ARE NOT REQUIRED SHALL BE MOVED OFF THE ROADWAY OR FULL DEPTH CONSTRUCTION AREA AND PLACED SO AS NOT TO IMPEDE PEDESTRIAN AREAS, ABUTTER ACCESS OR CAUSE CONFUSION TO ROADWAY USERS. IN CERTAIN CIRCUMSTANCES, AND ONLY WITH THE APPROVAL OF MASSDOT HIGHWAY DIVISION, CAN LANE RESTRICTIONS REMAIN OVERNIGHT, REFLECTORIZED DRUMS MAY BE FITTED WITH STEADY BURN AND/OR FLASHING WARNING LIGHTS AT ONLY THE RESIDENT ENGINEERS DIRECTION.

**TEMPORARY TRAFFIC CONTROL (CONT)**

- LANE RESTRICTIONS (OTHER THAN ACTIVE WORK ZONES) MAY NOT REMAIN OVERNIGHT OR DURING NON-WORKING HOURS AND MUST BE REMOVED BY THE END OF EACH WORKING TIME RESTRICTION. AFTER EACH WORKING DAY, TRAFFIC CONTROL DEVICES THAT ARE NOT REQUIRED SHALL BE MOVED OFF THE ROADWAY OR FULL DEPTH CONSTRUCTION AREA AND PLACED SO AS NOT TO IMPEDE PEDESTRIAN AREAS, ABUTTER ACCESS OR CAUSE CONFUSION TO ROADWAY USERS. IN CERTAIN CIRCUMSTANCES, AND ONLY WITH THE APPROVAL OF MASSDOT HIGHWAY DIVISION, CAN LANE RESTRICTIONS REMAIN OVERNIGHT, REFLECTORIZED DRUMS MAY BE FITTED WITH STEADY BURN AND/OR FLASHING WARNING LIGHTS AT ONLY THE RESIDENT ENGINEERS DIRECTION.
- PLACE ALL CONSTRUCTION SIGNING, TRAFFIC CONTROL DEVICES AND TEMPORARY PAVEMENT MARKINGS FOR EACH PHASE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THESE PLANS ARE NOT INTENDED TO LIMIT THE CONTRACTORS RIGHT TO SCHEDULE THE WORK BUT TO OUTLINE ONE WAY OF PROGRESSING. THE CONTRACTOR IS EXPECTED TO USE KNOWLEDGE AND EXPERIENCE TO PERFORM THE WORK IN THE MOST EFFICIENT MANNER IN COMPLIANCE WITH THE DRAWING AND SPECIFICATIONS AND THE REQUIREMENTS OF THE INDIVIDUAL AGENCIES AND ABUTTERS.
- CONTRACTOR SHALL SECURE WORK AREAS ACCORDING TO CURRENT CONDITIONS TO ENSURE PUBLIC SAFETY AND CONVENIENCE. THIS SHALL INCLUDE ENSURING THAT ALL EXCAVATIONS ARE PROTECTED AT ALL TIMES AND WHEN WORK SHIFT IS COMPLETED.
- THE CONTRACTOR SHALL SUBMIT TO THE RESIDENT ENGINEER FOR REVIEW AND APPROVAL BY MASSDOT HIGHWAY DIVISION, THE DESIGNER, TEMPORARY TRAFFIC CONTROL PLANS FOR ANY WORK OUTSIDE THE WORK ZONES INDICATED IN THESE DRAWINGS, INCLUDING ALTERNATIVE PHASING OR MODIFICATION OF ANY ASPECT OF THE TEMPORARY TRAFFIC CONTROL PLANS OR CONSTRUCTION STAGING. THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR THE SUBMISSION AND REVIEW OF ALTERNATIVE PLANS, AT NO ADDITIONAL COST.
- EXISTING CONDITIONS ARE FOR CONTRACTOR INFORMATION ONLY AND ARE EXISTING CONDITIONS AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY, AS NECESSARY, ACTUAL FIELD CONDITIONS AT TIME OF CONSTRUCTION.
- TYPICAL DAYTIME WORK HOURS ARE FROM 9:00 AM TO 3:30 PM ON WEEKDAYS, UNLESS OTHERWISE PERMITTED BY MASSDOT HIGHWAY DIVISION. WORK SHALL NOT BE PERFORMED THE DAY BEFORE, OR THE DAY AFTER, A HOLIDAY WEEKEND, UNLESS OTHERWISE PERMITTED BY MASSDOT HIGHWAY DIVISION . REFER TO TEMPORARY TRAFFIC CONTROL PLANS, SPECIFICATIONS, AND PERMITS FOR MODIFICATION TO ALLOWABLE WORK PERIODS. ALL WORK SCHEDULES, HOWEVER, SHALL BE PRE-APPROVED BY THE DEPARTMENT PRIOR TO BEGINNING WORK. WORK NECESSARY OUTSIDE OF THESE NORMAL WORK HOURS BECAUSE OF TRAFFIC CONDITIONS, AS NOTED IN THE PLANS OR SPECIFICATIONS, SHALL BE APPROVED BY MASSDOT HIGHWAY DIVISION.
- CONTRACTOR SHALL PROVIDE DETAILS FOR TRAFFIC CONTROL AS DIRECTED BY THE MASSDOT RESIDENT ENGINEER AND IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR SHALL BE GUIDED BY TEMPORARY TRAFFIC CONTROL LAYOUTS PROVIDED FOR SPECIFIC LOCATIONS, AND BY TYPICAL LAYOUTS AT ALL OTHER LOCATIONS. TYPICAL LAYOUTS SHALL CONFORM TO PART 6 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- WORK ZONES INDICATED ON THE TEMPORARY TRAFFIC CONTROL PLANS ARE INTENDED FOR THE DURATION OF THE WORK WITHIN THE ZONES ONLY AND SHALL BE RESTORED TO CONDITIONS ACCEPTABLE TO THE MASSDOT HIGHWAY DIVISION AT COMPLETION OF THE WORK INDICATED.
- CONTRACTOR SHALL COORDINATE WITH MASSDOT HIGHWAY DIVISION CONCERNING ALL SCHEDULED SPECIAL EVENTS WITHIN THE LIMITS OF WORK.
- THE CONTRACTOR SHALL AT ALL TIMES COORDINATE ROAD AND LANE CLOSURES, AND OTHER DISRUPTIONS IN THE PROJECT AREA, WITH MBTA BUS OPERATIONS.

**CHANNELIZATION:**

- CHANNELIZATION SHALL BE ACCOMPLISHED THROUGH THE USE OF REFLECTORIZED PLASTIC DRUMS IN ACCORDANCE WITH THE CURRENT M.U.T.C.D. ALL LANE TAPERS SHALL BE IN ACCORDANCE WITH THE CURRENT M.U.T.C.D.
- ALL DRUMS SHALL BE PLACED AND MOVED AS NECESSARY TO MAINTAIN ADEQUATE ABUTTER ACCESS AT ALL TIMES. WORK MAY REQUIRE ADDITIONAL SIGNS, DRUMS, AND OTHER TRAFFIC CONTROL DEVICES.
- THE MAXIMUM SPACING BETWEEN CHANNELIZATION DEVICES (DRUMS OR CONES) SHALL BE APPROXIMATELY EQUAL IN FEET TO THE POSTED SPEED LIMIT. THE MINIMUM SPACING SHALL BE 20' 0.C.
- METAL DRUMS ARE PROHIBITED AS CHANNELIZATION DEVICES.

**GRADE DIFFERENCES:**

- WHERE THERE IS A LONGITUDINAL DIFFERENCE IN ELEVATION BETWEEN EXISTING PAVEMENT AND COLD PLANED OR NEW PAVEMENT, THE CONTRACTOR SHALL PATCH A TEMPORARY HMA WEDGE WITH A 12:1 (OR FLATTER) SLOPE FOR A SMOOTH TRANSITION.
- CROSS-SECTIONAL GRADE DIFFERENCED IN EXCESS OF 2" DURING NON-WORKING HOURS WILL REQUIRE DELINEATION BY USE OF REFLECTORIZED DRUMS, OR CONES AS DIRECTED BY MASSDOT HIGHWAY DIVISION.
- CROSS-SECTIONAL GRADE DIFFERENCES IN EXCESS OF 4" DURING NON-WORKING HOURS SHALL BE PROTECTED BY BACKFILLING WITH A WEDGE OF EARTHWORK TO BE COMPACTED AT 4:1 SLOPE AND WILL ALSO REQUIRE DELINEATION BY USE OF DRUMS.
- A MINIMUM SLOPE OF 4:1 MUST BE MAINTAINED AFTER WORKING HOURS DURING SUBBASE AND BASE COURSE INSTALLATION ALONG EDGE OF THE TRAVEL WAY. A MINIMUM SLOPE OF 8:1 MUST BE MAINTAINED ON ALL ABUTTER ACCESS DRIVES AND A MINIMUM SLOPE OF 12:1 MUST BE MAINTAINED ON ALL SIDEWALKS.

**CONSTRUCTION SIGNING:**

- LOCATIONS OF SIGNS SHOWN ARE APPROXIMATE. EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD. THE CONTRACTOR SHALL ENSURE THAT SIGNS ARE PLACED IN ACCORDANCE WITH THE CURRENT M.U.T.C.D. AND MASSACHUSETTS AMENDMENTS TO THE CURRENT M.U.T.C.D.
- EXISTING SIGNING WHICH CONFLICTS WITH PROPOSED CONSTRUCTION TRAFFIC MANAGEMENT SIGNING SHALL BE REMOVED AND STACKED OR COVERED AND RESTORED AT THE END OF THE WORK.
- ALL SIGNS SHALL BE COVERED OR REMOVED WHEN CONDITION IS NOT IN EFFECT.
- THE MINIMUM MOUNTING HEIGHT OF POST-MOUNTED SIGNS, MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE TOP OF THE CURB OR SIDEWALK, OR TO THE ELEVATION OF THE NEAR EDGE OF THE TRAVELED WAY, SHALL BE 7 FEET UNLESS OTHERWISE SPECIFIED ON THE PLANS.

**PAVEMENT MARKINGS:**

- UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS, SIGNS AND OTHER TRAFFIC EQUIPMENT REMOVED OR DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUTCD.
- CONTRACTOR SHALL INSTALL, RENEW AND MAINTAIN ALL TRAFFIC CONTROL DEVICES INCLUDING PAVEMENT MARKINGS AS SHOWN ON THE DRAWINGS, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND AS REQUIRED BY THE MASSDOT RESIDENT ENGINEER.
- CONTRACTOR SHALL REMOVE ALL PAVEMENT MARKINGS WHICH CONFLICT WITH PROPOSED PAVEMENT MARKINGS. THE METHOD OF REMOVAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MASSDOT HIGHWAY DIVISION.
- ALL TEMPORARY PAVEMENT MARKINGS SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SEQUENCE. ALL EXISTING MARKING WITHIN THE PROJECT LIMITS SHALL BE REMOVED AND REPLACED AS INDICATED ON THE PAVEMENT MARKING PLANS.





BOSTON CENTRE STREET AT WALTER STREET

Table with 4 columns: STATE, FED. AID PROJ. NO., SHEET NO., TOTAL SHEETS. Values: MA, -, 3, 27.

LEGEND & ABBREVIATIONS

ABBREVIATIONS

Table of abbreviations and their meanings, including GENERAL, ABBREVIATIONS, and TRAFFIC SIGNAL.

LEGEND

CIVIL/UTILITY/SURVEY LEGEND

Table of civil/utility/survey symbols, categorized into EXISTING and PROPOSED.

TRAFFIC SIGNAL LEGEND

Table of traffic signal symbols, categorized into PROPOSED, EXISTING (TO REMAIN), and REMOVE/ABANDON.

PAVEMENT MARKING LEGEND

Table of pavement marking symbols and their descriptions, including SWL, SYL, BWL, DWL, DBYL, SL, CW, DYLEx, YL, and BIKE LANE symbols.

TEMPORARY TRAFFIC CONTROL PLAN LEGEND

Table of temporary traffic control symbols, including DIRECTION OF TRAVEL, STACKABLE REFLECTORIZED TRAFFIC DRUM, 42" TRAFFIC CONE, WORK AREA, SINGLE SIGN POST, FLAGGER, POLICE DETAIL, PEDESTRIAN FLOW, TYPE III BARRICADE, TAPERED PRECAST CONCRETE TRAFFIC BARRIER, HIGH MOUNTED INTERNALLY ILLUMINATED FLASHING ARROW, VARIABLE MESSAGE BOARD, 72" CHAIN LINK FENCE, TEMPORARY CONCRETE BARRIER, TEMPORARY CONCRETE BARRIER WITH 72" CLF, TEMPORARY IMPACT ATTENUATOR, VEHICLE MOUNTED MOVABLE IMPACT ATTENUATOR, PROPOSED GRANITE CURB TO BE INSTALLED, NEW INSTALLED CURB, and PEDESTRIAN MANAGEMENT GUIDANCE SYSTEM.

CONSTRUCTION PLAN LEGEND

Table of construction plan symbols, including PROPOSED WHEELCHAIR RAMP, PROPOSED BIKE RAMP, PROPOSED DRAINAGE MANHOLE, PROPOSED DRIVEWAY, PROPOSED CATCH BASIN, CURVE NUMBER, PAVEMENT SAWCUT LINE, and LINE OF EASEMENT.



TRAFFIC SIGNAL

Table of traffic signal symbols and their meanings, including CAB, CCVE, DW, FDW, FR, FY, FRL, FRR, G, GL, GR, GSL, GSR, GV, OL, OP, PED, PTZ, R, RL, RR, TR SIG, TSC, W, Y, YL, and YR.

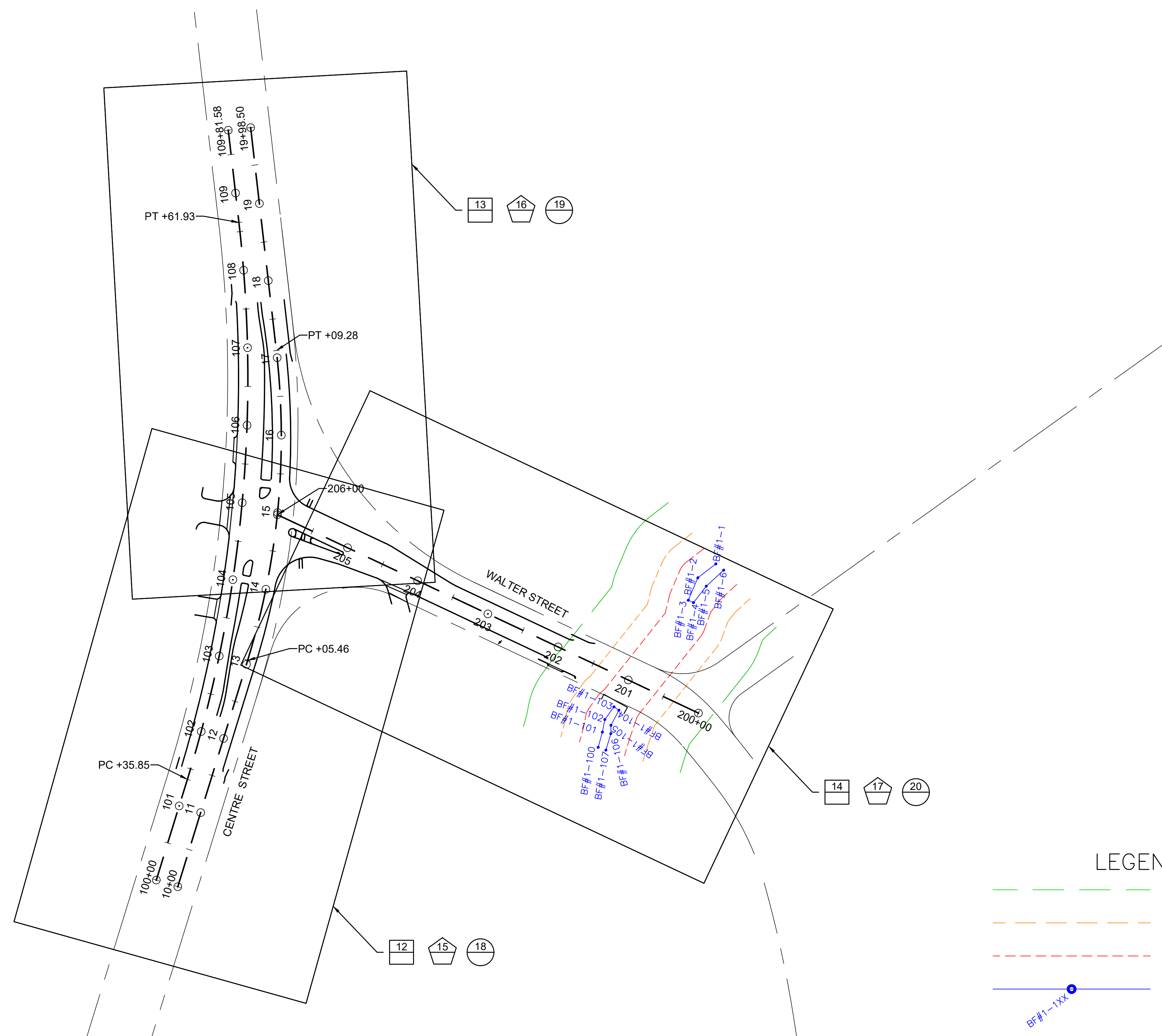


**BOSTON  
CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	4	27

PROJECT FILE NO. 2017243.03

**KEY PLAN**

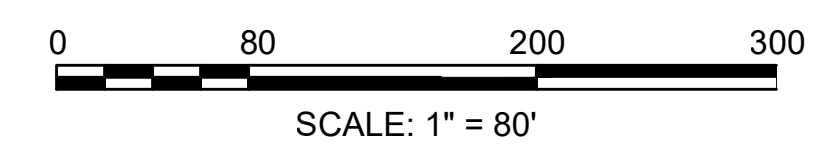


**LEGEND**

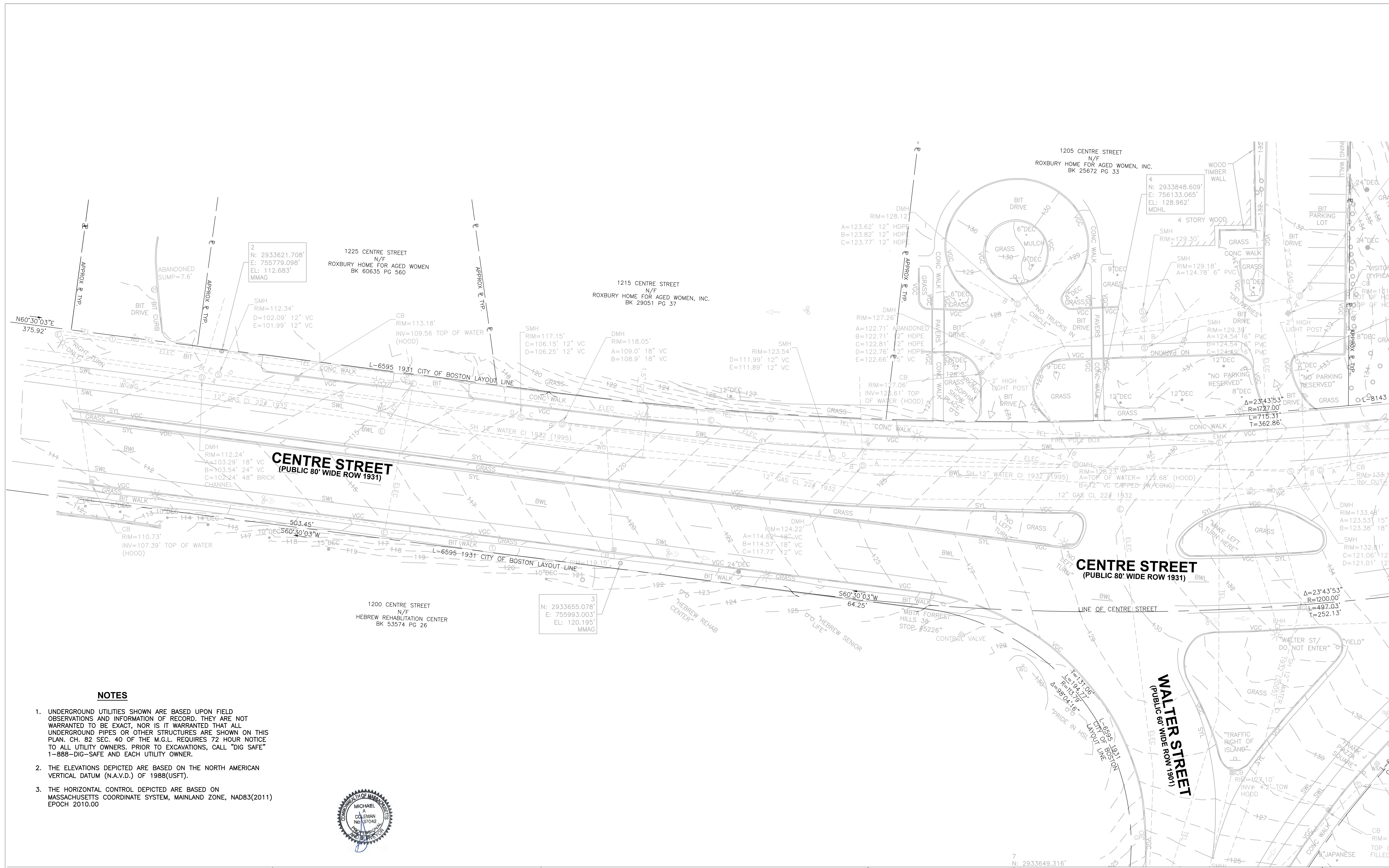
- CONSTRUCTION PLANS
- GRADING PLANS
- UTILITY PLANS

**LEGEND**

- 100' BUFFER ZONE
- WATERFRONT AREA
- 25' RIVERFRONT AREA
- WETLAND BOUNDARY AND FLAG (TOP OF INLAND BANK)

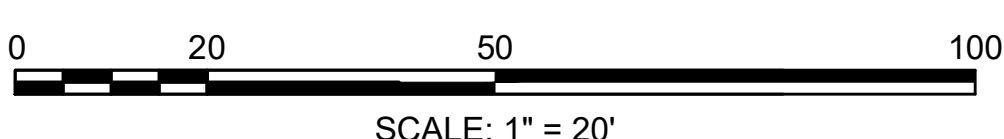






**NOTES**

1. UNDERGROUND UTILITIES SHOWN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. CH. 82 SEC. 40 OF THE M.G.L. REQUIRES 72 HOUR NOTICE TO ALL UTILITY OWNERS, PRIOR TO EXCAVATIONS, CALL "DIG SAFE" 1-888-DIG-SAFE AND EACH UTILITY OWNER.
2. THE ELEVATIONS DEPICTED ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988(USFT).
3. THE HORIZONTAL CONTROL DEPICTED ARE BASED ON MASSACHUSETTS COORDINATE SYSTEM, MAINLAND ZONE, NAD83(2011) EPOCH 2010.00



REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
 17 ACCORD PARK DRIVE, UNIT 102 NORWELL, MASS.  
 TEL. 781.981-6867 FAX. 781.981-5673

ORIGINAL FULL SIZE DRAWING=4"  
 REPRODUCTIONS MAY BE REDUCED SIZE

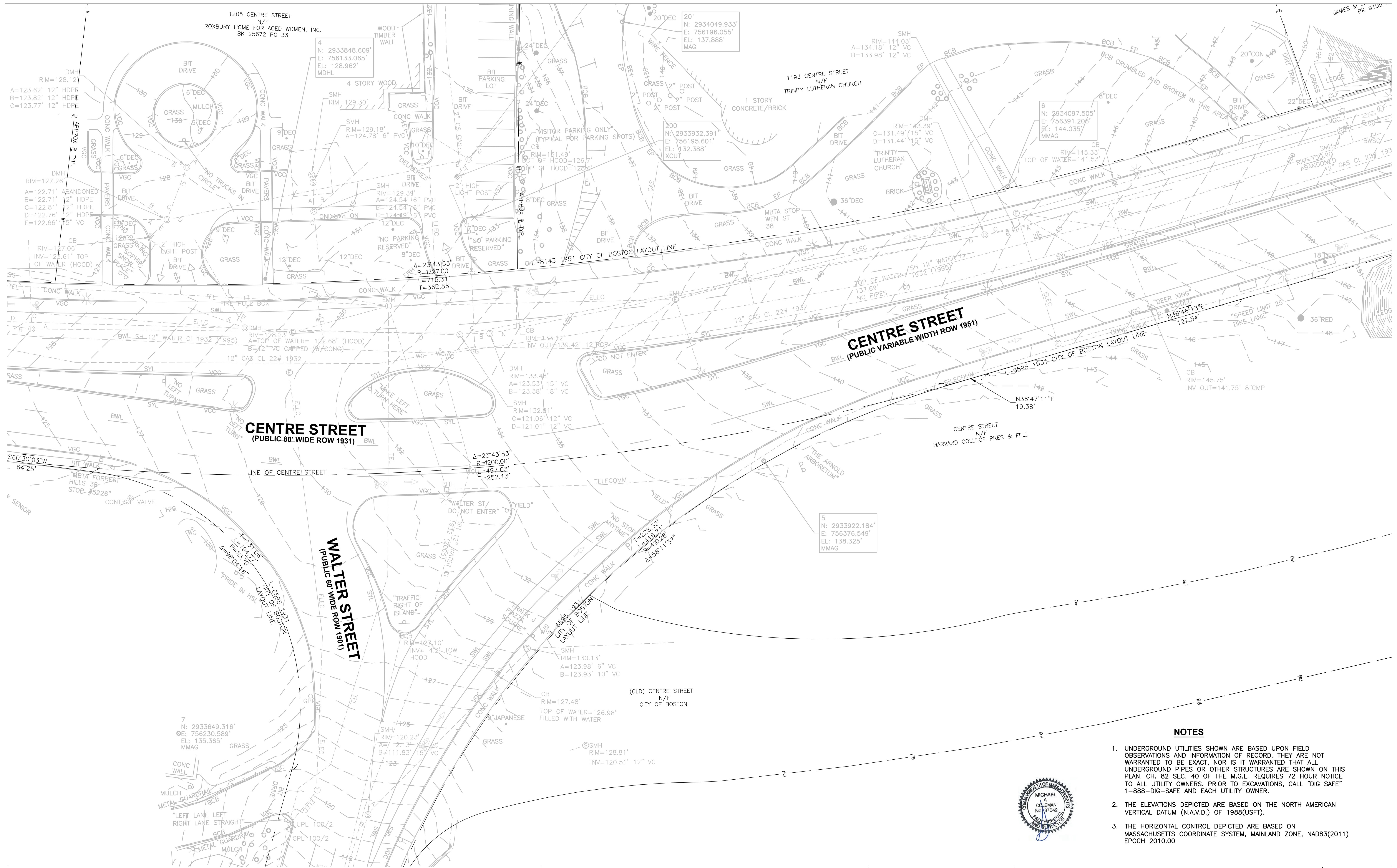
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DATE: APRIL 30, 2020	SCALE: 1"=20'	JOB#: 4018	FILE: 4018 DCR EXISTING.DWG

EXISTING CONDITIONS PLAN  
 CENTRE STREET AT WALTER STREET  
 WEST ROXBURY, MASS.  
 PREPARED FOR:  
**HOWARD STEIN HUDSON**

SHEET  
**5 of 24**  
 REV 0

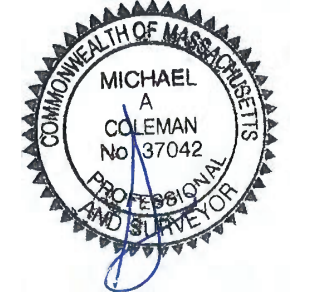
17243\17243.03 - Centre St at Walter Street.dwg (SURVEY PLAN).dwp, 5/26/2022, 10:33:08 AM





**NOTES**

1. UNDERGROUND UTILITIES SHOWN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. CH. 82 SEC. 40 OF THE M.G.L. REQUIRES 72 HOUR NOTICE TO ALL UTILITY OWNERS, PRIOR TO EXCAVATIONS, CALL "DIG SAFE" 1-888-DIG-SAFE AND EACH UTILITY OWNER.
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REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
 17 ACCORD PARK DRIVE, UNIT 102, NORWELL, MASS.  
 TEL: 781-681-6867 FAX: 781-681-6673

ORIGINAL FULL SIZE DRAWING=4"  
 REPRODUCTIONS MAY BE REDUCED SIZE

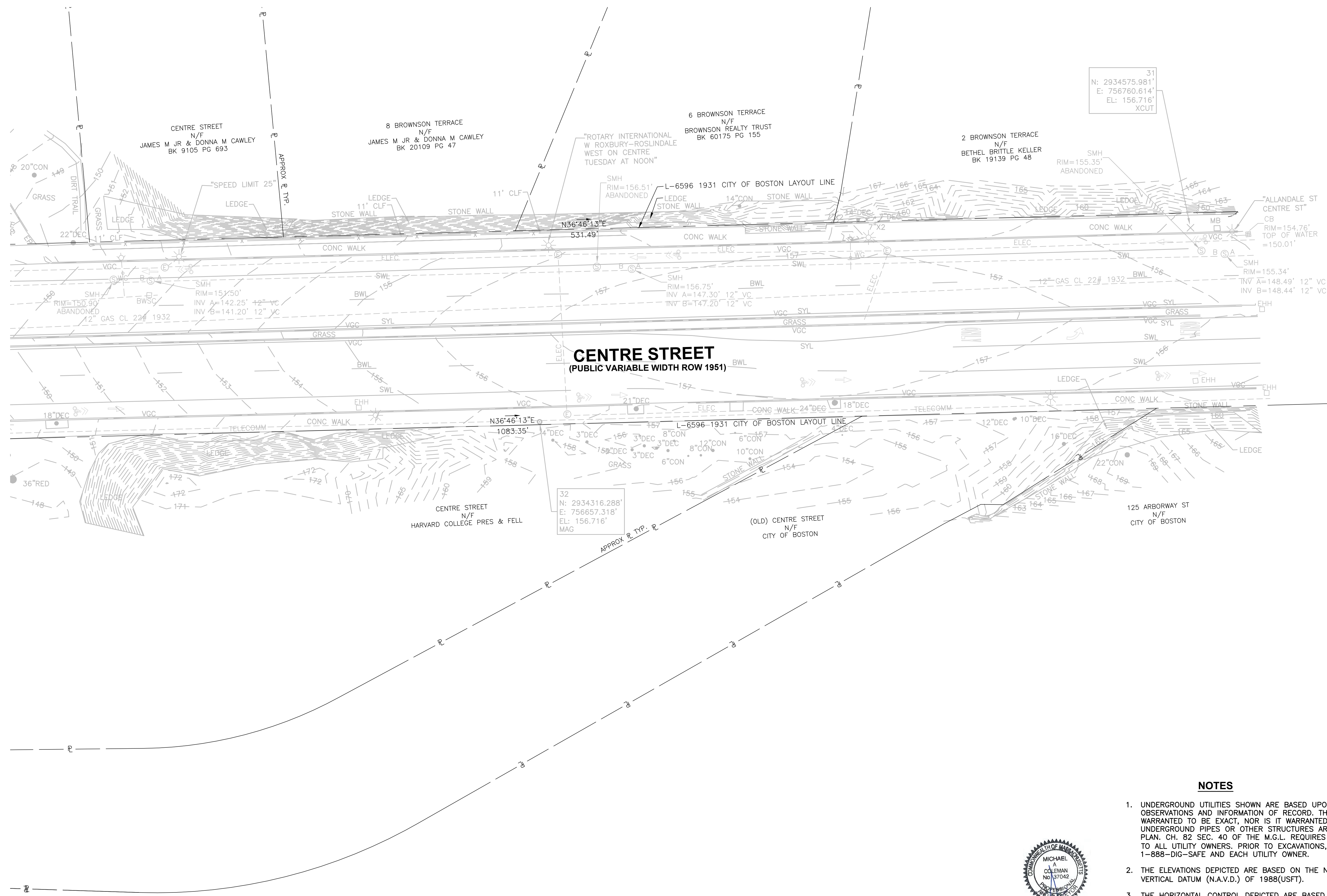
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DATE: APRIL 30, 2020	SCALE: 1"=20'	JOB#: 4018	FILE: 4018 DCR EXISTING.DWG

**EXISTING CONDITIONS PLAN**  
**CENTRE STREET AT WALTER STREET**  
**WEST ROXBURY, MASS.**  
 PREPARED FOR:  
**HOWARD STEIN HUDSON**

SHEET  
**6 of 24**  
 REV 0

1724317243.03 - Centre St at Walter Street.dwg (SURVEY PLAN).dwp, 5/26/2022, 10:33:11 AM





**CENTRE STREET**  
(PUBLIC VARIABLE WIDTH ROW 1951)

31  
N: 2934575.981'  
E: 756760.614'  
EL: 156.716'  
XCUT

32  
N: 2934316.288'  
E: 756657.318'  
EL: 156.716'  
MAG

**NOTES**

1. UNDERGROUND UTILITIES SHOWN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. CH. 82 SEC. 40 OF THE M.G.L. REQUIRES 72 HOUR NOTICE TO ALL UTILITY OWNERS, PRIOR TO EXCAVATIONS, CALL "DIG SAFE" 1-888-DIG-SAFE AND EACH UTILITY OWNER.
2. THE ELEVATIONS DEPICTED ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988(USFT).
3. THE HORIZONTAL CONTROL DEPICTED ARE BASED ON MASSACHUSETTS COORDINATE SYSTEM, MAINLAND ZONE, NAD83(2011) EPOCH 2010.00



REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
17 ACCORD PARK DRIVE, UNIT 102, NORWELL, MASS.  
TEL. (781) 881-8887 FAX (781) 881-8873

ORIGINAL FULL SIZE DRAWING=4"  
REPRODUCTIONS MAY BE REDUCED SIZE

FIELD CHIEF: KW	DES/COMP: KW	DRAFTED BY: KW/JED	CHECKED BY: MC
DATE: APRIL 30, 2020	SCALE: 1"=20'	JOB#: 4018	FILE: 4018 DCR EXISTING.DWG

**EXISTING CONDITIONS PLAN**  
**CENTRE STREET AT WALTER STREET**  
**WEST ROXBURY, MASS.**  
PREPARED FOR:  
**HOWARD STEIN HUDSON**

17243\17243.03 - Centre St at Walter Street\GIS\17243.03\_ENV\SURVEY PLAN\dwg\_50262022\_10:33:14 AM

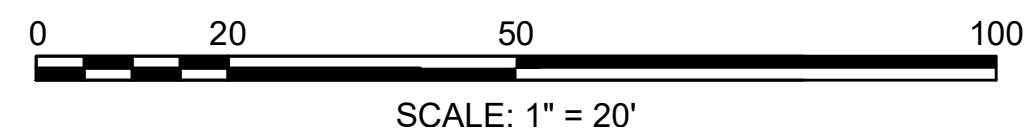
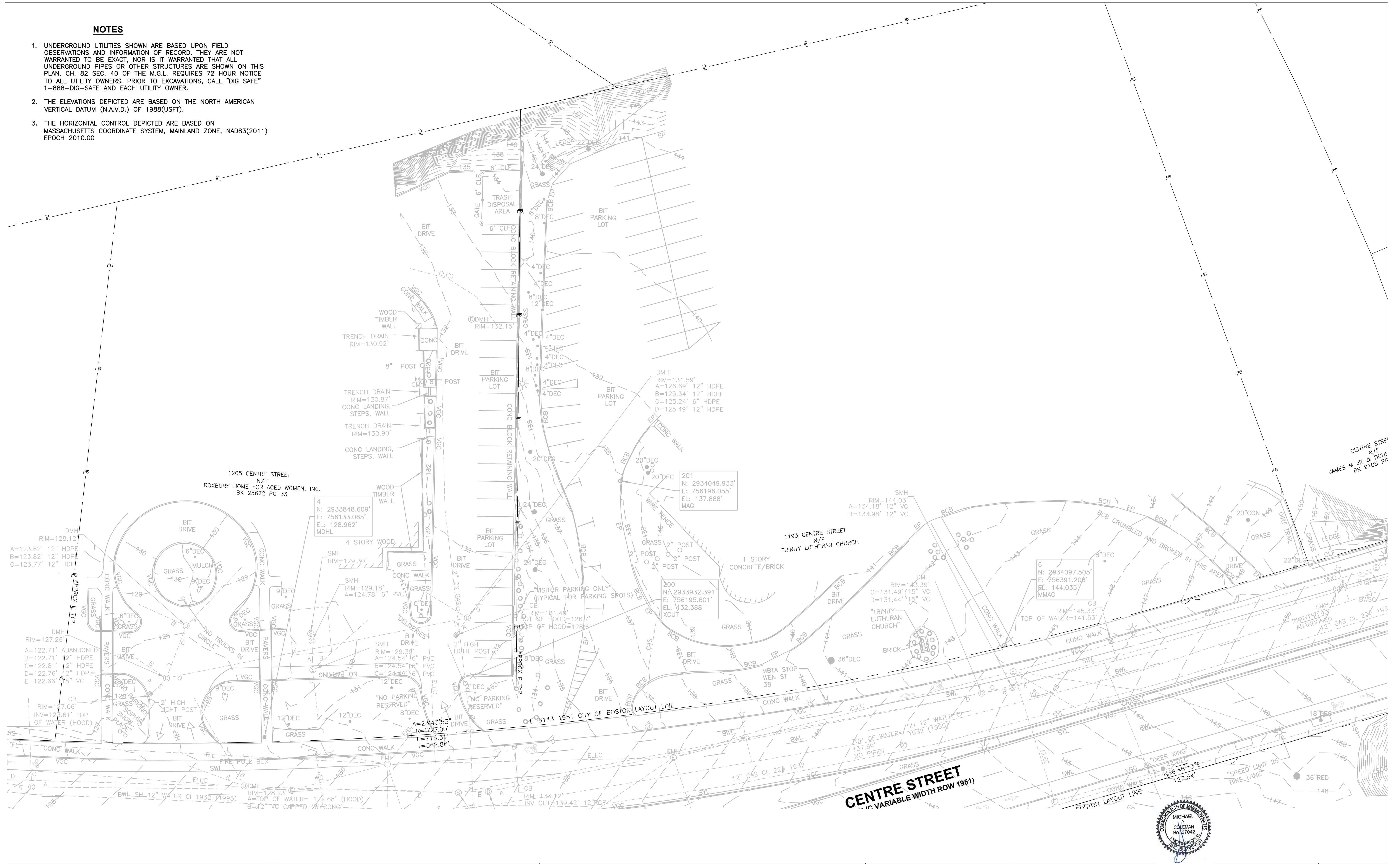






**NOTES**

1. UNDERGROUND UTILITIES SHOWN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. CH. 82 SEC. 40 OF THE M.G.L. REQUIRES 72 HOUR NOTICE TO ALL UTILITY OWNERS. PRIOR TO EXCAVATIONS, CALL "DIG SAFE" 1-888-DIG-SAFE AND EACH UTILITY OWNER.
2. THE ELEVATIONS DEPICTED ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988(USFT).
3. THE HORIZONTAL CONTROL DEPICTED ARE BASED ON MASSACHUSETTS COORDINATE SYSTEM, MAINLAND ZONE, NAD83(2011) EPOCH 2010.00

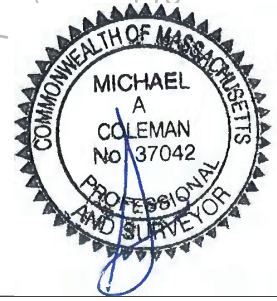


REVISIONS		
REV.	COMMENTS	DATE

PREPARED BY:  
**A-PLUS CONSTRUCTION SERVICES CORPORATION**  
 17 ACCORD PARK DRIVE, UNIT 102, NORWELL, MASS.  
 TEL. (781) 981-8887 FAX (781) 981-8873

FIELD CHIEF: KW    DES/COMP: KW    DRAFTED BY: KW/JED    CHECKED BY: MC  
 DATE: APRIL 30, 2020    SCALE: 1"=20'    JOB#: 4018    FILE: 4018 DCR EXISTING.DWG

**EXISTING CONDITIONS PLAN**  
**CENTRE STREET AT WALTER STREET**  
**WEST ROXBURY, MASS.**  
 PREPARED FOR:  
**HOWARD STEIN HUDSON**



17243\17243.03 - Centre St at Walter Street\DWG\17243.03\_ENV(SURVEY PLAN).dwg, 5/28/2022, 10:33:18 AM



**BOSTON**  
**CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	10	27

PROJECT FILE NO. 2017243.03

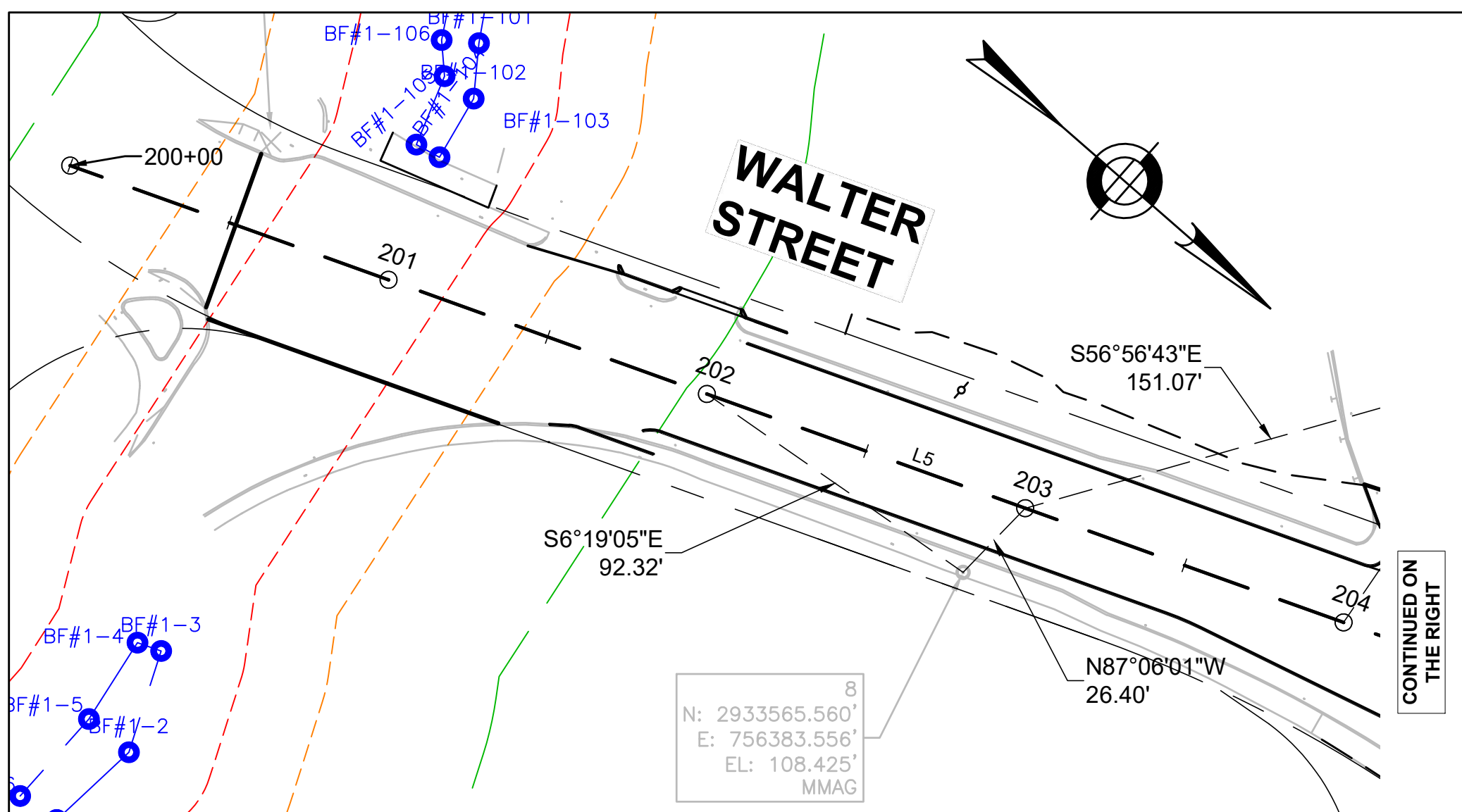
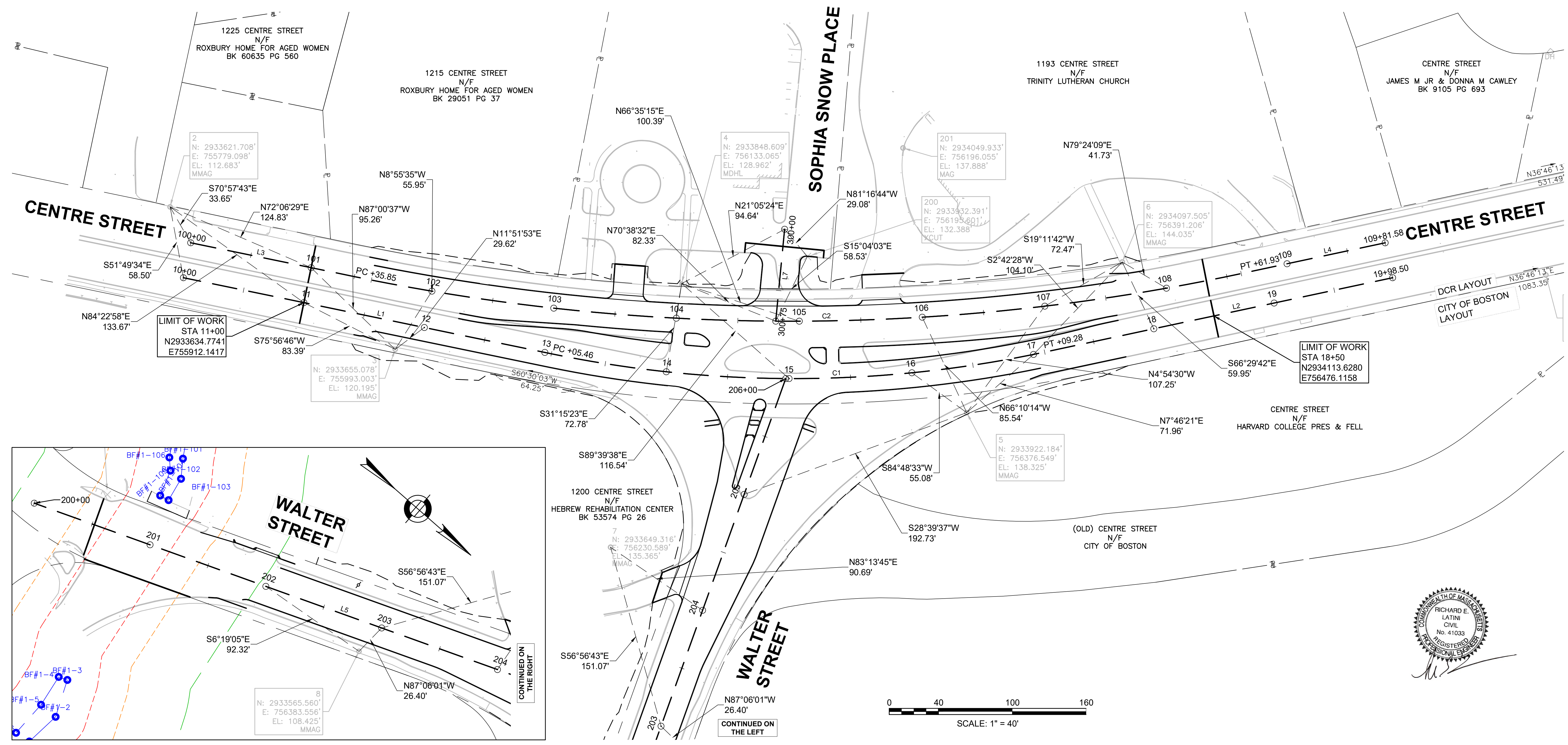
**CONSTRUCTION BASELINE TIES**  
**SHEET 1 OF 1**

CENTRE ST NB CONSTRUCTION BASELINE DATA								
NUMBER	STARTING STATION	NORTHING	EASTING	CURVE DATA	LINE DATA	ENDING STATION	NORTHING	EASTING
L1	10+00.00	2933585.533	755825.105		N60°30'03"E 305.46'	13+05.46	2933735.945	756090.965
C1	13+05.46	2933735.945	756090.965	R=975.00' Δ=23°43'49" L=403.82' T=204.85'		17+09.28	2934000.904	756391.879
L2	17+09.28	2934000.904	756391.879		N36°46'13"E 289.23'	19+98.50	2934232.586	756565.011

CENTRE ST SB CONSTRUCTION BASELINE DATA								
NUMBER	STARTING STATION	NORTHING	EASTING	CURVE DATA	LINE DATA	ENDING STATION	NORTHING	EASTING
L3	100+00.00	2933610.801	755810.874		N60°30'03"E 135.85'	101+35.85	2933677.697	755929.116
C2	101+35.85	2933677.697	755929.116	R=1753.00' Δ=23°43'53" L=726.08' T=368.32'		108+61.93	2934154.106	756470.162
L4	108+61.93	2934154.106	756470.162		N36°46'09"E 119.64'	109+81.58	2934249.947	756541.779

SOPHIA SNOW DWY CONSTRUCTION BASELINE DATA								
NUMBER	STARTING STATION	NORTHING	EASTING	CURVE DATA	LINE DATA	ENDING STATION	NORTHING	EASTING
L7	300+00.00	2933936.874	756167.074		S35°38'14"E 75.00'	300+75.00	2933875.920	756210.773

WALTER ST CONSTRUCTION BASELINE DATA								
NUMBER	STARTING STATION	NORTHING	EASTING	CURVE DATA	LINE DATA	ENDING STATION	NORTHING	EASTING
L5	200+00.00	2933287.631	756466.757		N21°25'27"W 600.00'	206+00.00	2933846.172	756247.594



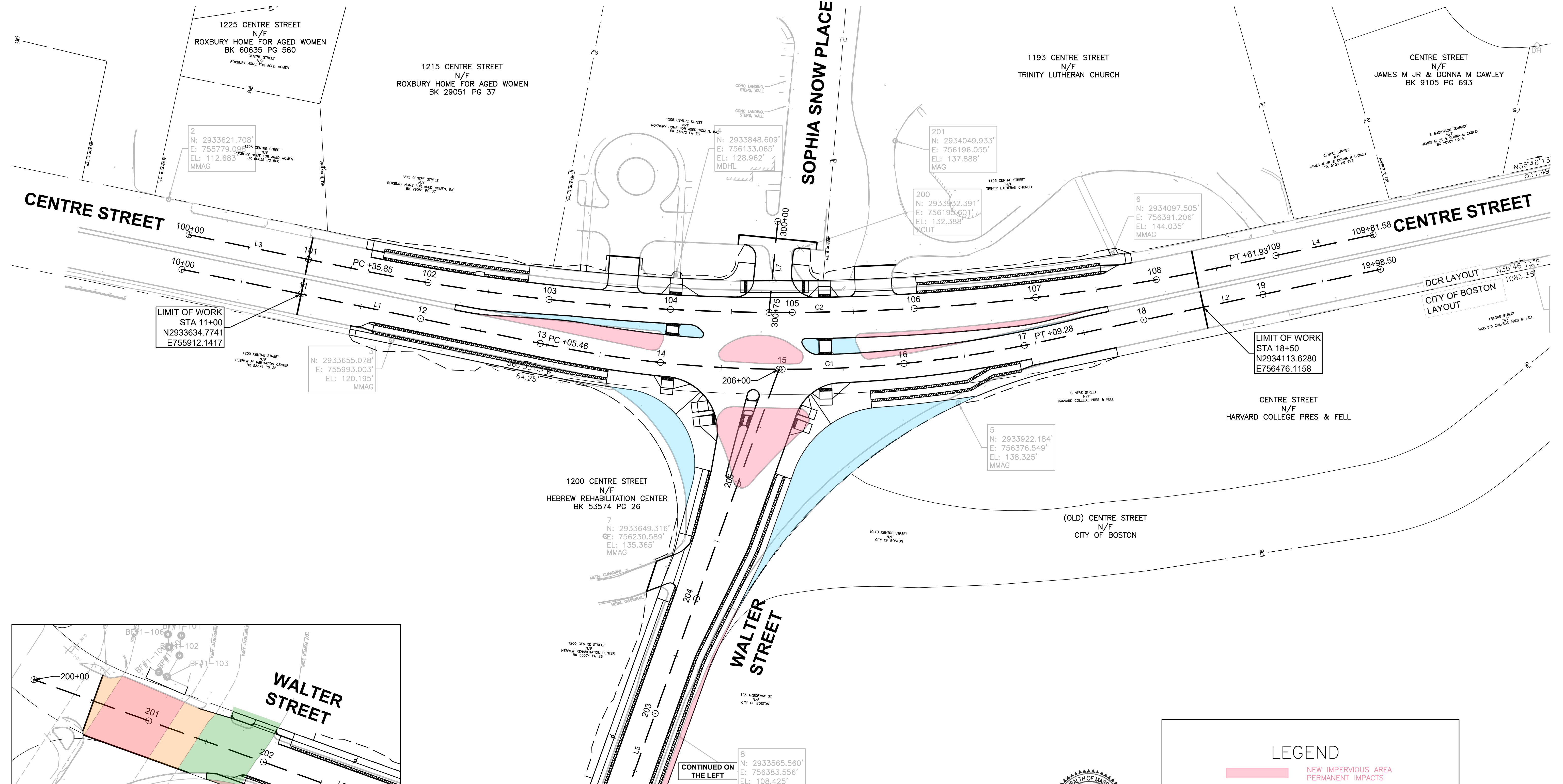
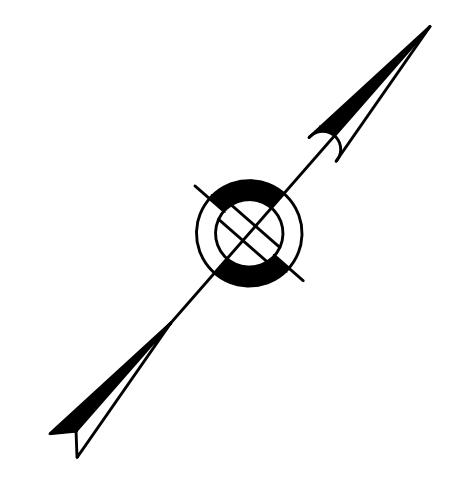


**BOSTON**  
**CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	11	27

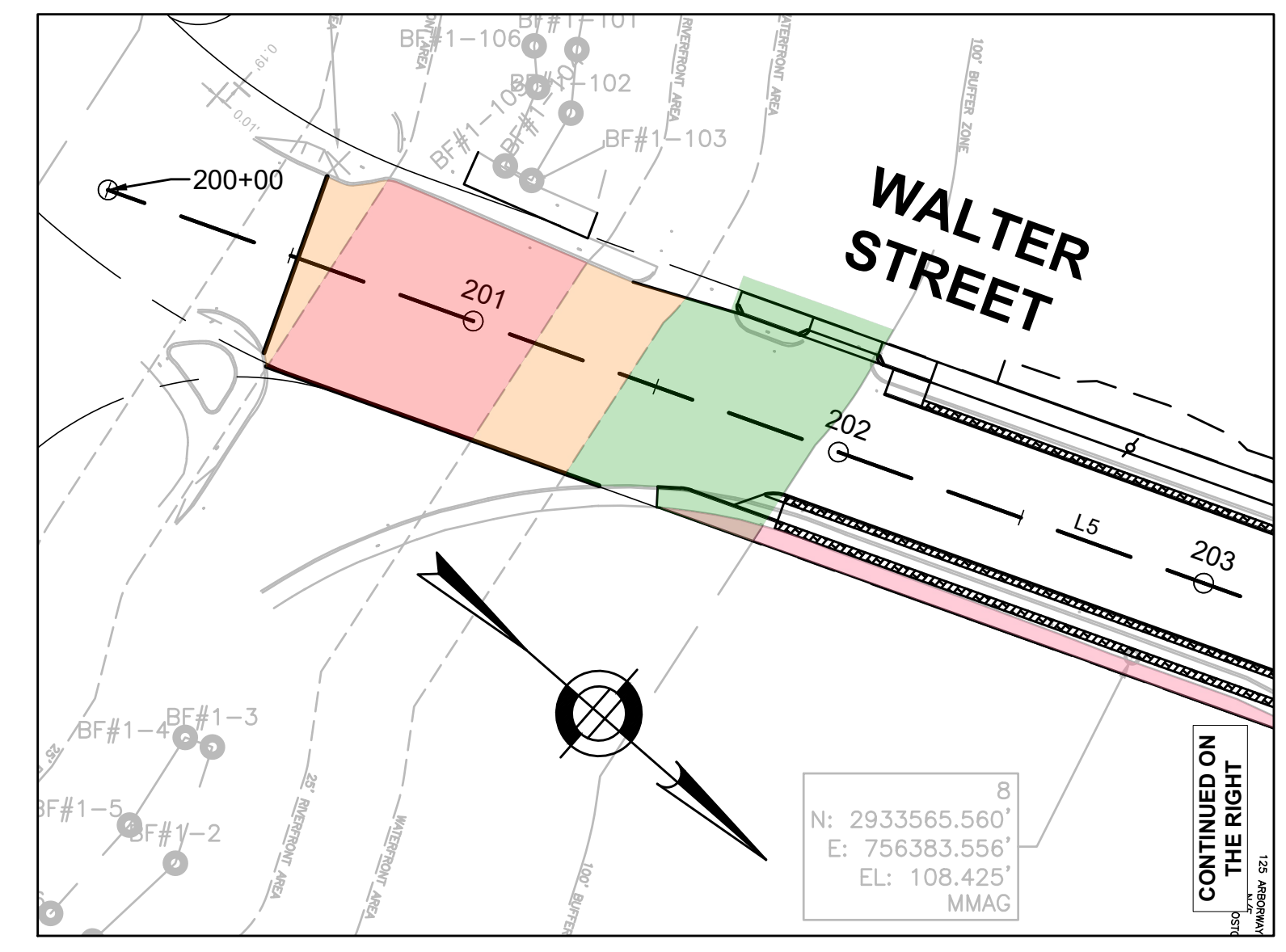
PROJECT FILE NO. 2017243.03

**ALTERATION PLAN**



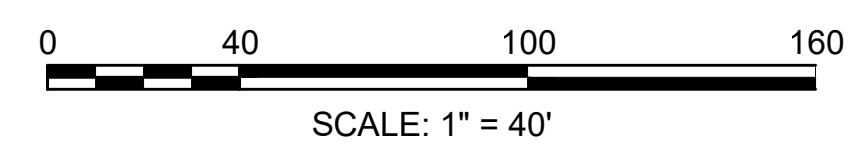
LIMIT OF WORK  
STA 11+00  
N2933634.7741  
E755912.1417

LIMIT OF WORK  
STA 18+50  
N2934113.6280  
E756476.1158



**LEGEND**

- NEW IMPERVIOUS AREA  
PERMANENT IMPACTS
- NEW PERVIOUS AREA  
TEMP IMPACTS
- 25' RIVERFRONT AREA  
TEMP IMPACTS
- WATERFRONT AREA  
TEMP IMPACTS
- 100' BUFFER ZONE  
TEMP IMPACTS

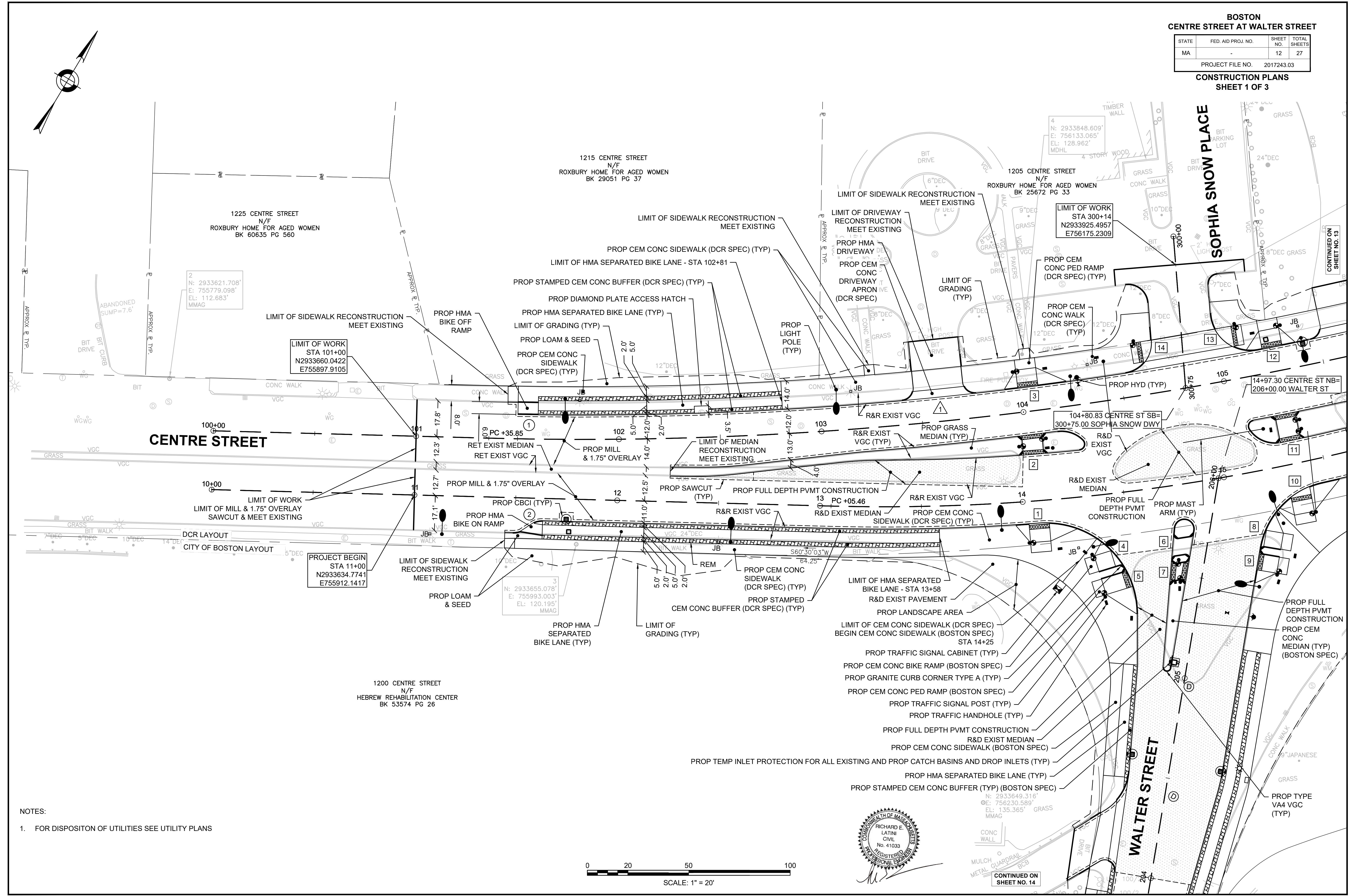




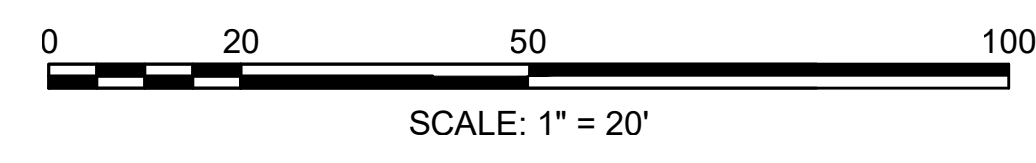
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	12	27

SOPHIA SNOW PLACE

17243.03\_ENV\NOI CONST PLAN\DWG  
Plotted on: 28-Sep-2022 10:33 AM



NOTES:  
1. FOR DISPOSITION OF UTILITIES SEE UTILITY PLANS



CONTINUED ON  
SHEET NO. 14

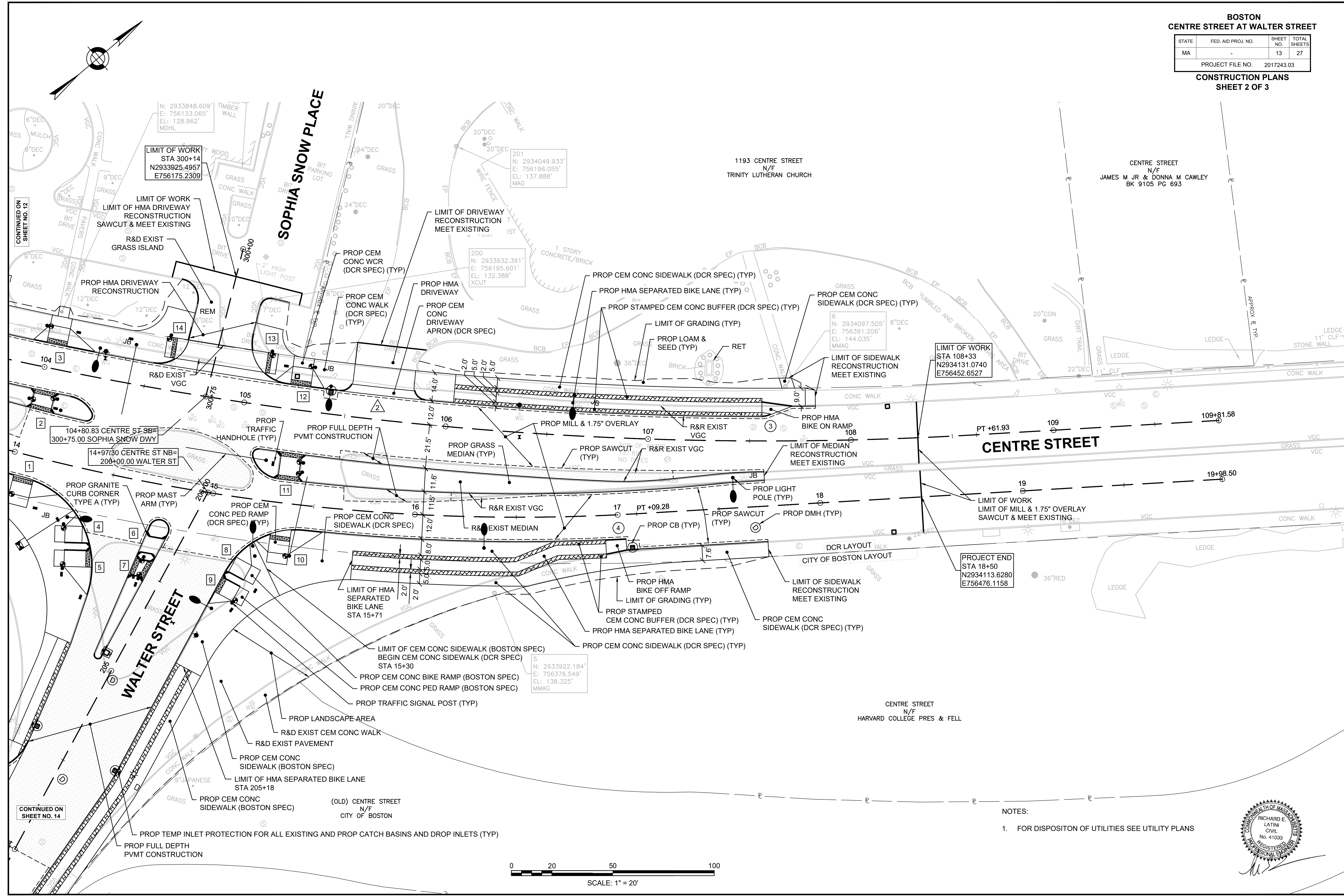
CONTINUED ON  
SHEET NO. 13



**BOSTON**  
**CENTRE STREET AT WALTER STREET**

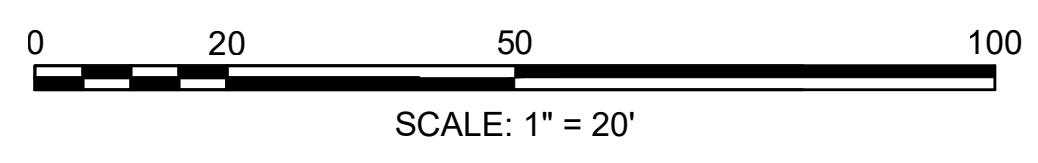
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	13	27

PROJECT FILE NO. 2017243.03  
**CONSTRUCTION PLANS**  
**SHEET 2 OF 3**



CONTINUED ON SHEET NO. 12

CONTINUED ON SHEET NO. 14



- NOTES:
- FOR DISPOSITION OF UTILITIES SEE UTILITY PLANS

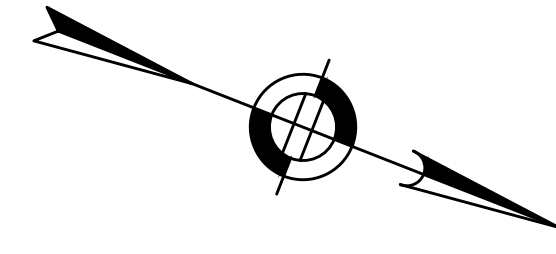




**BOSTON  
CENTRE STREET AT WALTER STREET**

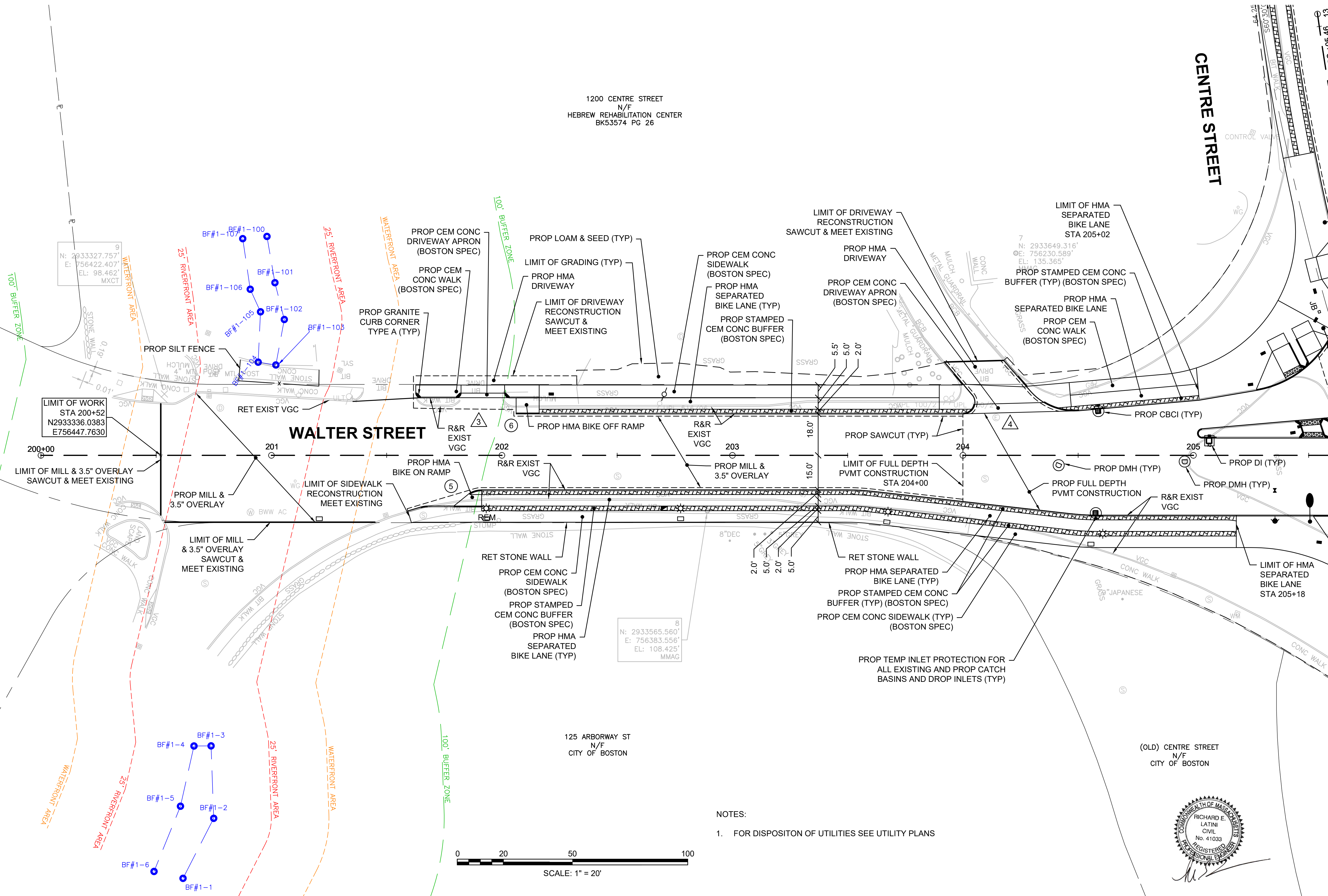
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	14	27

PROJECT FILE NO. 2017243.03  
**CONSTRUCTION PLANS  
SHEET 3 OF 3**



1200 CENTRE STREET  
N/F  
HEBREW REHABILITATION CENTER  
BK53574 PG 26

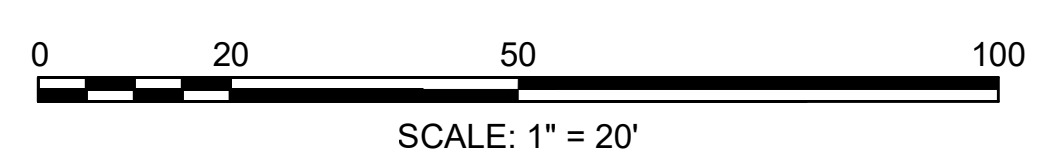
**CENTRE STREET**



LIMIT OF WORK  
STA 200+52  
N2933336.0383  
E756447.7630

N: 2933565.560'  
E: 756383.556'  
EL: 108.425'  
MMAG

- NOTES:  
1. FOR DISPOSITION OF UTILITIES SEE UTILITY PLANS



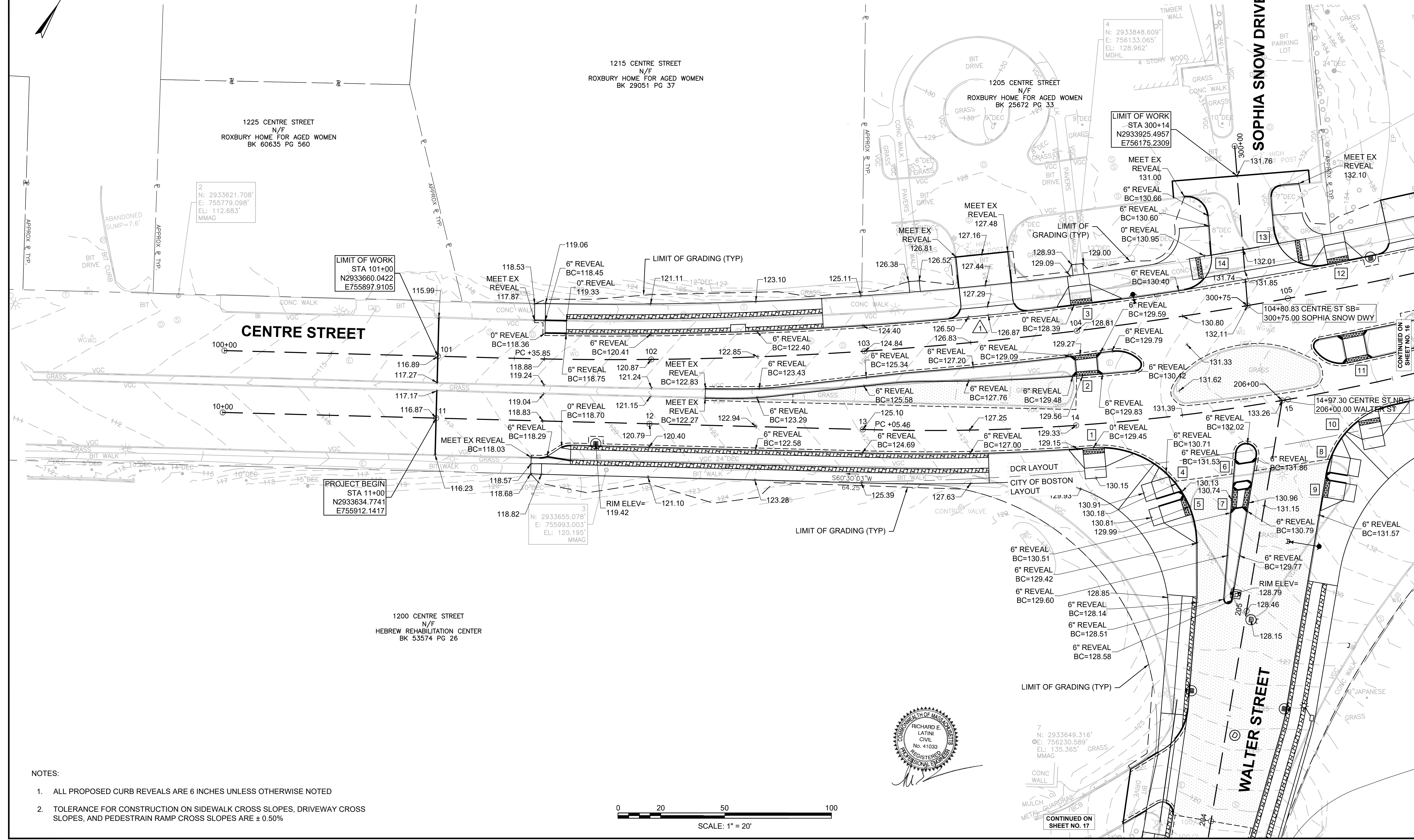
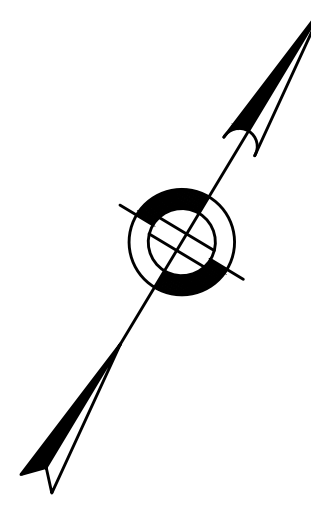


**BOSTON**  
**CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	15	27

**GRADING PLANS**  
**SHEET 1 OF 3**

PROJECT FILE NO. 2017243.03



**LIMIT OF WORK**  
STA 101+00  
N2933660.0422  
E755897.9105

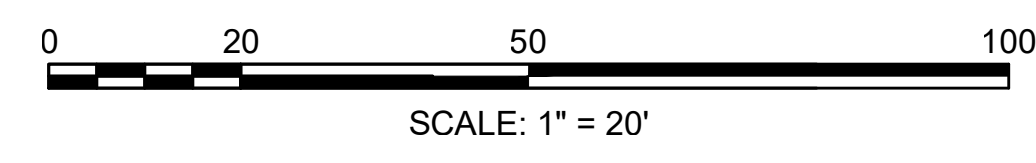
**PROJECT BEGIN**  
STA 11+00  
N2933634.7741  
E755912.1417

**LIMIT OF WORK**  
STA 300+14  
N2933925.4957  
E756175.2309

**3**  
N: 2933655.078'  
E: 755993.003'  
EL: 120.195'  
MMAG



- NOTES:**
1. ALL PROPOSED CURB REVEALS ARE 6 INCHES UNLESS OTHERWISE NOTED
  2. TOLERANCE FOR CONSTRUCTION ON SIDEWALK CROSS SLOPES, DRIVEWAY CROSS SLOPES, AND PEDESTRAIN RAMP CROSS SLOPES ARE ± 0.50%



**CONTINUED ON**  
**SHEET NO. 17**



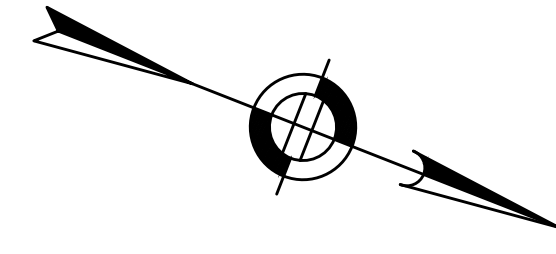




**BOSTON**  
**CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	17	27

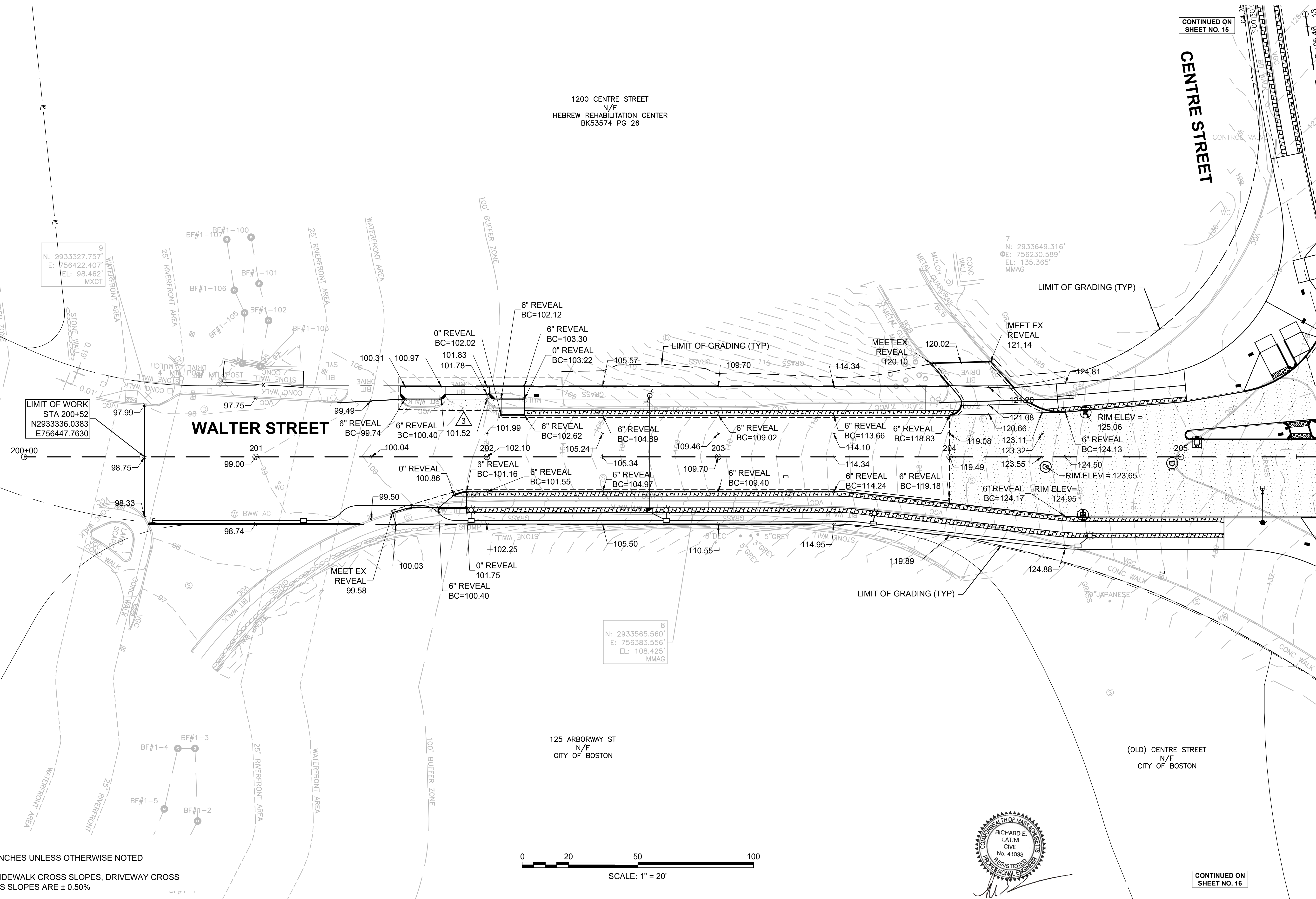
PROJECT FILE NO. 2017243.03  
**GRADING PLANS**  
**SHEET 3 OF 3**



1200 CENTRE STREET  
 N/F  
 HEBREW REHABILITATION CENTER  
 BK53574 PG 26

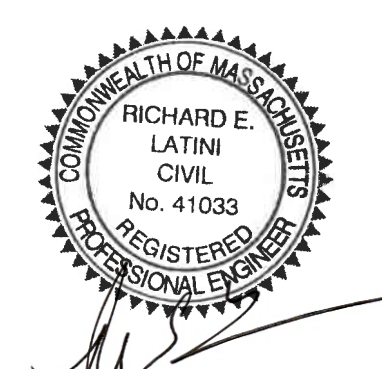
CONTINUED ON  
 SHEET NO. 15

**CENTRE STREET**

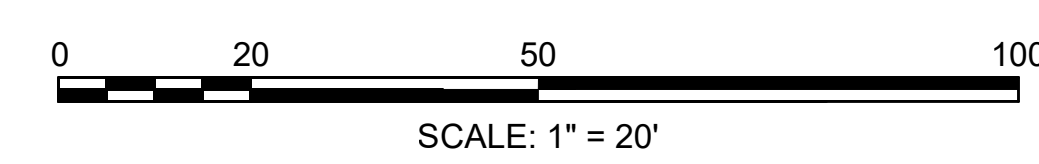


LIMIT OF WORK  
 STA 200+52  
 N2933336.0383  
 E756447.7630

8  
 N: 2933565.560'  
 E: 756383.556'  
 EL: 108.425'  
 MMAG



- NOTES:
1. ALL PROPOSED CURB REVEALS ARE 6 INCHES UNLESS OTHERWISE NOTED
  2. TOLERANCE FOR CONSTRUCTION ON SIDEWALK CROSS SLOPES, DRIVEWAY CROSS SLOPES, AND PEDESTRAIN RAMP CROSS SLOPES ARE ± 0.50%



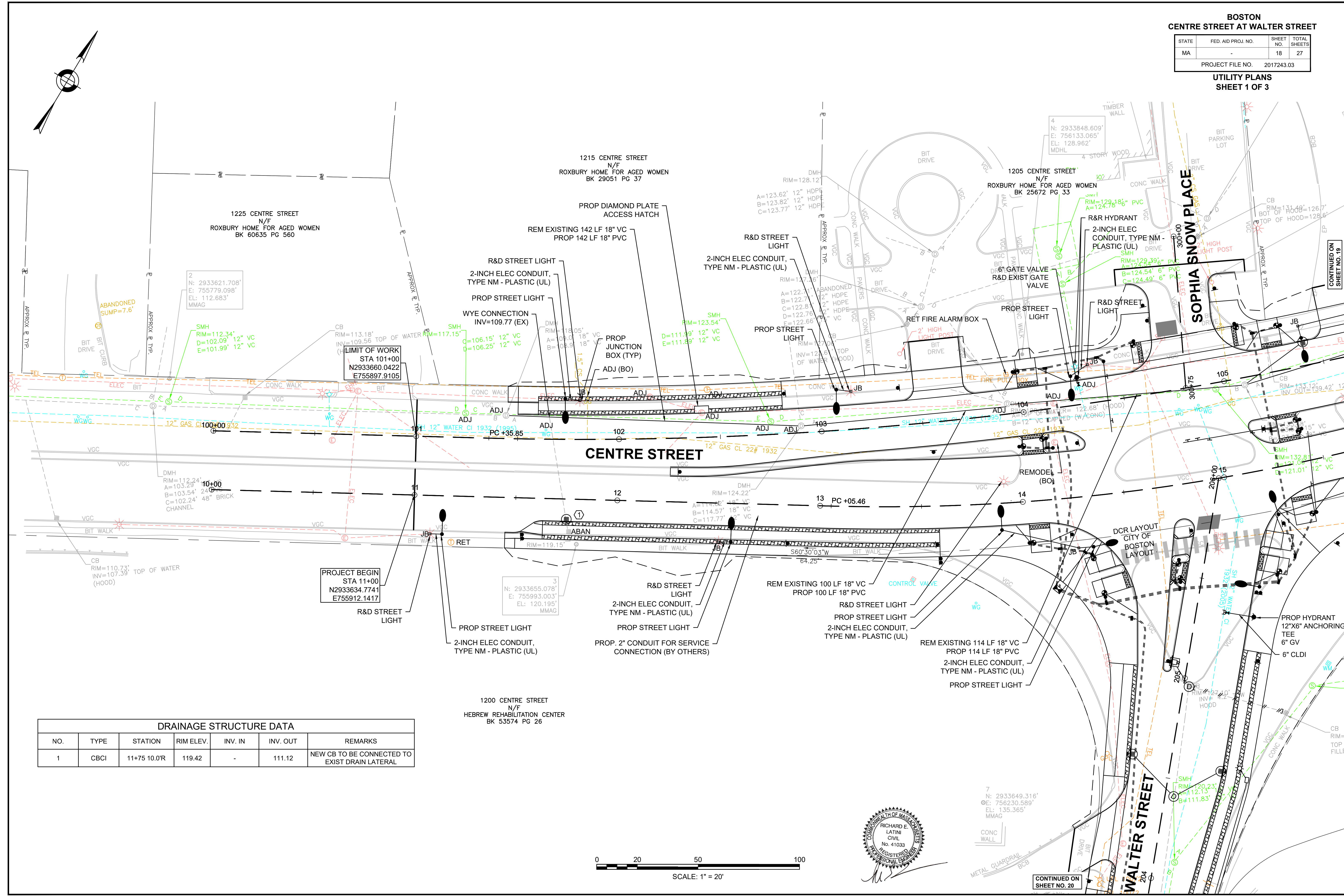
CONTINUED ON  
 SHEET NO. 16



**BOSTON**  
**CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	18	27
PROJECT FILE NO. 2017243.03			

**UTILITY PLANS**  
**SHEET 1 OF 3**

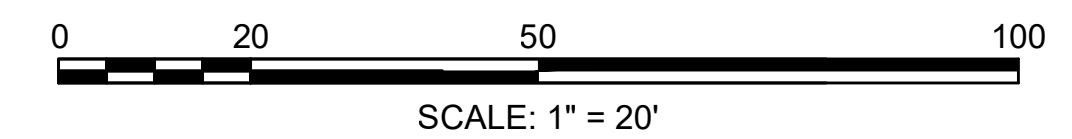


**LIMIT OF WORK**  
 STA 101+00  
 N2933660.0422  
 E755897.9105

**PROJECT BEGIN**  
 STA 11+00  
 N2933634.7741  
 E755912.1417

3  
 N: 2933655.078'  
 E: 755993.003'  
 EL: 120.195'  
 MMAG

DRAINAGE STRUCTURE DATA						
NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
1	CBCI	11+75 10.0'R	119.42	-	111.12	NEW CB TO BE CONNECTED TO EXIST DRAIN LATERAL



CONTINUED ON  
 SHEET NO. 20

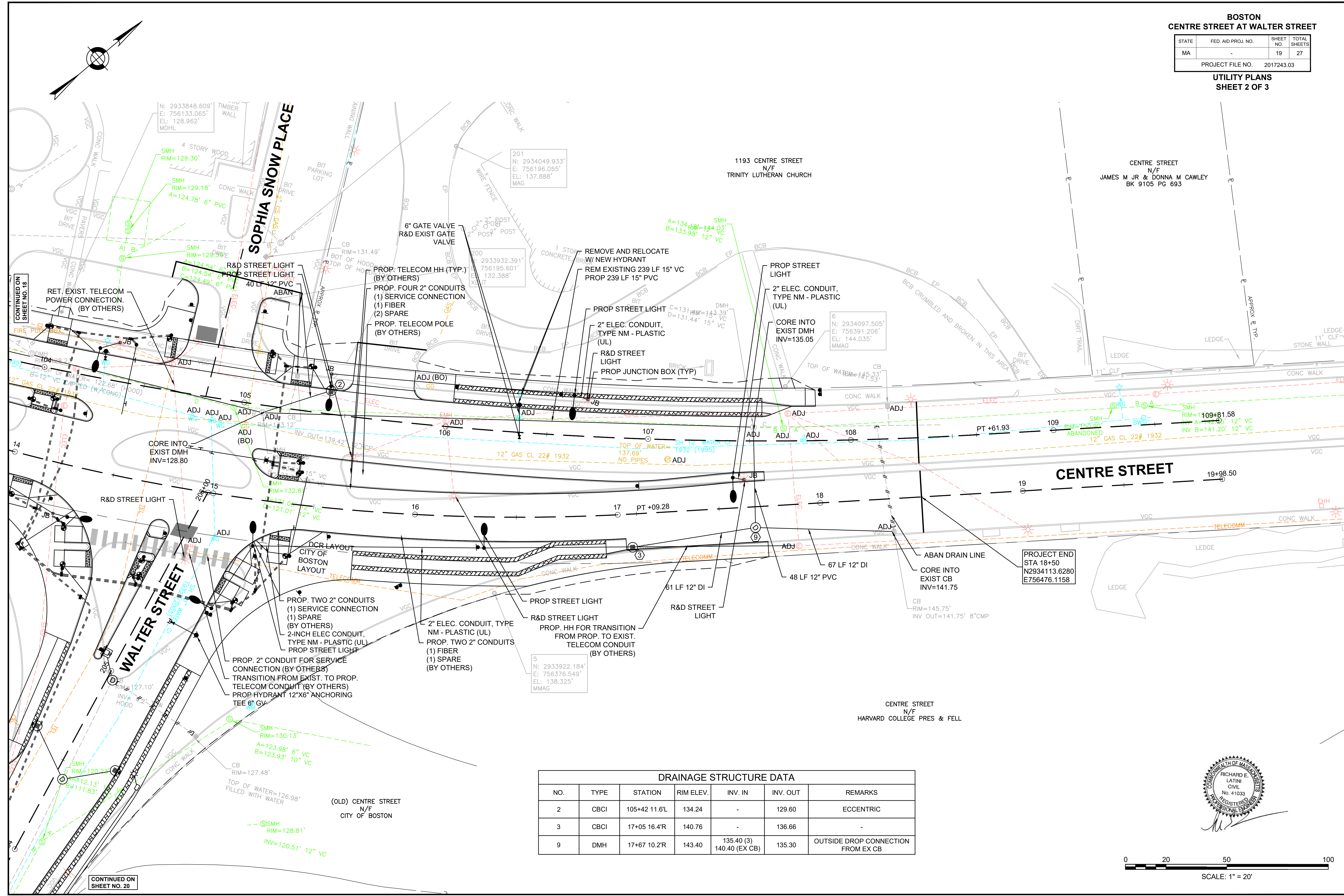
CONTINUED ON  
 SHEET NO. 19



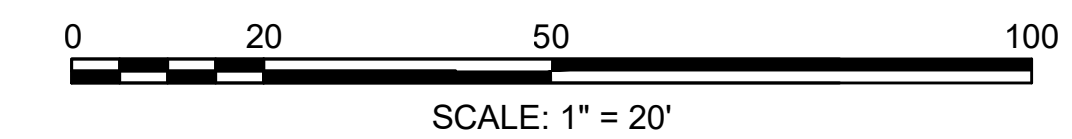
**BOSTON**  
**CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	19	27
PROJECT FILE NO.		2017243.03	

**UTILITY PLANS**  
**SHEET 2 OF 3**



NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
2	CBCI	105+42 11.6'L	134.24	-	129.60	ECCENTRIC
3	CBCI	17+05 16.4'R	140.76	-	136.66	-
9	DMH	17+67 10.2'R	143.40	135.40 (3) 140.40 (EX CB)	135.30	OUTSIDE DROP CONNECTION FROM EX CB



17243.03 - Centre St. at Walter Street (UTILITY PLANS) (DWG) 9/28/2022 10:34:21 AM

17243.03 - ENVI(0) UTILITY PLANS.DWG Plotted on 6-Mar-2019 3:10 PM



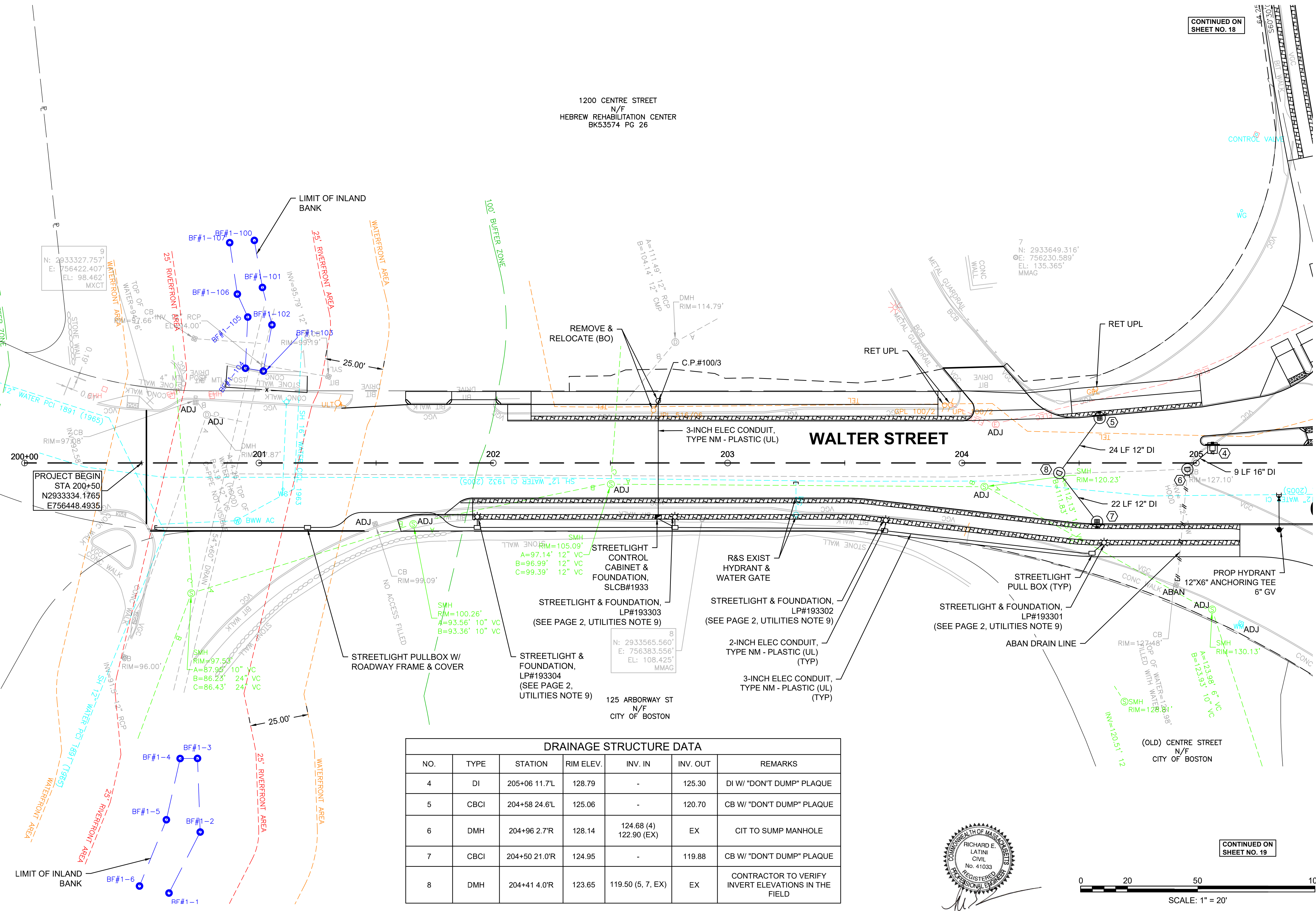
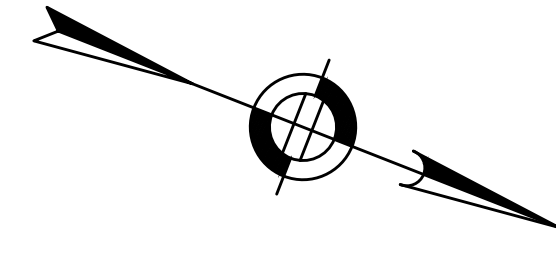
**BOSTON**  
**CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	20	27
PROJECT FILE NO.		2017243.03	

**UTILITY PLANS**  
**SHEET 3 OF 3**

CONTINUED ON  
SHEET NO. 18

1200 CENTRE STREET  
N/F  
HEBREW REHABILITATION CENTER  
BK53574 PG 26



N: 2933327.757'  
E: 756422.407'  
EL: 98.462'  
MXCT

PROJECT BEGIN  
STA 200+50  
N2933334.1765  
E756448.4935

7  
N: 2933649.316'  
E: 756230.589'  
EL: 135.365'  
MMAG

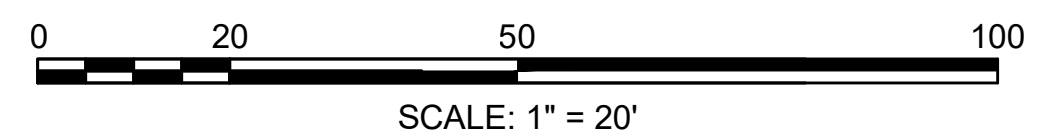
A=97.14' 12" VC  
B=96.99' 12" VC  
C=99.39' 12" VC

N: 2933565.560'  
E: 756383.556'  
EL: 108.425'  
MMAG

A=123.98' 6" VC  
B=123.93' 10" VC  
RIM=130.13'

**DRAINAGE STRUCTURE DATA**

NO.	TYPE	STATION	RIM ELEV.	INV. IN	INV. OUT	REMARKS
4	DI	205+06 11.7'L	128.79	-	125.30	DI W/ "DON'T DUMP" PLAQUE
5	CBCI	204+58 24.6'L	125.06	-	120.70	CB W/ "DON'T DUMP" PLAQUE
6	DMH	204+96 2.7'R	128.14	124.68 (4) 122.90 (EX)	EX	CIT TO SUMP MANHOLE
7	CBCI	204+50 21.0'R	124.95	-	119.88	CB W/ "DON'T DUMP" PLAQUE
8	DMH	204+41 4.0'R	123.65	119.50 (5, 7, EX)	EX	CONTRACTOR TO VERIFY INVERT ELEVATIONS IN THE FIELD



CONTINUED ON  
SHEET NO. 19



**LANDSCAPE LEGEND**

SYM	TAG	DETAIL	DESCRIPTION
<b>PROPOSED CONDITIONS</b>			
	A1	1/ LD 57	SEEDED LAWN
	A2	2/ LD 57	SEEDED LAWN- AT ARNOLD ARBORETUM; SOIL TO BE PROVIDED AND INSTALL TO BE OVERSEEN BY ARBORETUM
	A3	4/ LD 57	RELOCATED ARBORETUM SIGN - SIGN TO BE STAKED AND APPROVED BY ARNOLD ARBORETUM PRIOR TO INSTALLATION
	A4	7/ LD 57	TREE PROTECTION FENCE
	A5	8/ LD 57	TREE PLANTING IN LAWN
	A6	3/ LD 57	BOULDER IN SEEDED LAWN

**PLANTING NOTES**

- LANDSCAPE ARCHITECT TO APPROVE PLANT MATERIAL AT THE NURSERY AND AGAIN AT SITE PRIOR TO PLANTING.
- PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY AMERICANHORT (WWW.AMERICANHORT.ORG).
- NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICT TO LANDSCAPE ARCHITECT.
- PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
- NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
- PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION. ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE OR TOP OF STRUCTURAL SOIL. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
- PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
- LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE.
- DO NOT USE TREE WRAP.
- REMOVE TOP 2/3 OF WIRE BASKETS. REMOVE TOP 2/3 OF BURLAP. SYNTHETIC BURLAP WILL NOT BE ACCEPTED. FOR CONTAINER PLANTS, REMOVE CONTAINER AND SCARIFY EDGES OF ROOT BALL 1/2" DEEP IN A MINIMUM OF FOUR LOCATIONS.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.
- RAISE AND REPLANT PLANTS THAT SETTLE AFTER PLANTING AND WATERING.
- CONTRACTOR TO TOP DRESS ALL DISTURBED AREAS WITH LAWN SOIL (MIN 1") AND SEED LAWN SEED TO LIMIT OF DISTURBANCE.
- CENTERLINE OF TREES TO BE PLACED 10'-0" MINIMUM DISTANCE FROM UNDERGROUND UTILITIES

**BOSTON  
CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	21	27

PROJECT FILE NO. 2017243.03

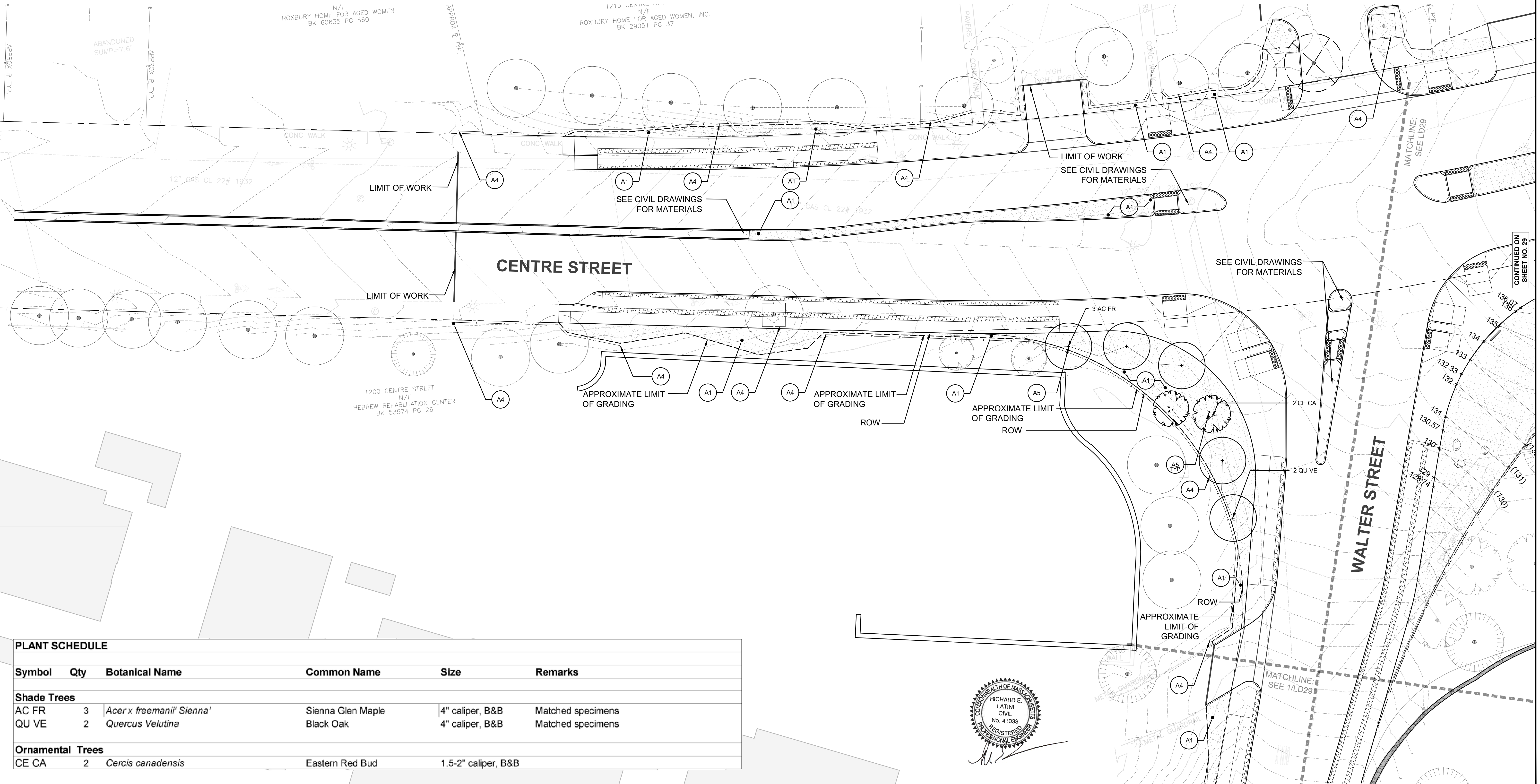
**LANDSCAPE PLAN  
SHEET 1 OF 2**

**GENERAL NOTES**

- NO EQUIPMENT SHALL BE DRIVEN OR STORED IN LAWN AREAS OF THE ARNOLD ARBORETUM

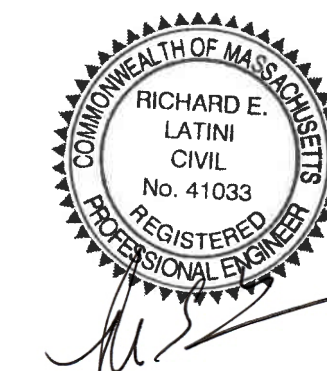
**GRADING NOTES**

- LANDSCAPE PLAN INDICATES PROPOSED CONTOURS/GRADING INFORMATION FOR THE LANDSCAPE AREA AT THE SOUTHEAST CORNER OF THE CENTRE STREET AND WALTER STREET INTERSECTION ONLY. SEE CIVIL PLANS FOR ADDITIONAL GRADING INFORMATION.
- GRADE EVENLY BETWEEN CONTOURS.
- VERIFY EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION OF ANY TYPE.
- FINAL SHAPING OF EARTHWORK TO BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT AND OWNER. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ROUGH GRADING PRIOR TO FINE GRADING OPERATIONS.



**PLANT SCHEDULE**

Symbol	Qty	Botanical Name	Common Name	Size	Remarks
<b>Shade Trees</b>					
AC FR	3	<i>Acer x freemanii</i> 'Sienna'	Sienna Glen Maple	4" caliper, B&B	Matched specimens
QU VE	2	<i>Quercus Velutina</i>	Black Oak	4" caliper, B&B	Matched specimens
<b>Ornamental Trees</b>					
CE CA	2	<i>Cercis canadensis</i>	Eastern Red Bud	1.5-2" caliper, B&B	





**LANDSCAPE LEGEND**

SYM	TAG	DETAIL	DESCRIPTION
<b>PROPOSED CONDITIONS</b>			
	A1	1/ LD 57	SEEDED LAWN
	A2	2/ LD 57	SEEDED LAWN- AT ARNOLD ARBORETUM; SOIL TO BE PROVIDED AND INSTALL TO BE OVERSEEN BY ARBORETUM
	A3	4/ LD 57	RELOCATED ARBORETUM SIGN - SIGN TO BE STAKED AND APPROVED BY ARNOLD ARBORETUM PRIOR TO INSTALLATION
	A4	7/ LD 57	TREE PROTECTION FENCE
	A5	8/ LD 57	TREE PLANTING IN LAWN
	A6	3/ LD 57	BOULDER IN SEEDED LAWN

**PLANTING NOTES**

- LANDSCAPE ARCHITECT TO APPROVE PLANT MATERIAL AT THE NURSERY AND AGAIN AT SITE PRIOR TO PLANTING.
- PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY AMERICANHORT (WWW.AMERICANHORT.ORG).
- NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICT TO LANDSCAPE ARCHITECT.
- PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
- NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
- PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION. ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE OR TOP OF STRUCTURAL SOIL. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
- PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
- LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE.
- DO NOT USE TREE WRAP.
- REMOVE TOP 2/3 OF WIRE BASKETS. REMOVE TOP 2/3 OF BURLAP. SYNTHETIC BURLAP WILL NOT BE ACCEPTED. FOR CONTAINER PLANTS, REMOVE CONTAINER AND SCARIFY EDGES OF ROOT BALL 1/2" DEEP IN A MINIMUM OF FOUR LOCATIONS.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.
- RAISE AND REPLANT PLANTS THAT SETTLE AFTER PLANTING AND WATERING.
- CONTRACTOR TO TOP DRESS ALL DISTURBED AREAS WITH LAWN SOIL (MIN 1") AND SEED LAWN SEED TO LIMIT OF DISTURBANCE.
- CENTERLINE OF TREES TO BE PLACED 10'-0" MINIMUM DISTANCE FROM UNDERGROUND UTILITIES

**BOSTON  
CENTRE STREET AT WALTER STREET**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	22	27
PROJECT FILE NO.		2017243.03	

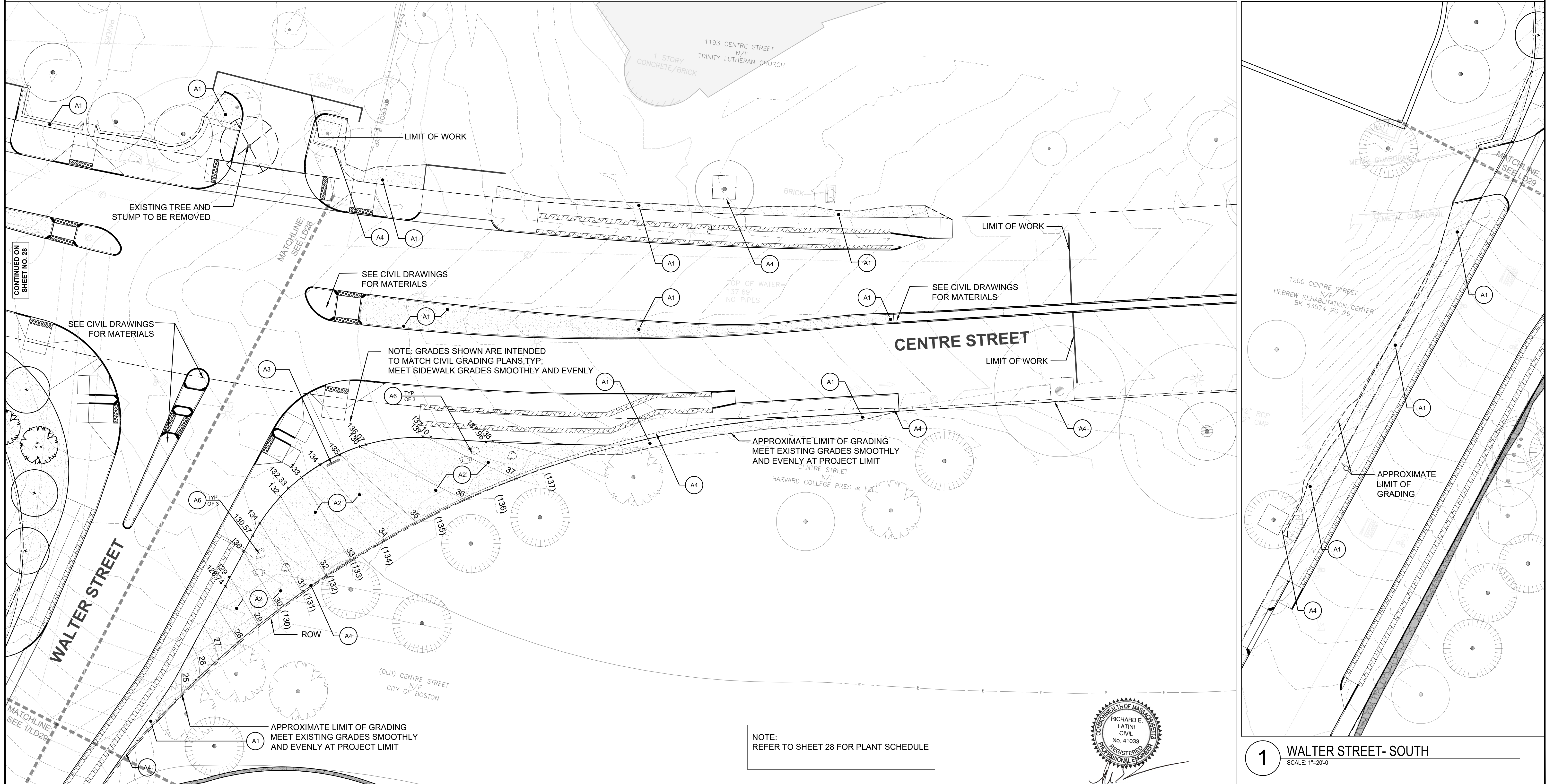
**LANDSCAPE PLAN  
SHEET 2 OF 2**

**GENERAL NOTES**

- NO EQUIPMENT SHALL BE DRIVEN OR STORED IN LAWN AREAS OF THE ARNOLD ARBORETUM

**GRADING NOTES**

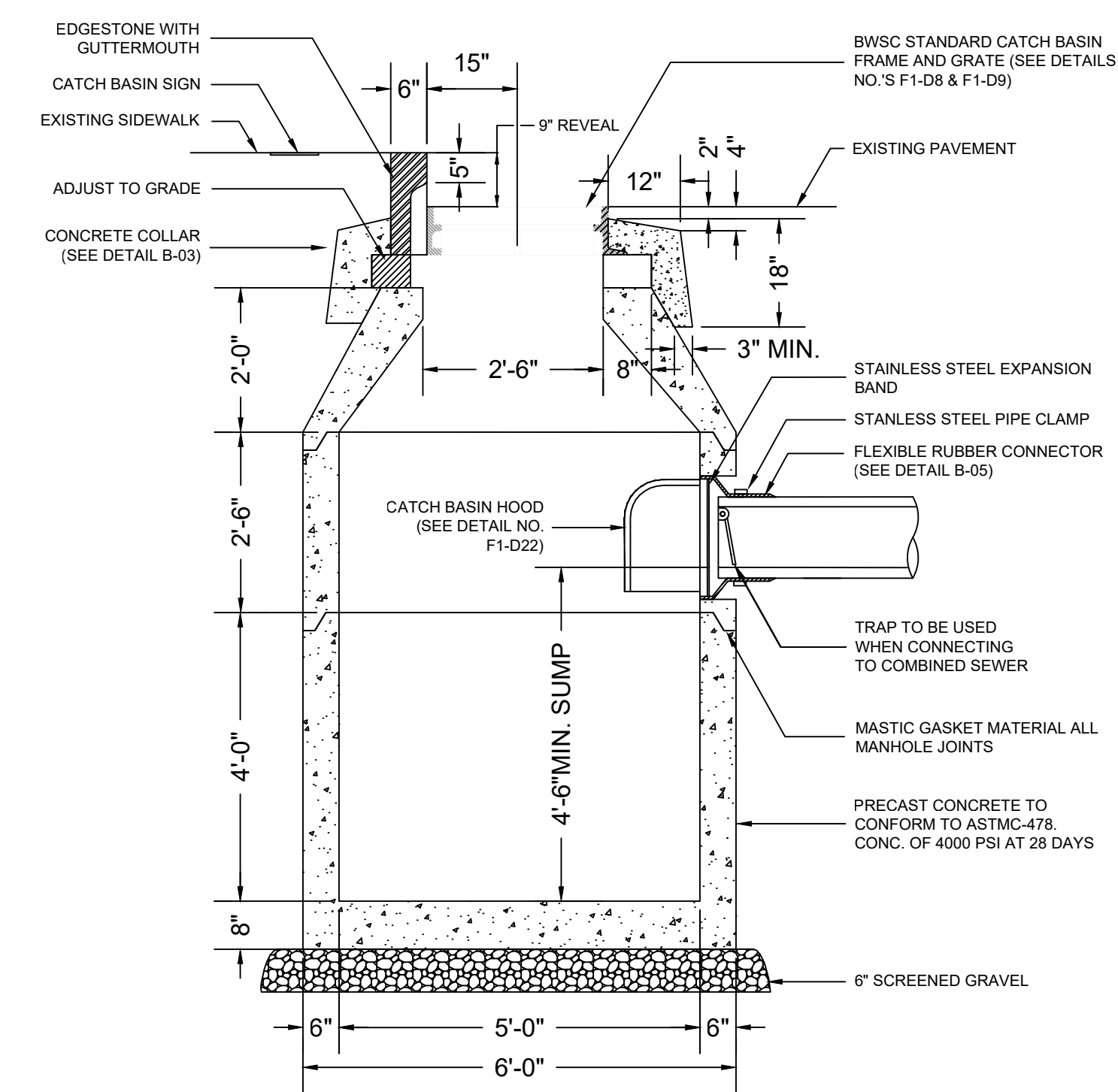
- LANDSCAPE PLAN INDICATES PROPOSED CONTOURS/GRADING INFORMATION FOR THE LANDSCAPE AREA AT THE SOUTHEAST CORNER OF THE CENTRE STREET AND WALTER STREET INTERSECTION ONLY. SEE CIVIL PLANS FOR ADDITIONAL GRADING INFORMATION.
- GRADE EVENLY BETWEEN CONTOURS.
- VERIFY EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION OF ANY TYPE.
- FINAL SHAPING OF EARTHWORK TO BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT AND OWNER. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ROUGH GRADING PRIOR TO FINE GRADING OPERATIONS.



**1 WALTER STREET- SOUTH**  
SCALE: 1"=20'-0"

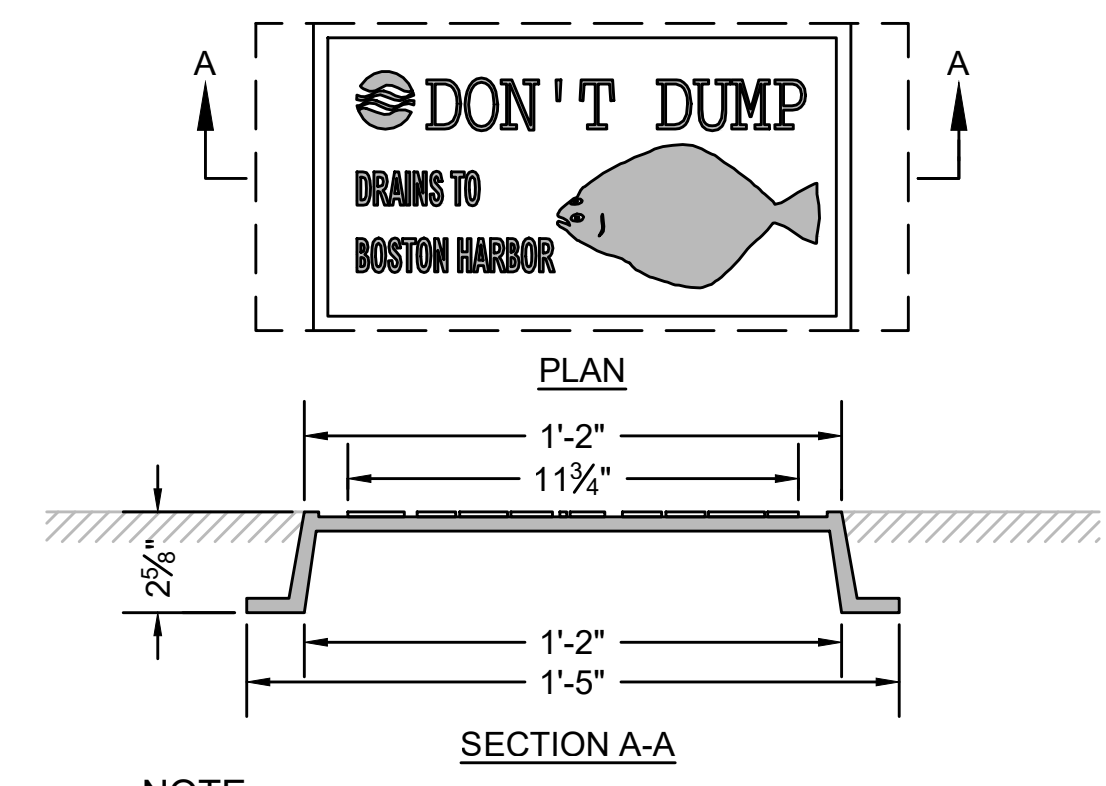


STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	23	27



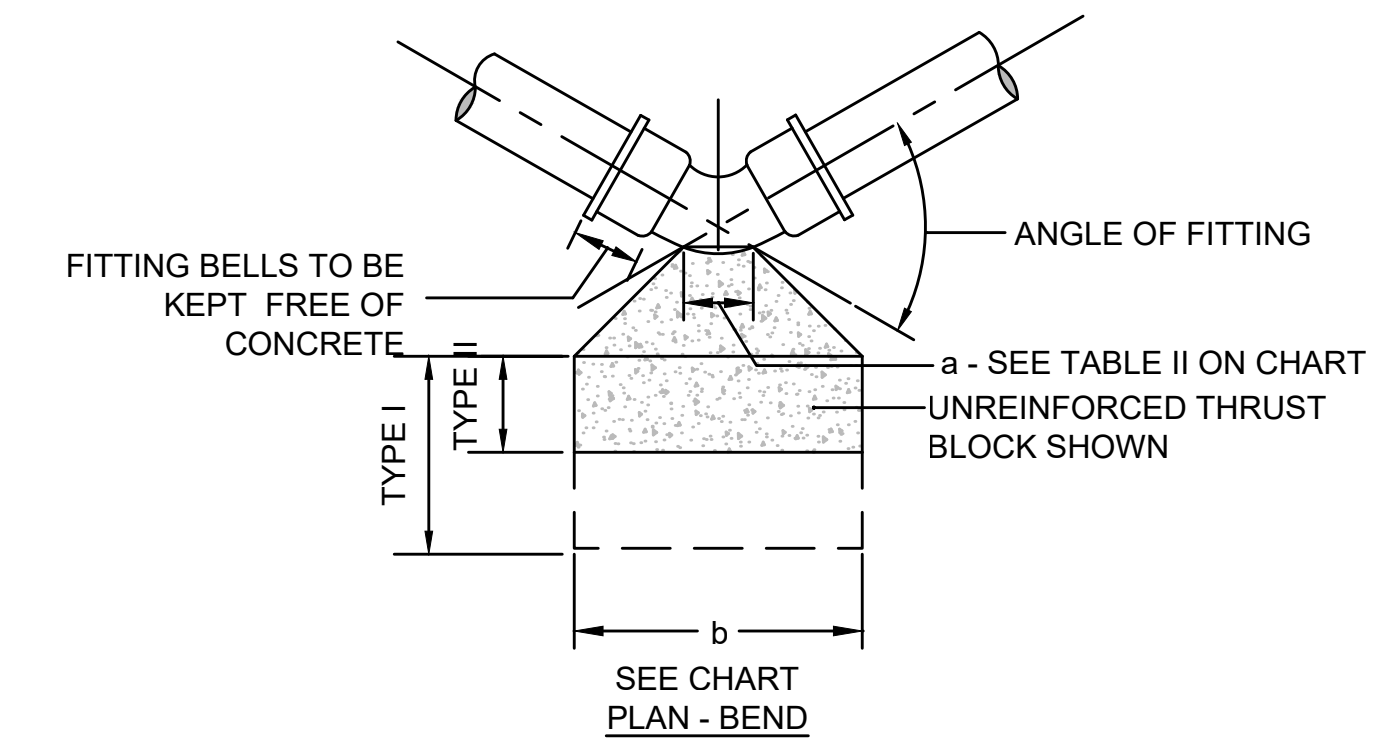
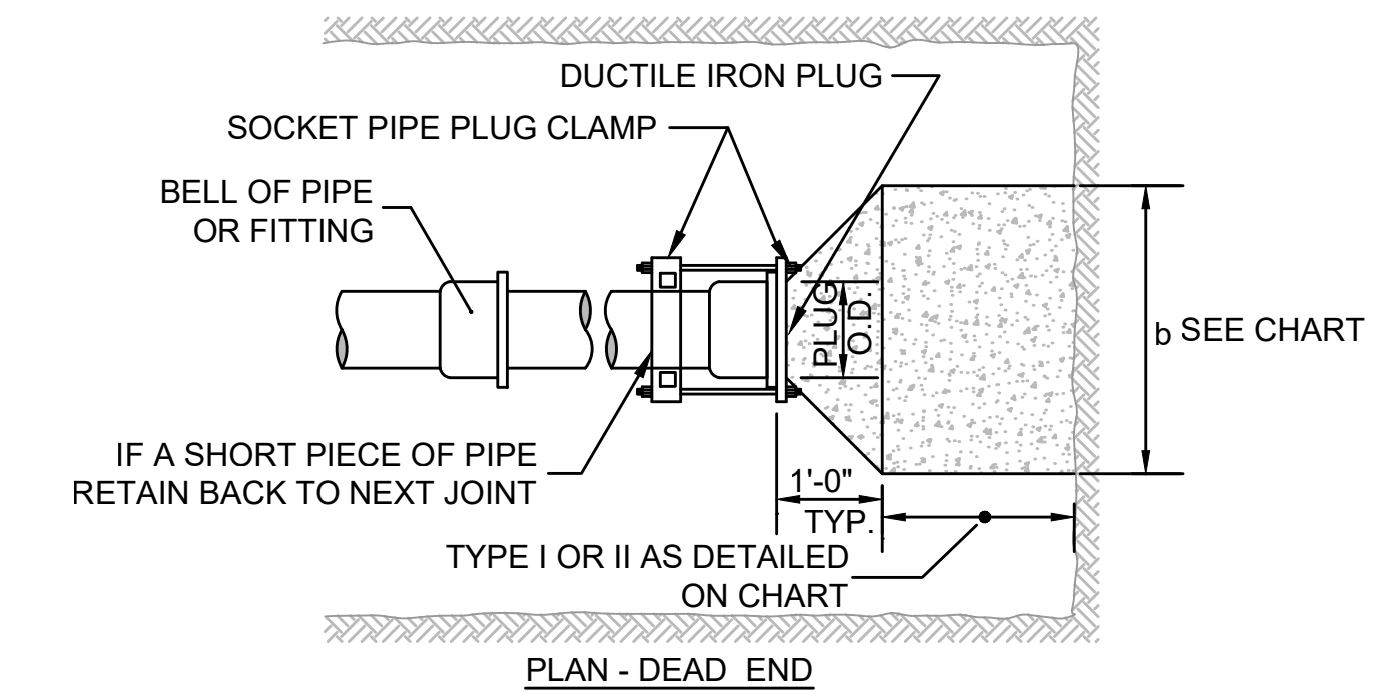
BWSC STANDARD EDGESTONE GUTTERMOUTH IS (72L X 6W X 181H) WITH 3" RADIUS INLET THROAT ROUNDING. MINIMUM WIDTH IS 6". ALL OTHER DIMENSIONS TOLERANCES TO ±1".

STANDARD CATCH BASIN NO.5 (B-01b)  
NOT TO SCALE

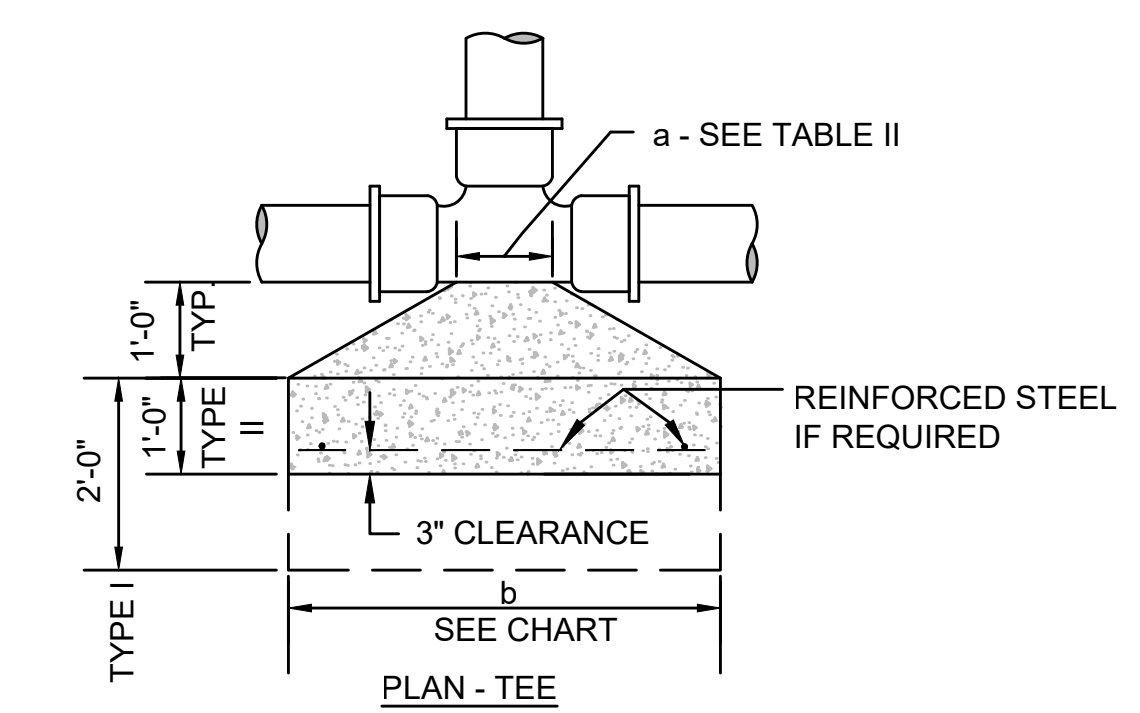


NOTE:  
CATCH BASIN SIGNS TO BE PROVIDED BY THE BOSTON WATER AND SEWER COMMISSION (BWSC).

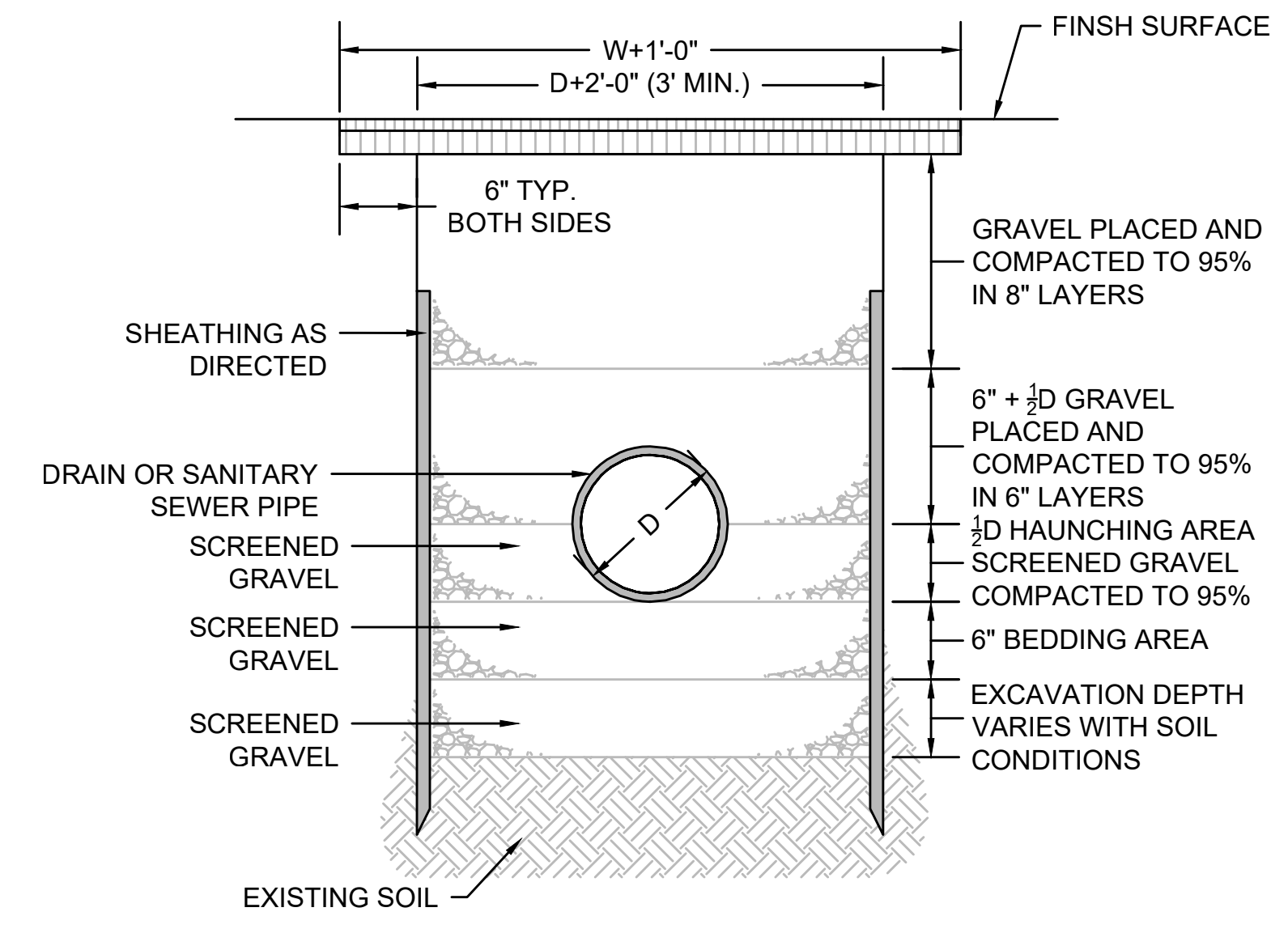
8X14 CATCH BASIN PLAQUE (F1-D23a)  
NOT TO SCALE



THRUST BLOCK (A-01a)  
NOT TO SCALE

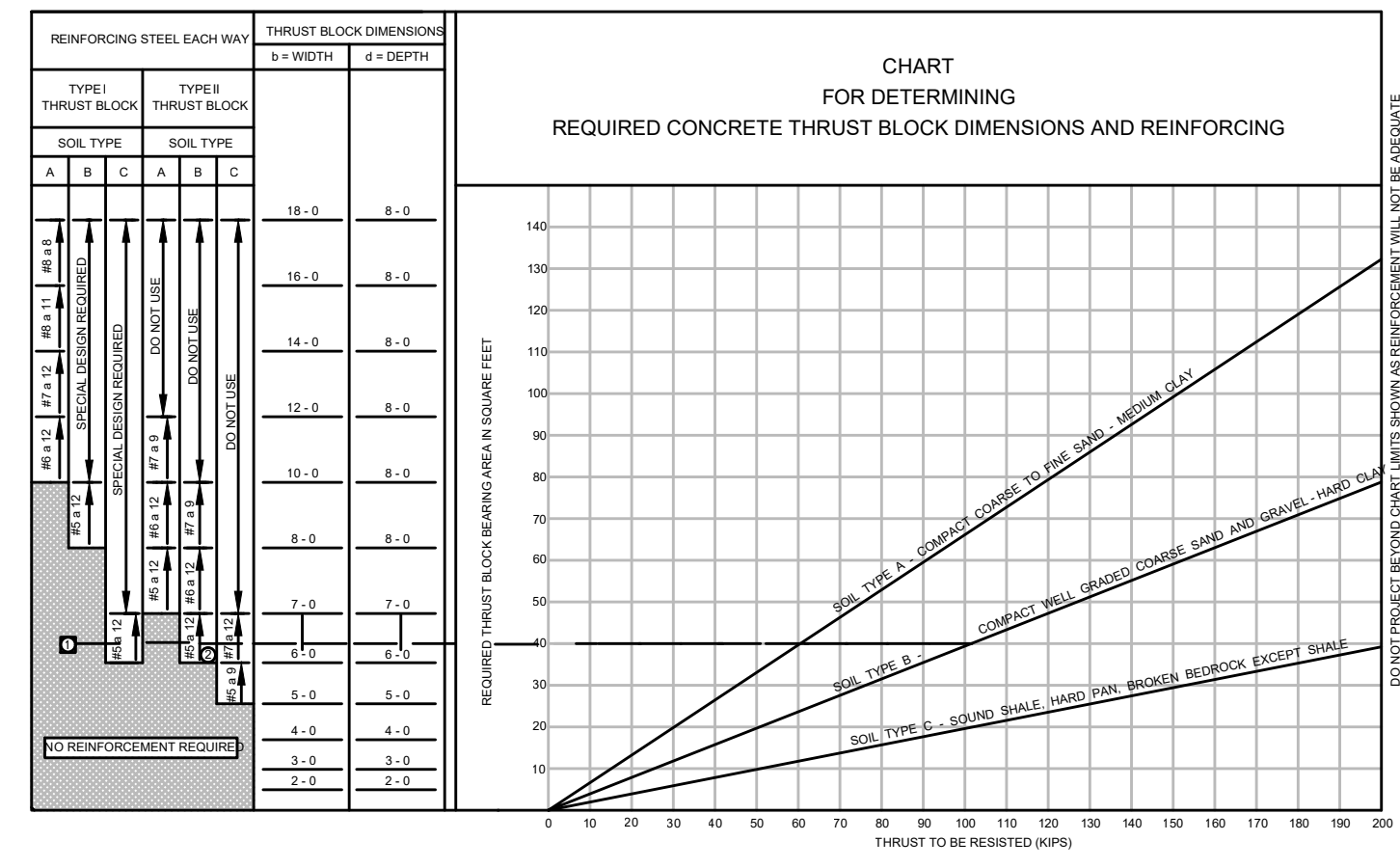


THRUST BLOCK (A-01a)  
NOT TO SCALE

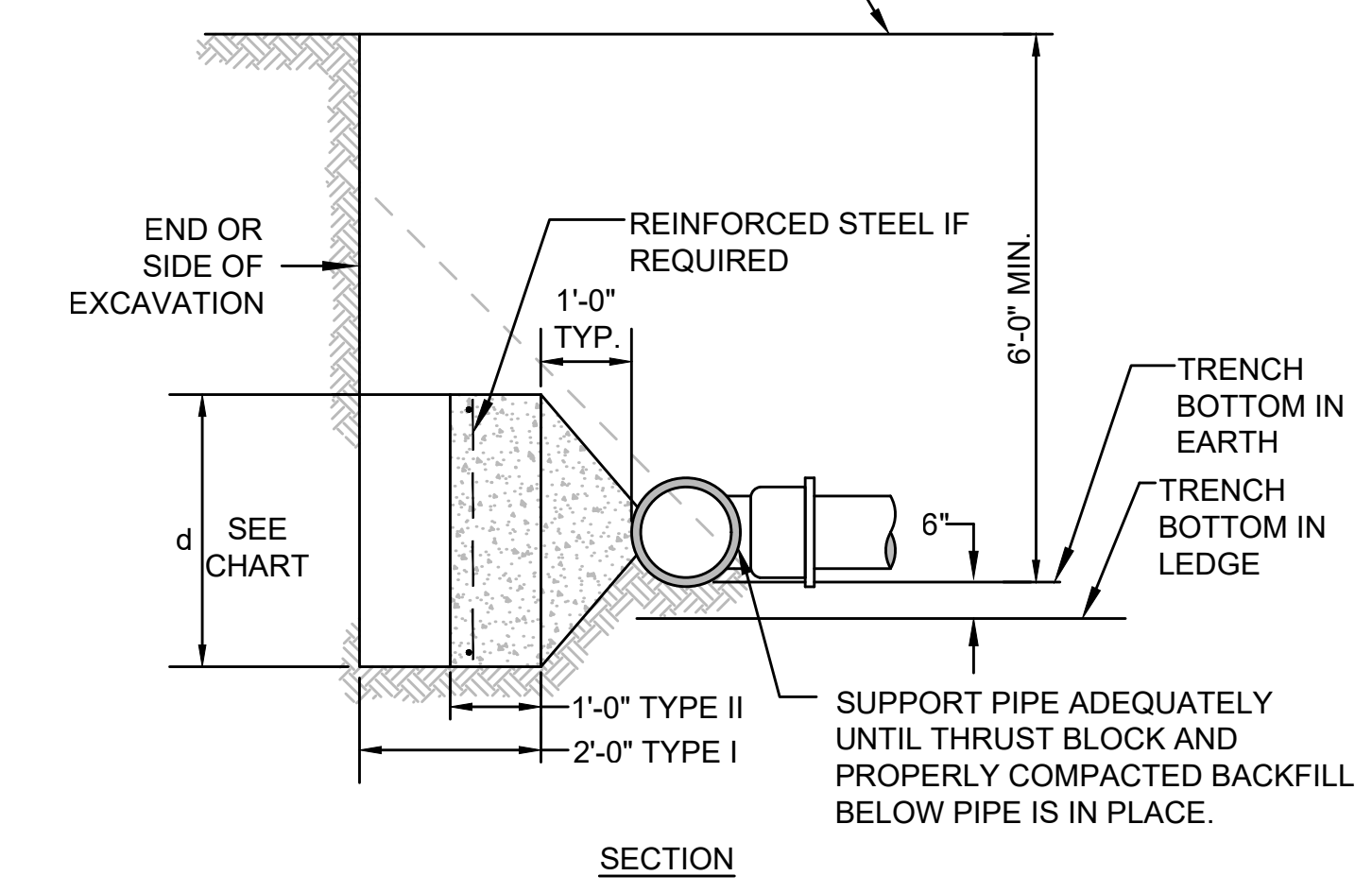


TRENCH DETAIL - DRAIN & SANITARY SEWER (B-08)  
NOT TO SCALE

PIPE DIAMETER (FEET)	6	8	10	12	14	16	18	20	24	30	36	42
6" DEAD END	5.0	10	15.8	22.6	29.4	36.2	43.0	50.4	60.4	74.0	91.0	111.0
6" 90°	7.9	14.2	22.4	32.0	42.8	54.6	68.0	82.7	99.0	128.0	161.0	200.0
6" 45°	11.1	17.6	26.1	36.7	48.5	61.5	75.8	91.5	109.0	139.0	173.0	220.0
8" DEAD END	-	-	14.8	21.2	27.9	34.9	42.1	49.6	58.4	69.6	83.0	98.0
8" 90°	-	-	21.7	30.8	40.1	49.7	59.6	70.0	81.8	96.0	113.0	132.0
8" 45°	-	-	30.1	41.1	52.3	63.8	75.6	87.8	100.5	115.0	132.0	151.0
10" DEAD END	-	-	-	18.1	25.9	34.0	42.4	51.1	60.2	70.0	81.0	93.0
10" 90°	-	-	-	27.1	37.1	47.4	58.0	68.9	80.2	92.0	105.0	119.0
10" 45°	-	-	-	37.1	49.1	61.4	74.0	86.9	100.0	114.0	129.0	145.0



THRUST BLOCK DIMENSIONS (A-01c)  
NOT TO SCALE



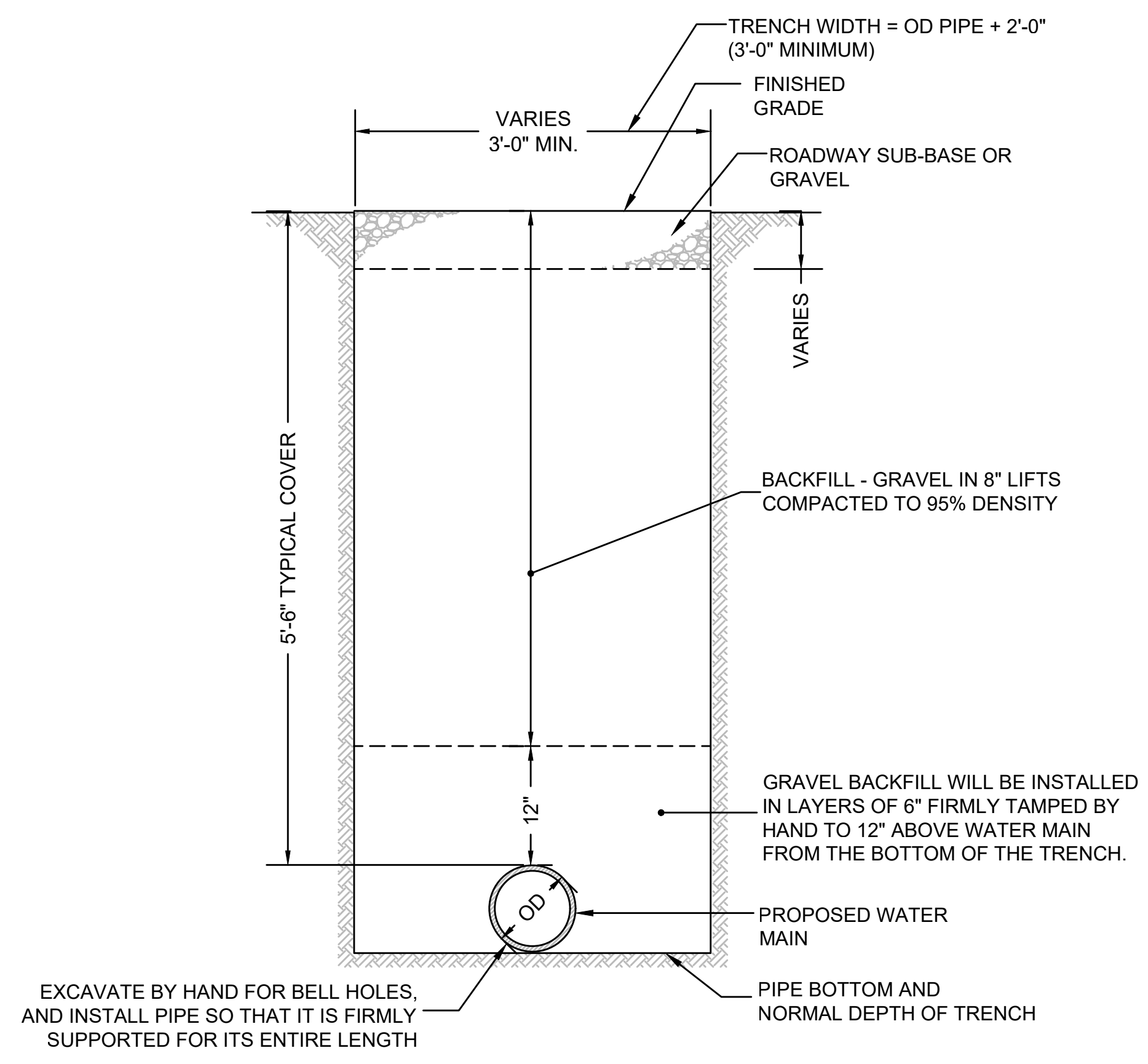
THRUST BLOCK (A-01b)  
NOT TO SCALE



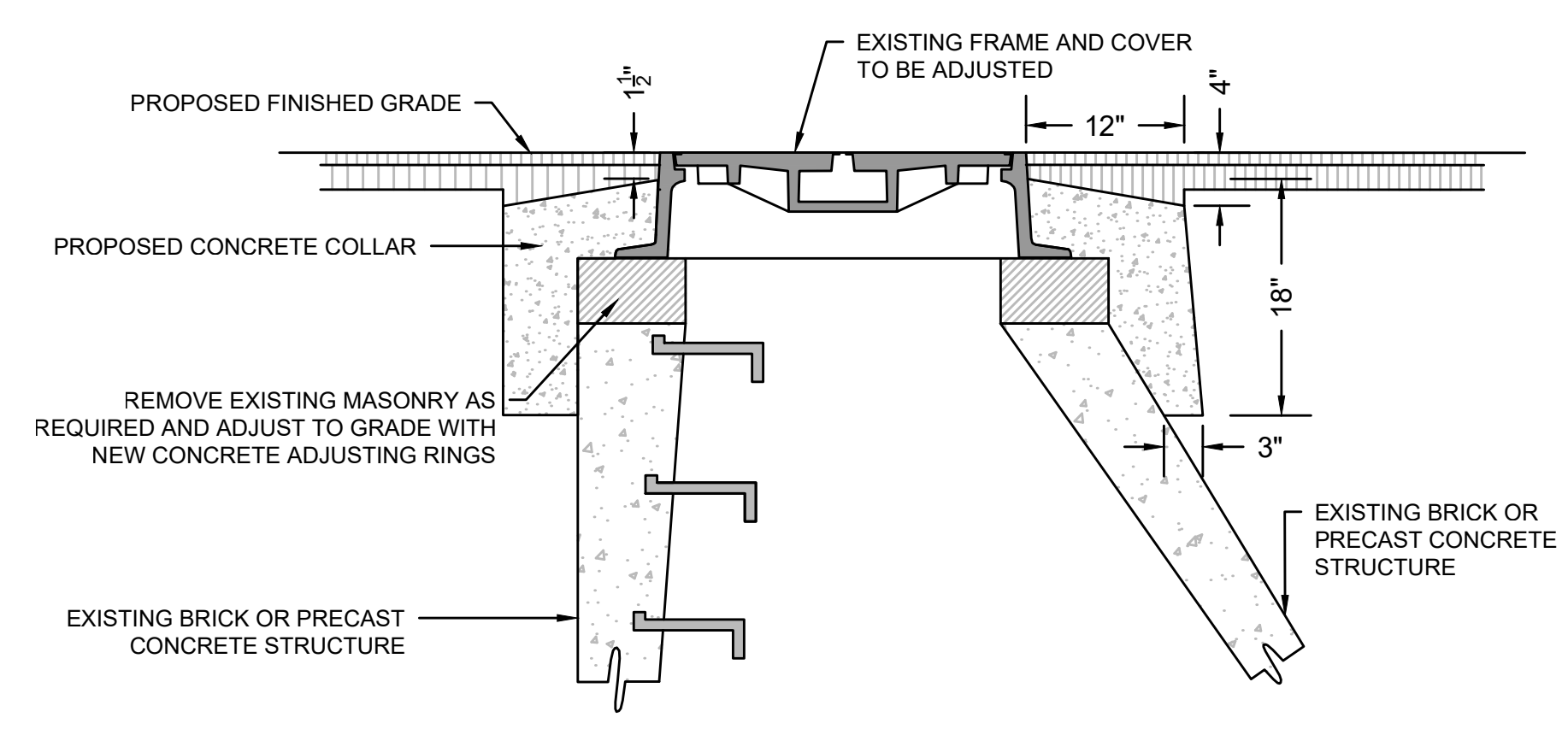


STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	24	27

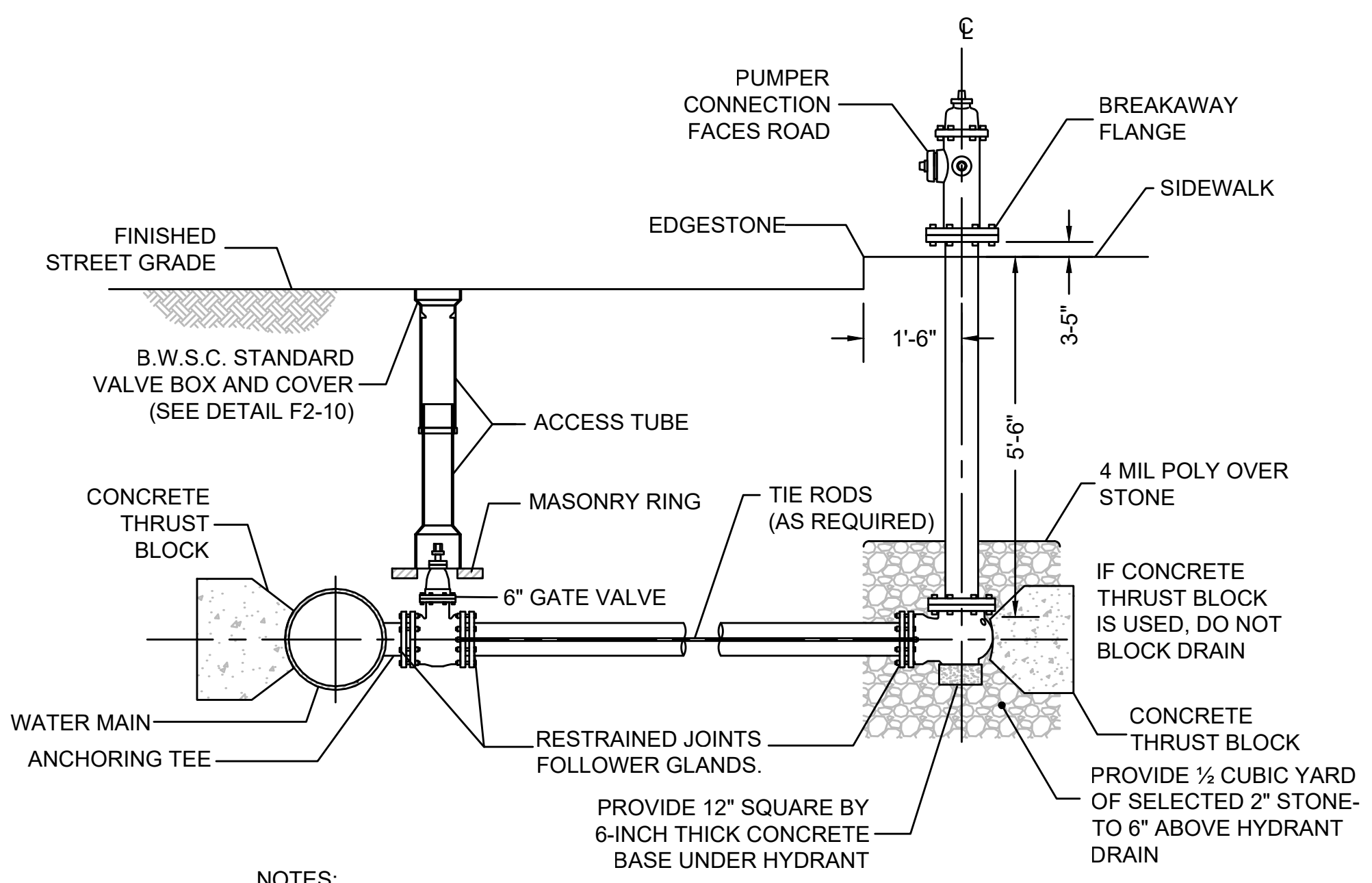
PROJECT FILE NO. 2017243.03



TRENCH DETAIL - WATER MAIN (A-05)  
NOT TO SCALE

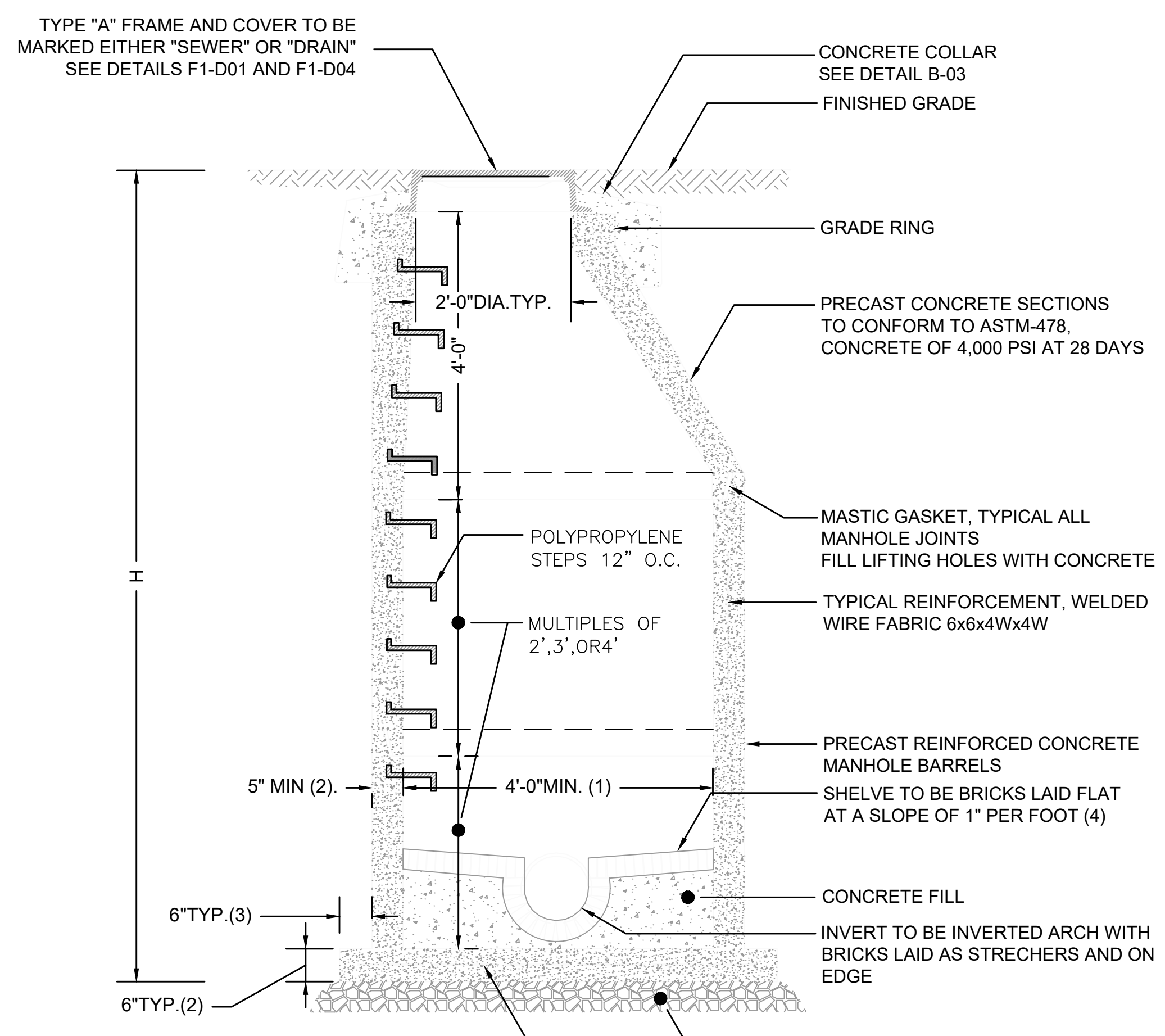


CONCRETE MANHOLE  
ADJUSTMENT TO GRADE  
NOT TO SCALE



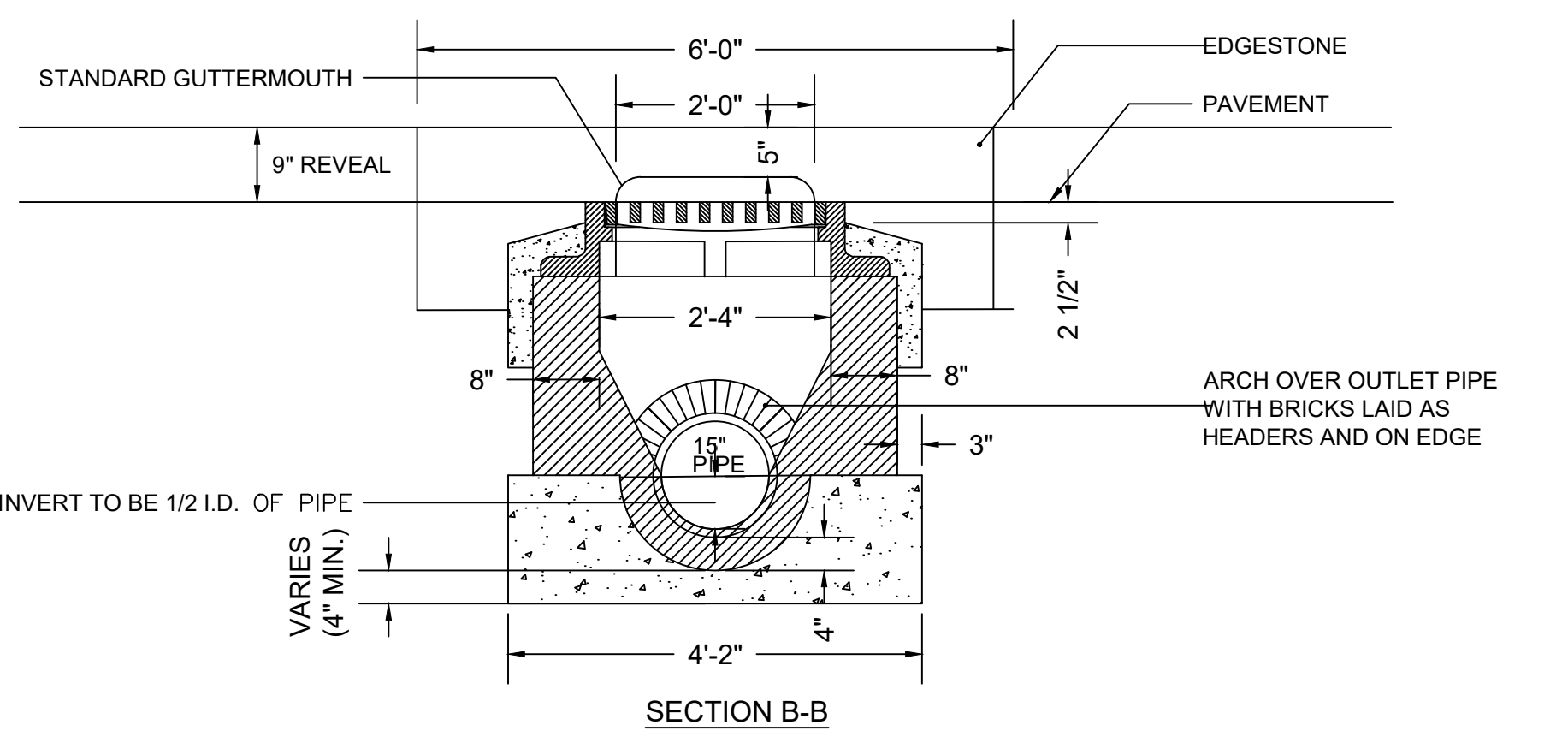
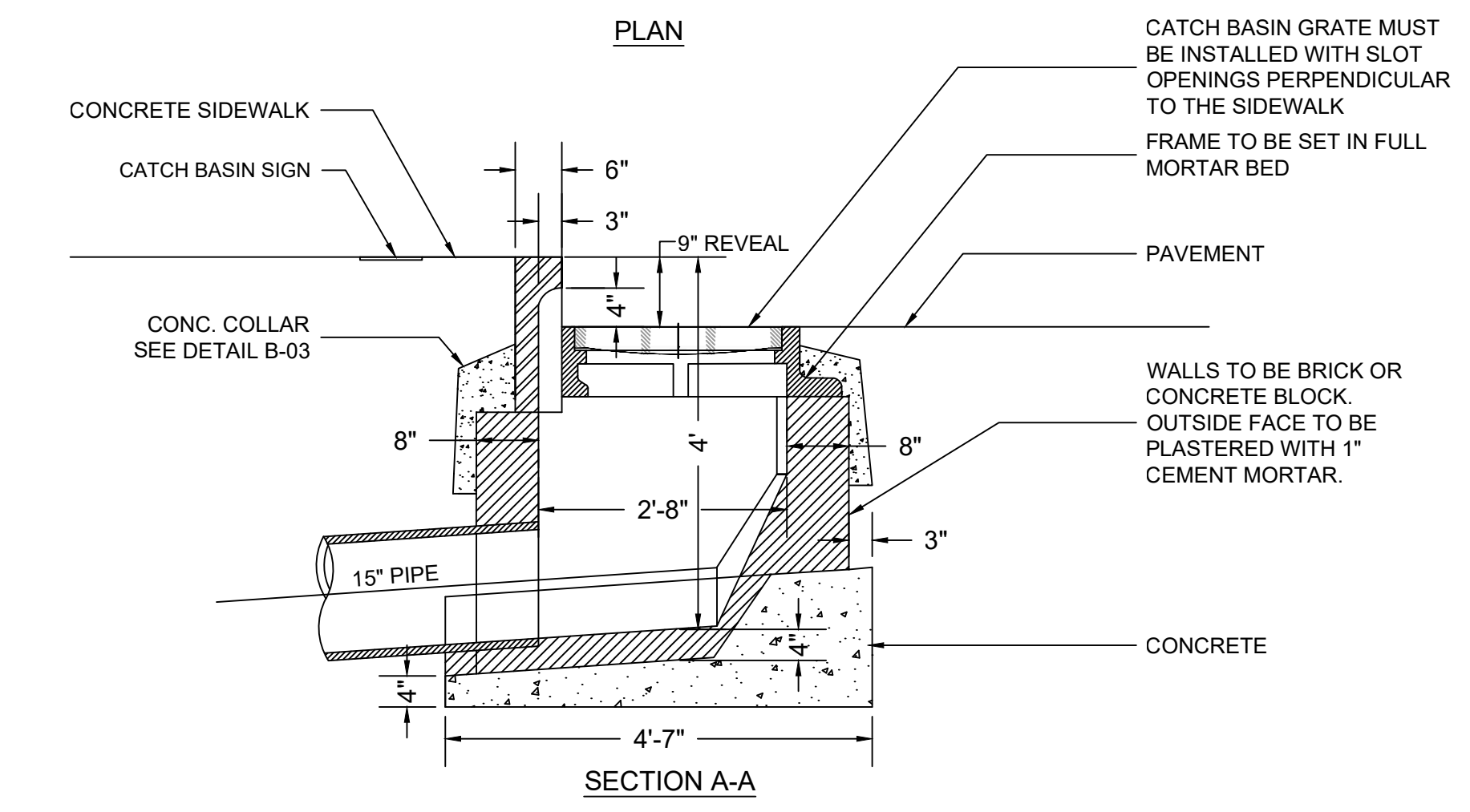
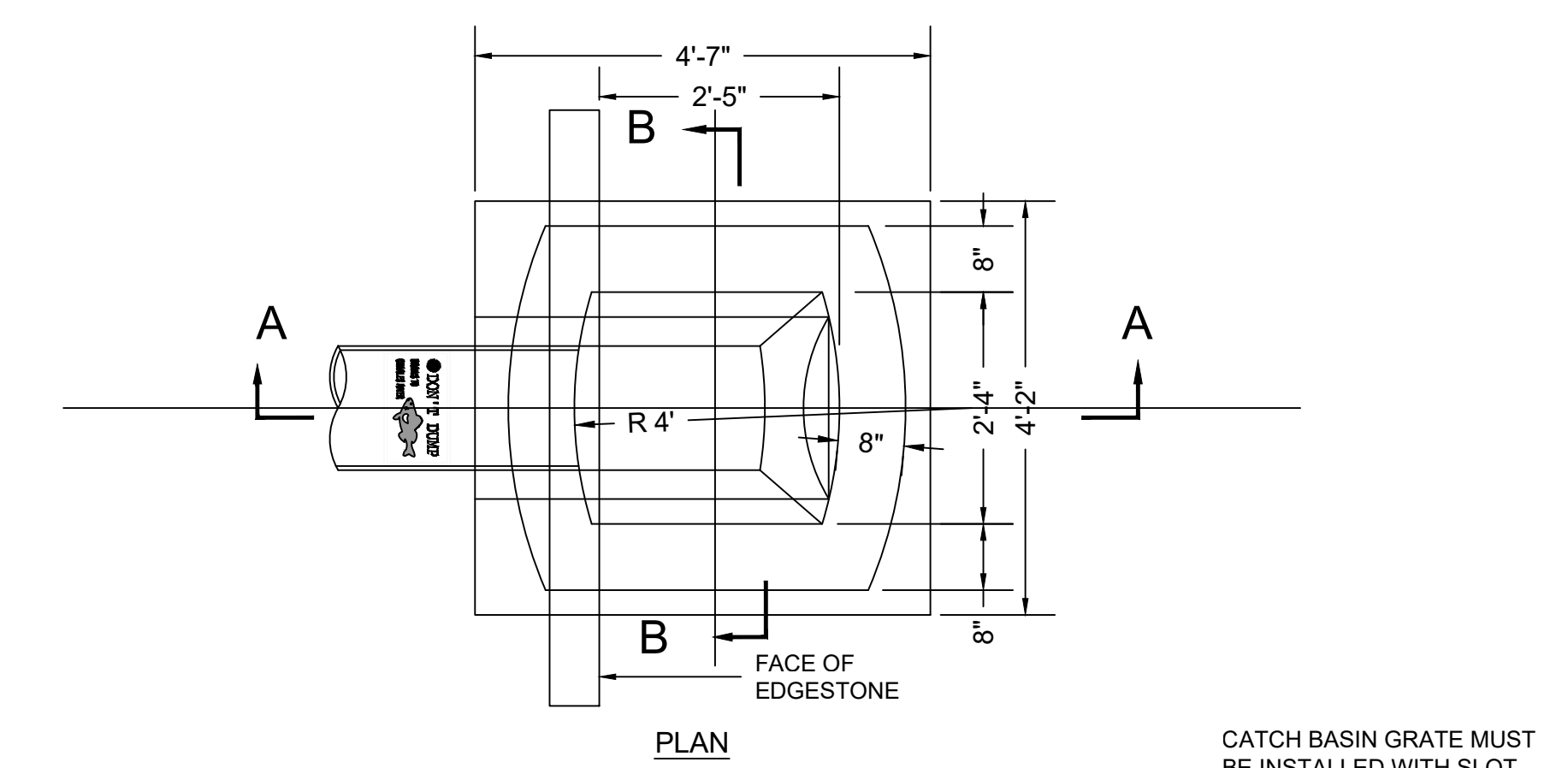
- NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
  - USE RESTRAINED JOINT FOLLOWER GLANDS, OR TIE RODS, WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
  - SIZE OF BLOCK OR FITTING TO BE DESIGNED FOR SPECIFIC CONDITIONS, OR ANY NECESSARY BENDS.

TYPICAL FIRE HYDRANT CONNECTION FOR  
HIGH OR LOW SERVICE LINE (A-07a)  
NOT TO SCALE



- NOTES:
1. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER
  2. 6" MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES
  3. 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED
  4. CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER

PRECAST CONCRETE MANHOLE (B-02a)  
NOT TO SCALE



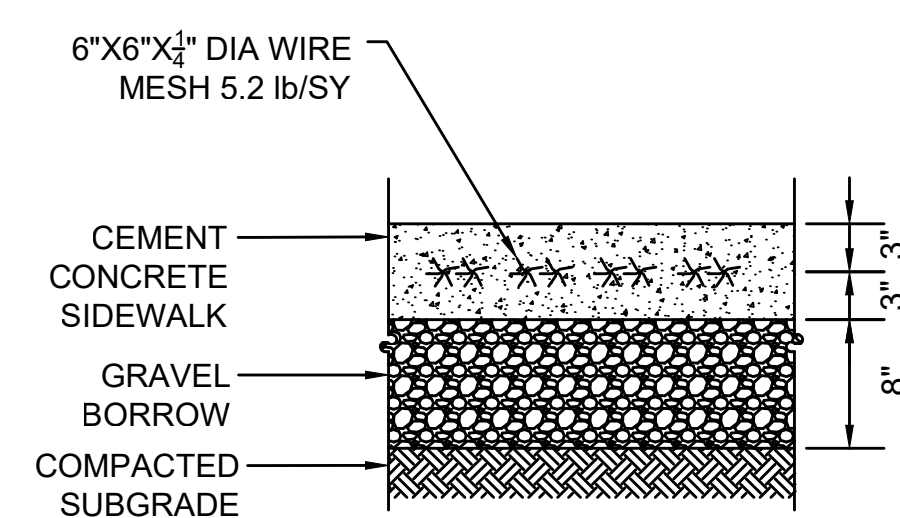
BWSC STANDARD EDGESTONE GUTTERMOUTH IS (72" L X 6" W X 18" H) WITH 3" RADIUS INLET THROAT ROUNDING. MINIMUM WIDTH IS 6". ALL OTHER DIMENSION TOLERANCES TO ±1".

DROP INLET WITH GUTTERMOUTH (B-01e)  
NOT TO SCALE





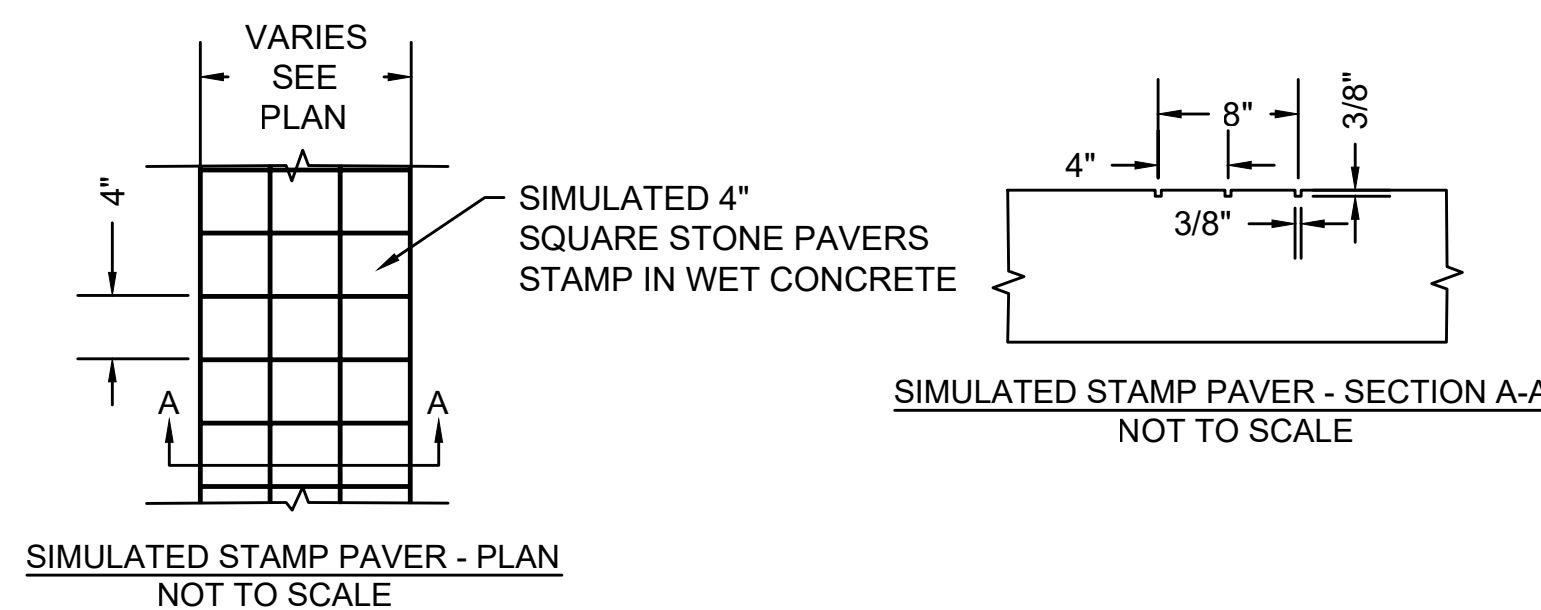
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	25	27



NOTES:

1. CONCRETE SHALL BE 4,000 PSI.
2. SIDEWALKS ARE TO BE RAKED FINISH WITH 3/8 INCH TROWEL JOINTS.
3. USE OF WIRE MESH TO BE USED ON DCR-OWNED SIDEWALKS ONLY.

**CEMENT CONCRETE SIDEWALK  
WITH WIRE MESH SECTION DETAIL**  
NOT TO SCALE

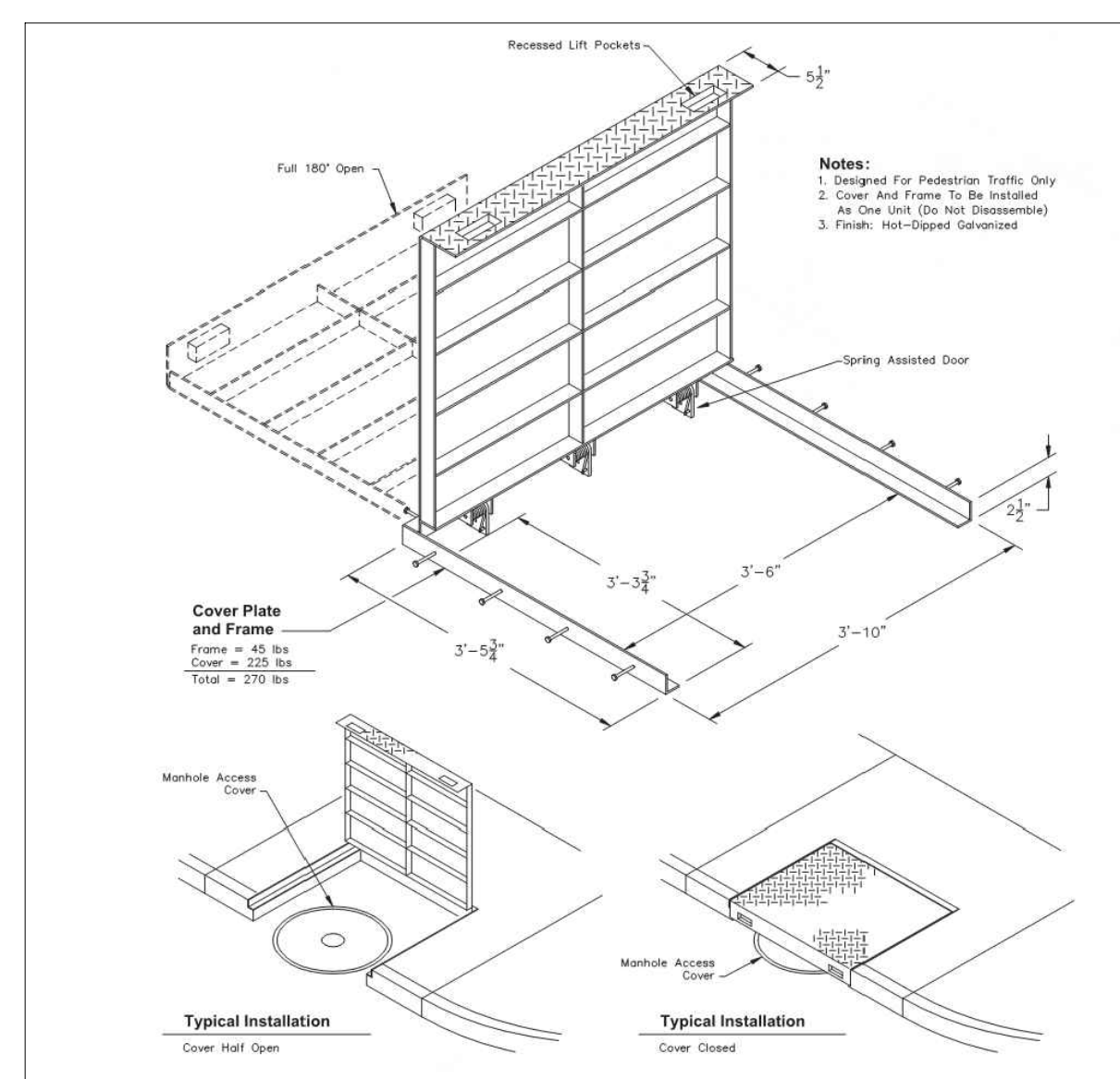


**SIMULATED STAMP PAVER - PLAN**  
NOT TO SCALE

NOTES:

1. 6"x6"x1/4" DIA WIRE MESH TO BE USED WITHIN STAMPED CEMENT CONCRETE AREAS ON DCR-OWNED SIDEWALKS ONLY. SEE SHEET 55 FOR DETAIL ON SETTING WIRE MESH.

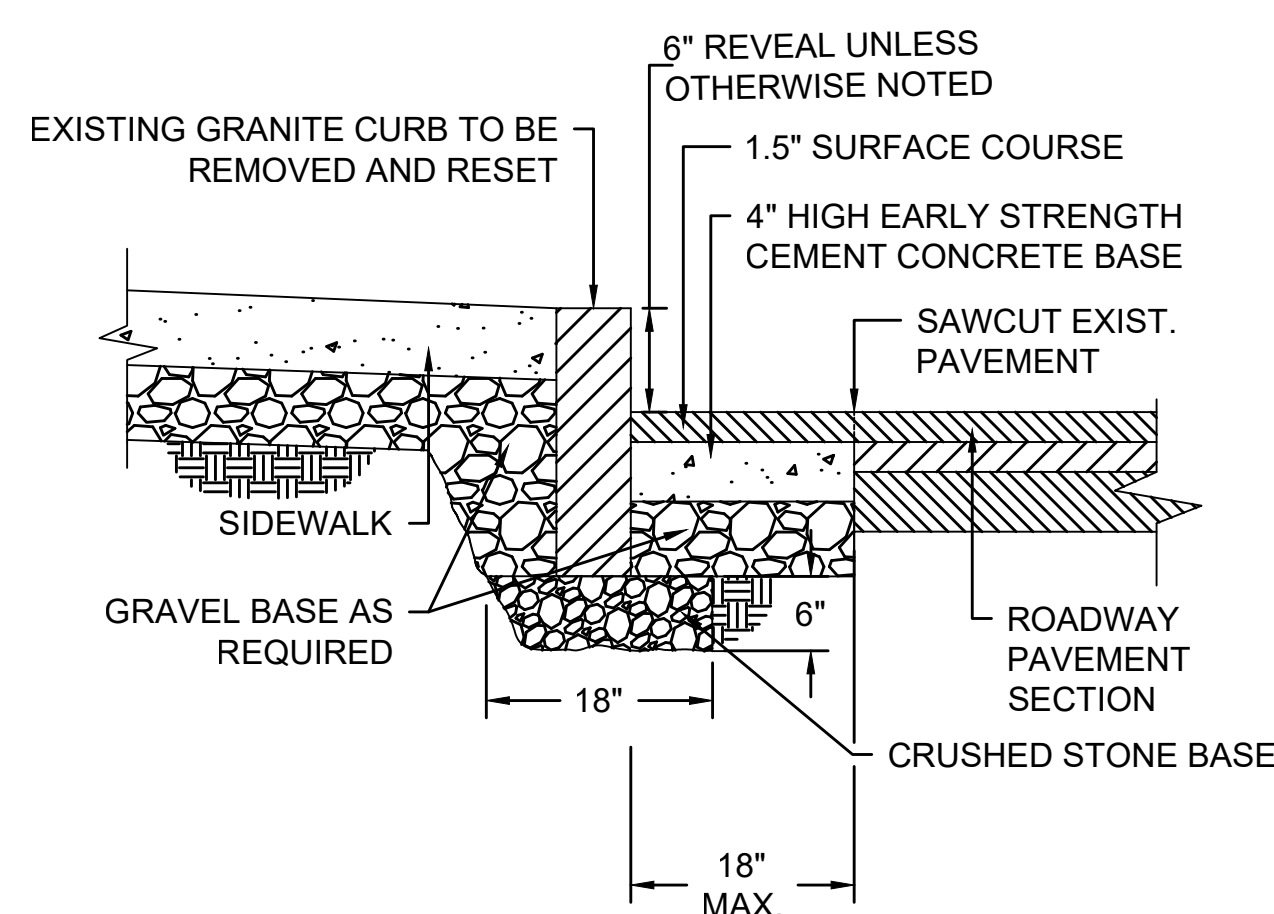
**STAMPED CEMENT CONCRETE**  
NOT TO SCALE



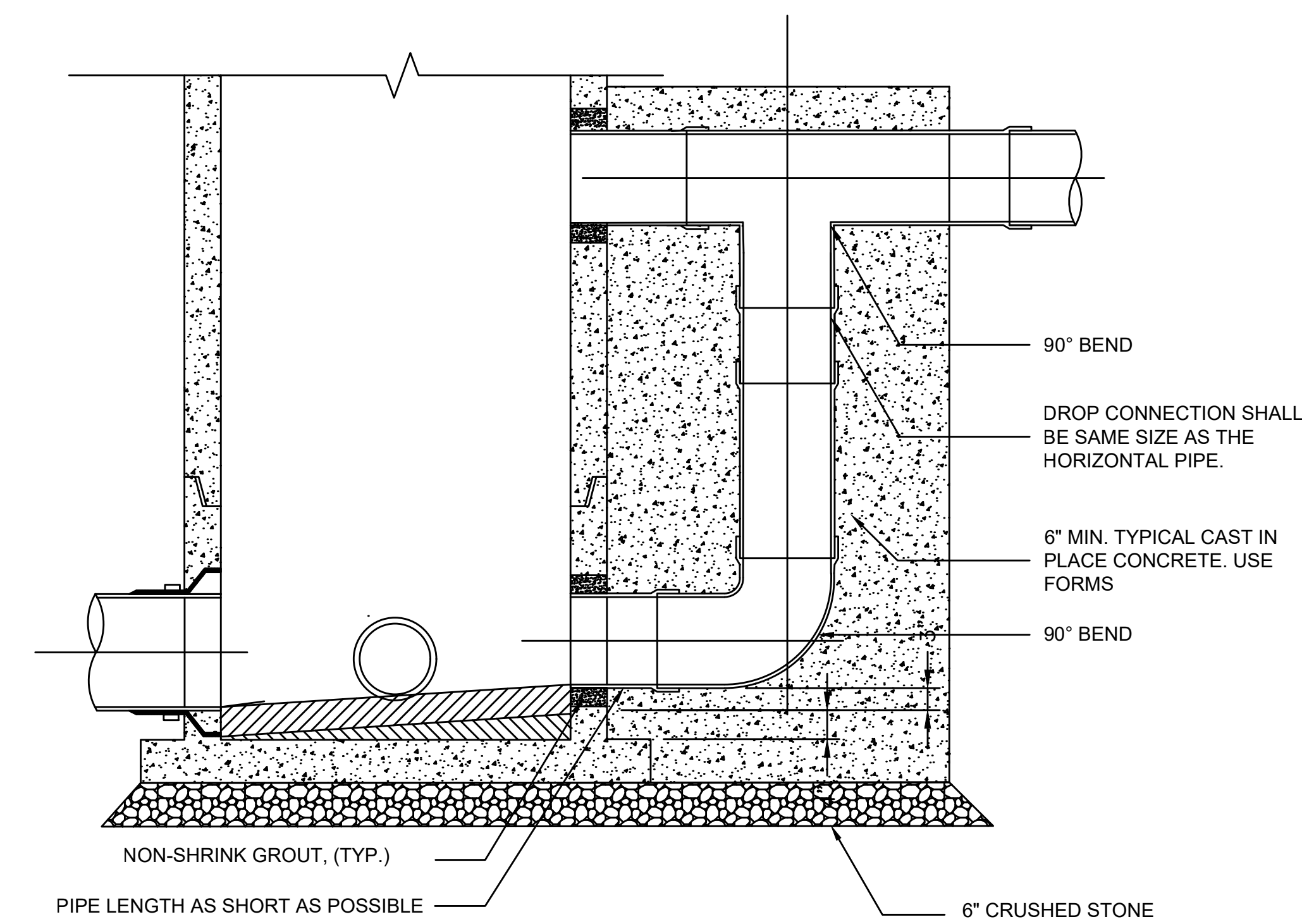
NOTES:

1. DIAMOND PLATED ACCESS HATCH SHALL BE SET WITH AN ADA COMPLIANT CROSS SLOPE OF 1.50% WITH A ± 0.50% CONSTRUCTION TOLERANCE

**DIAMOND PLATED ACCESS HATCH**  
NOT TO SCALE



**CURB - GRANITE RESET**  
NOT TO SCALE

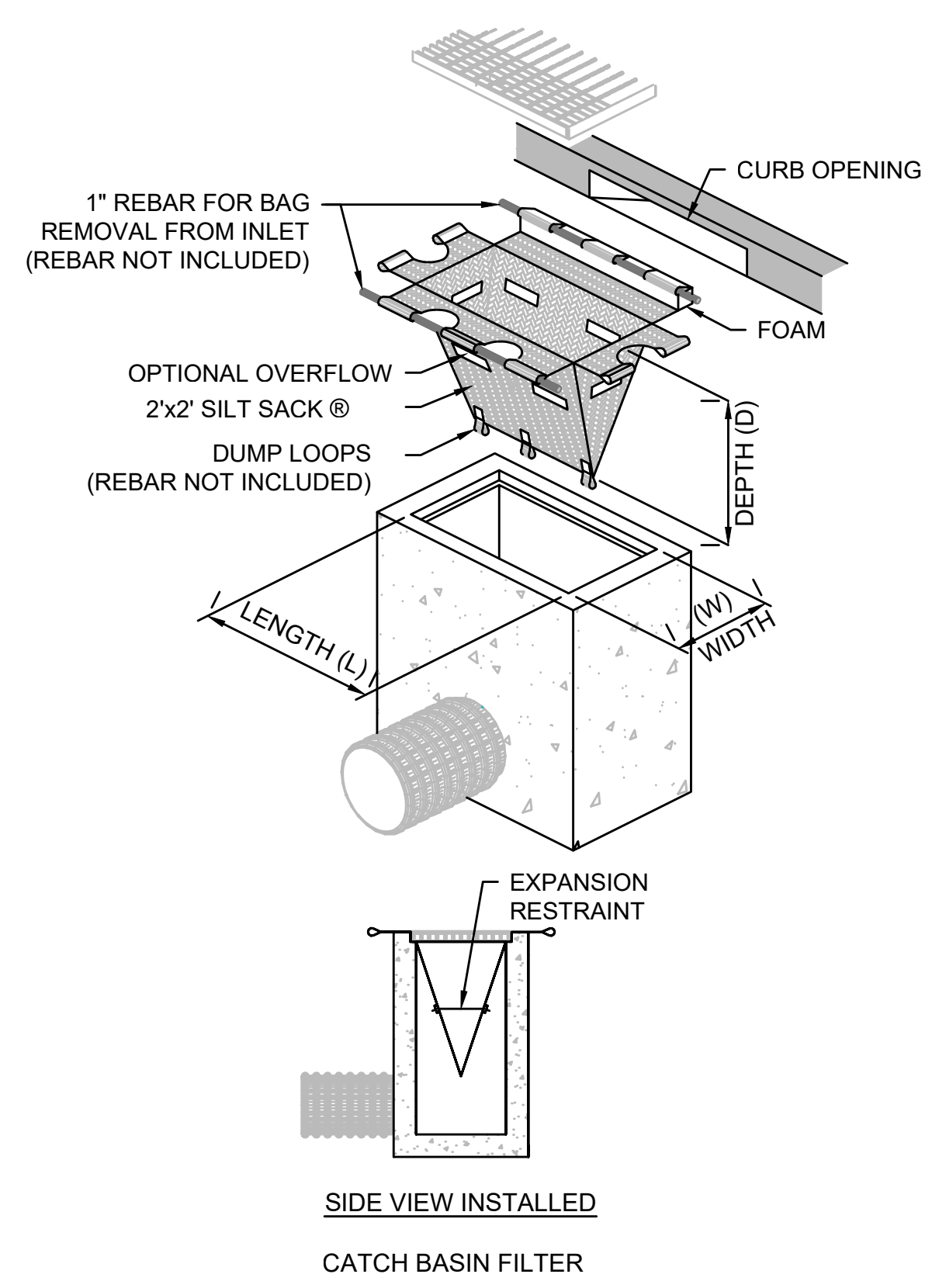


**DROP MANHOLE CONNECTION**  
NOT TO SCALE

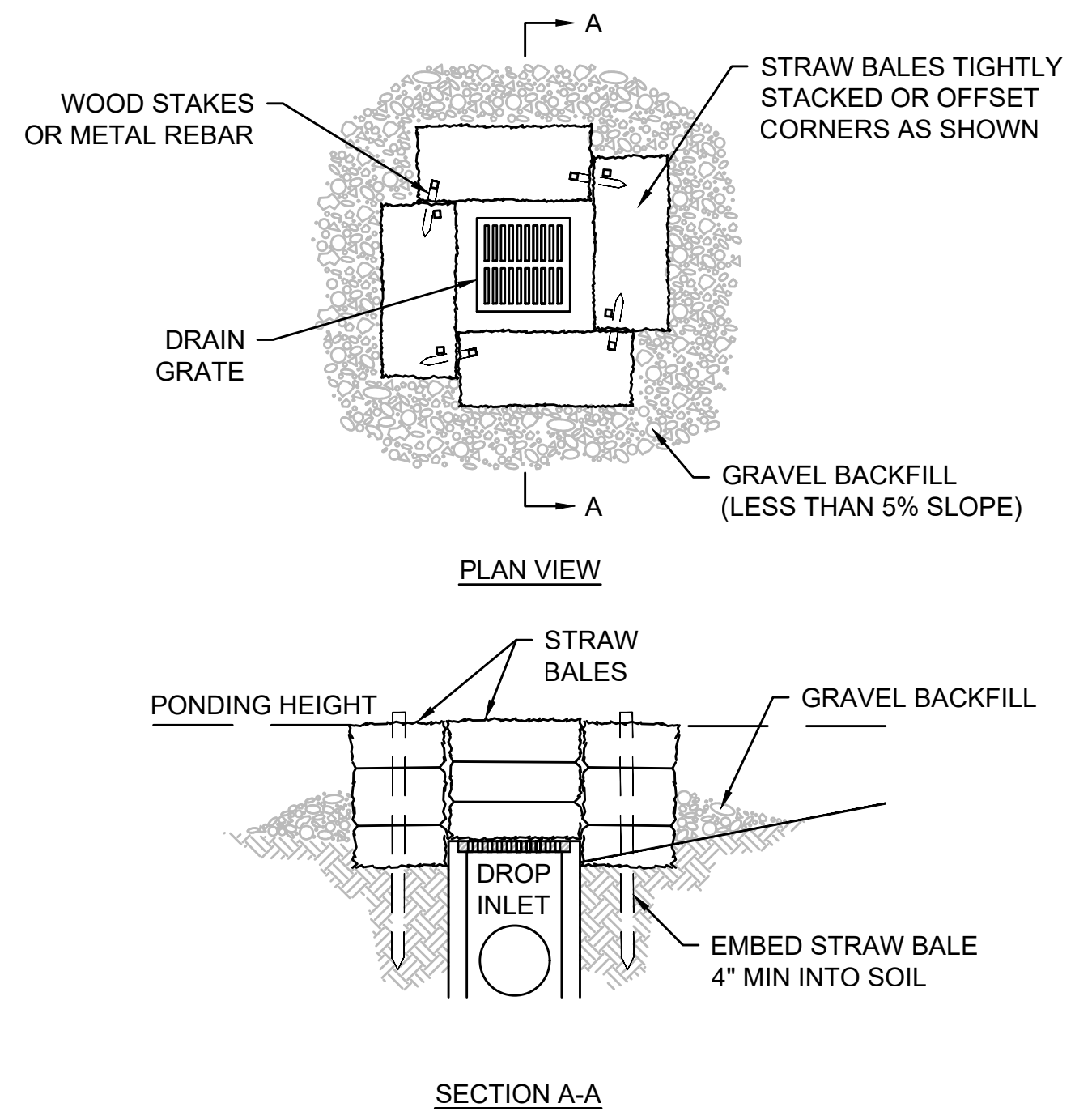




STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	26	27

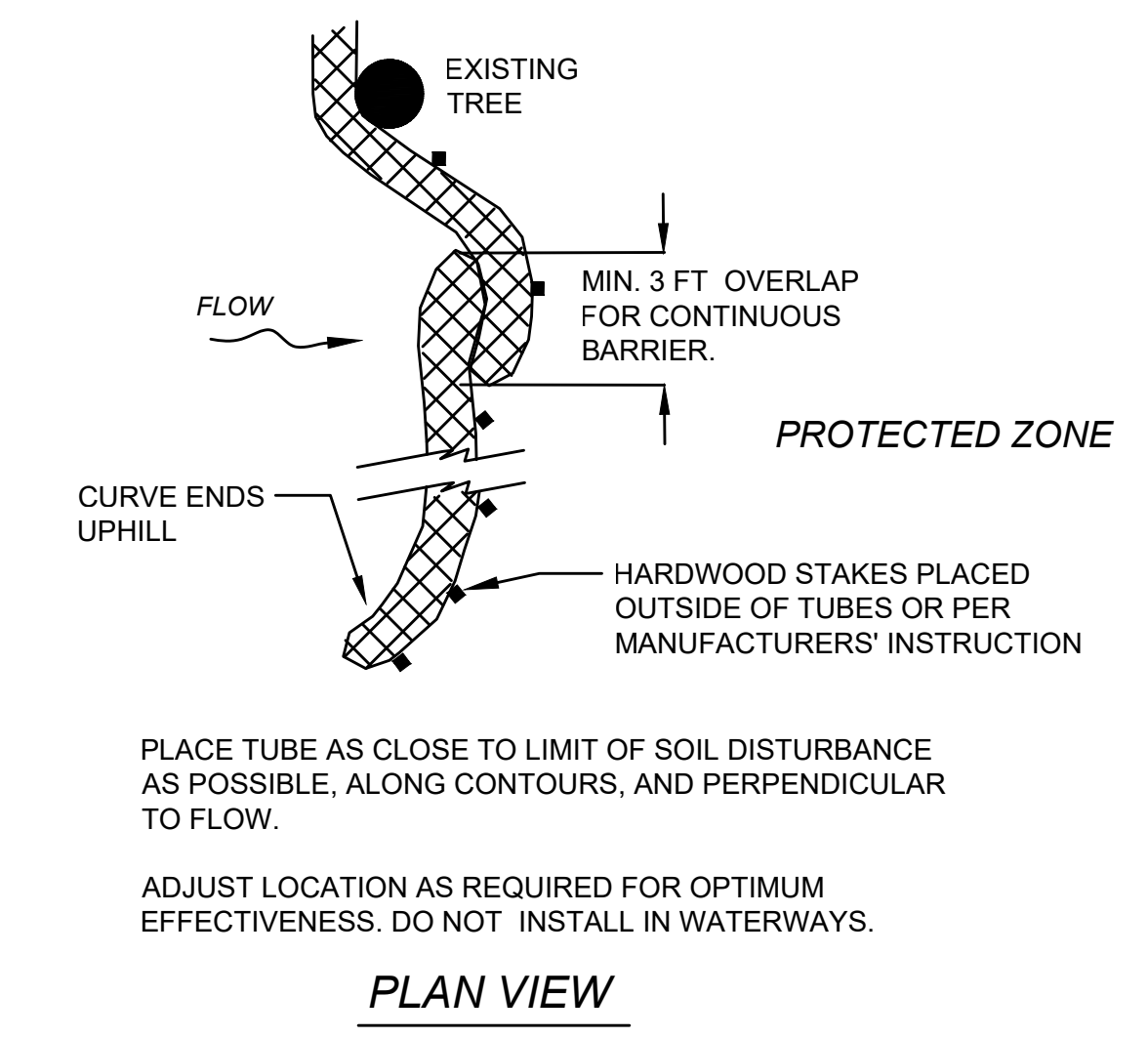


SIDE VIEW INSTALLED  
CATCH BASIN FILTER

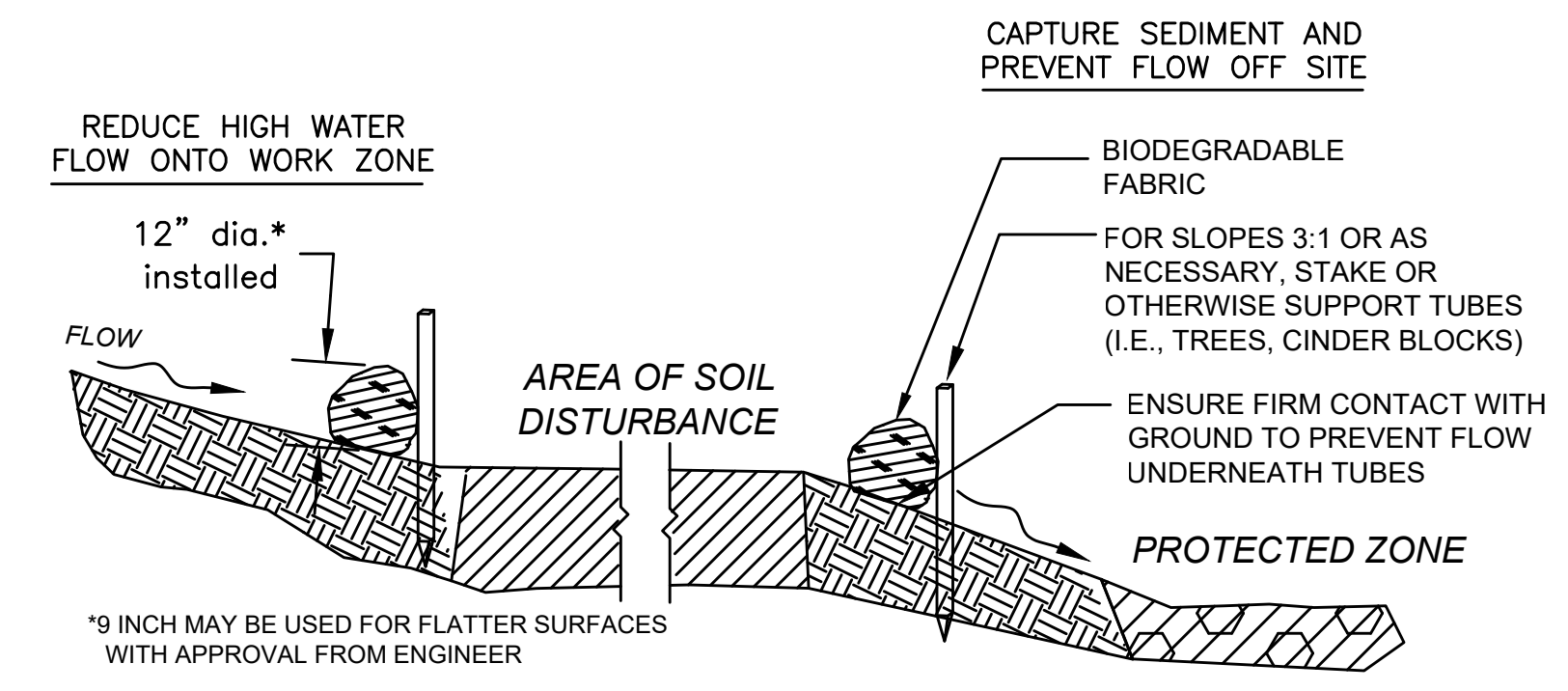


TEMPORARY INLET PROTECTION  
NOT TO SCALE

STRAW BALE & GRAVEL INLET SEDIMENT BARRIER



PLAN VIEW



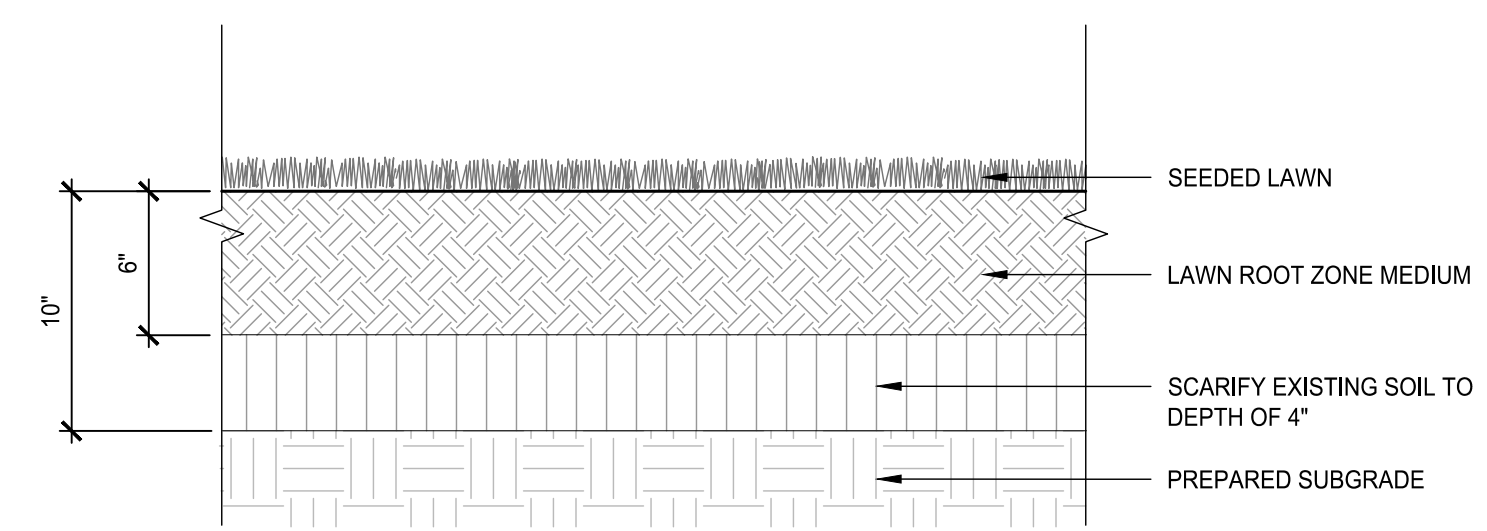
SECTION

SEDIMENT BARRIER - COMPOST FILTER TUBE  
NOT TO SCALE

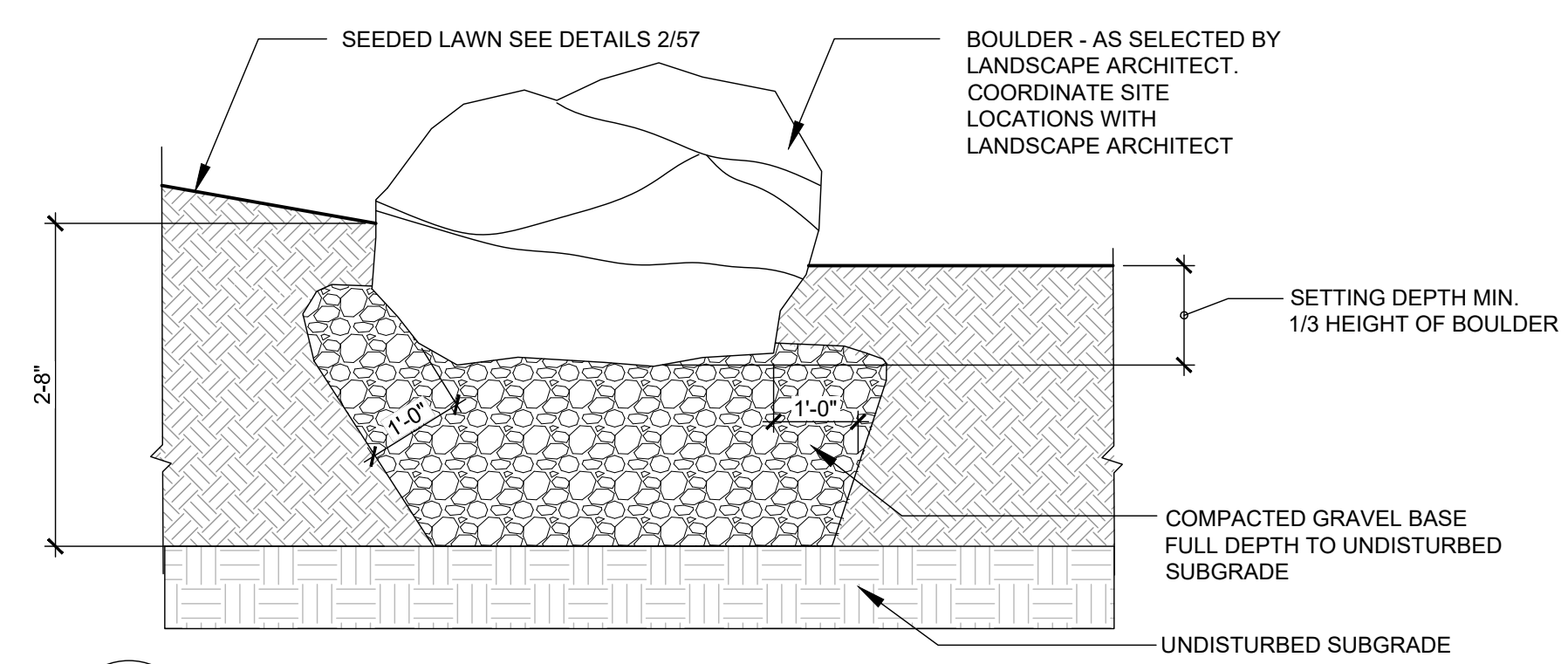




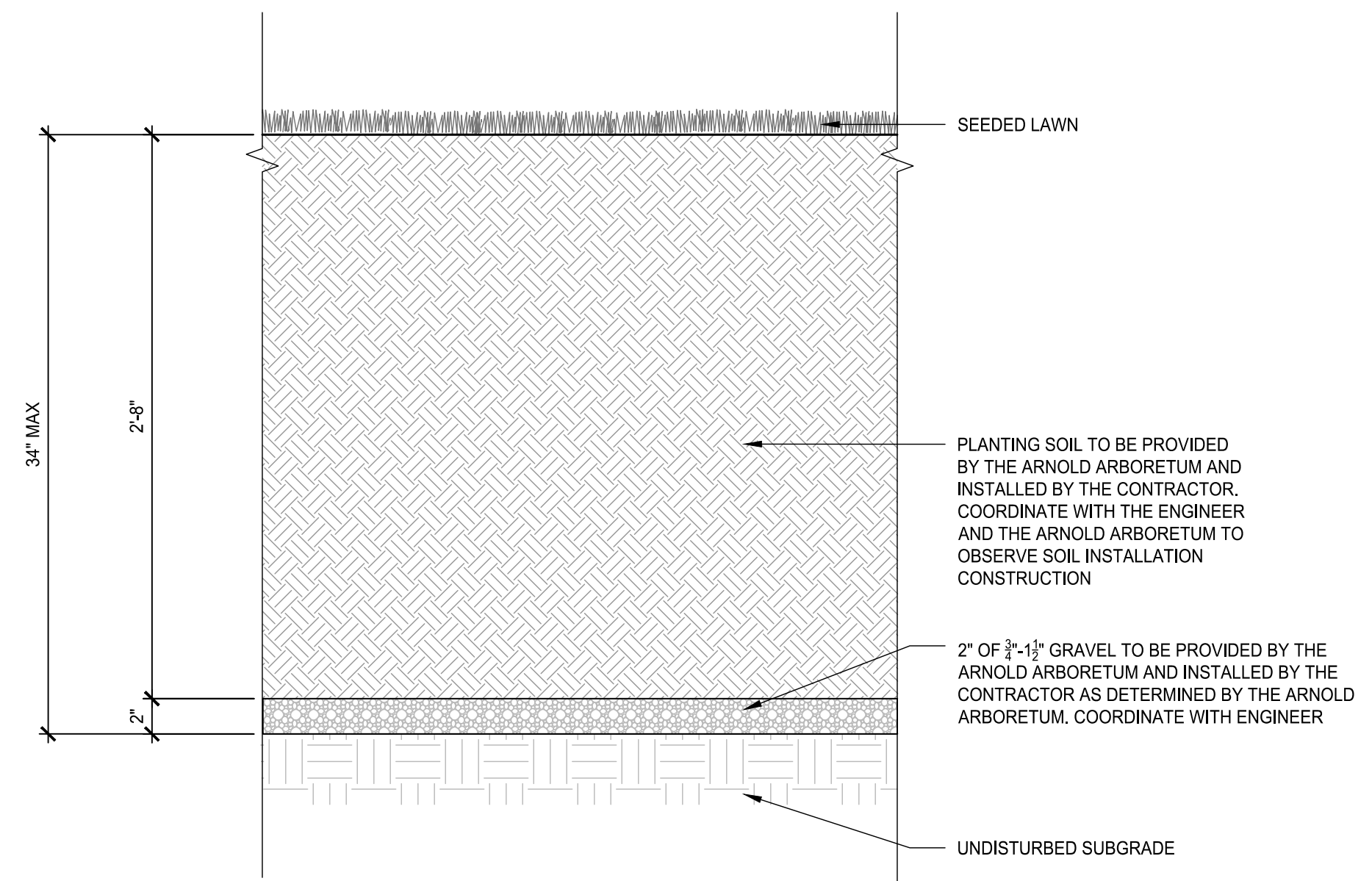
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	-	27	27
PROJECT FILE NO.		2017243.03	



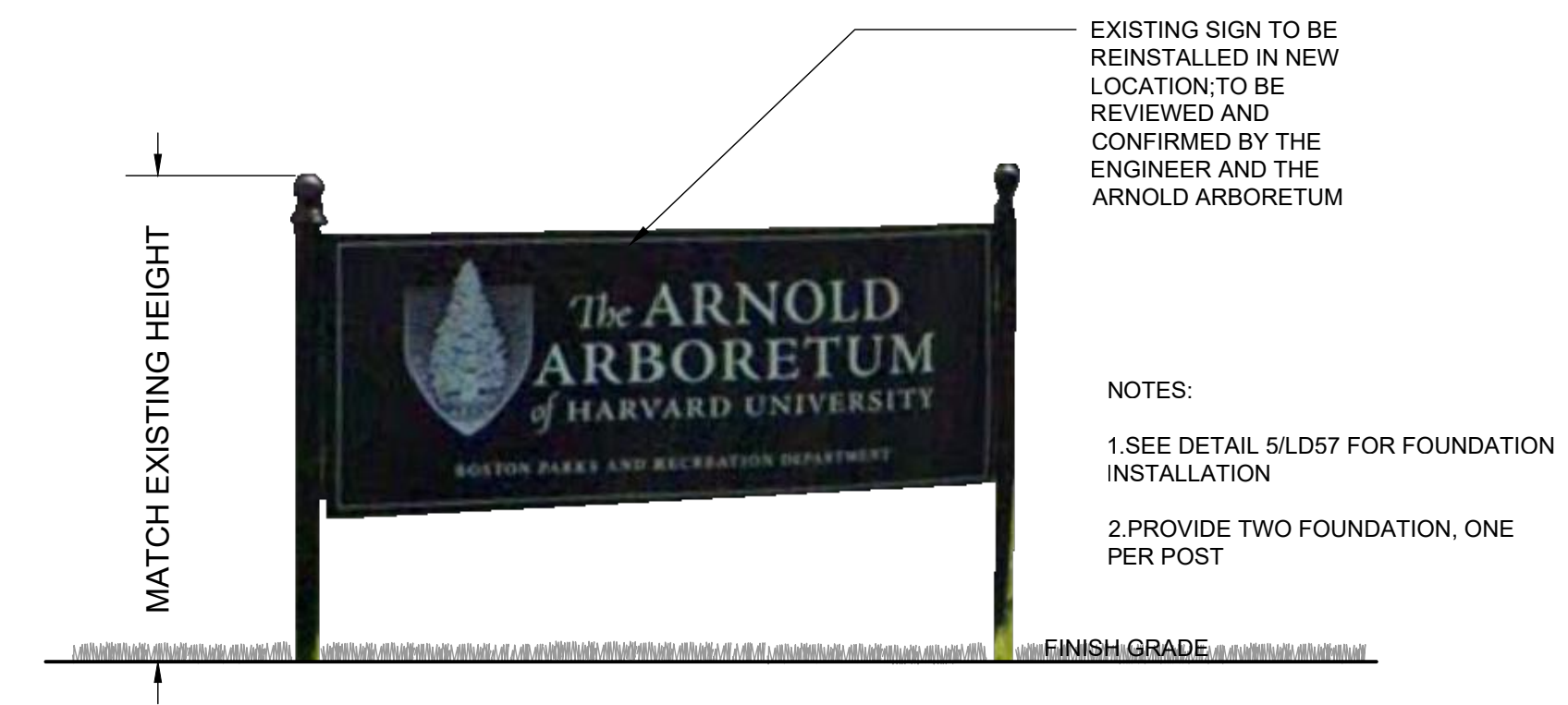
**1** SEEDED LAWN  
SCALE: 1-1/2"=1'-0"



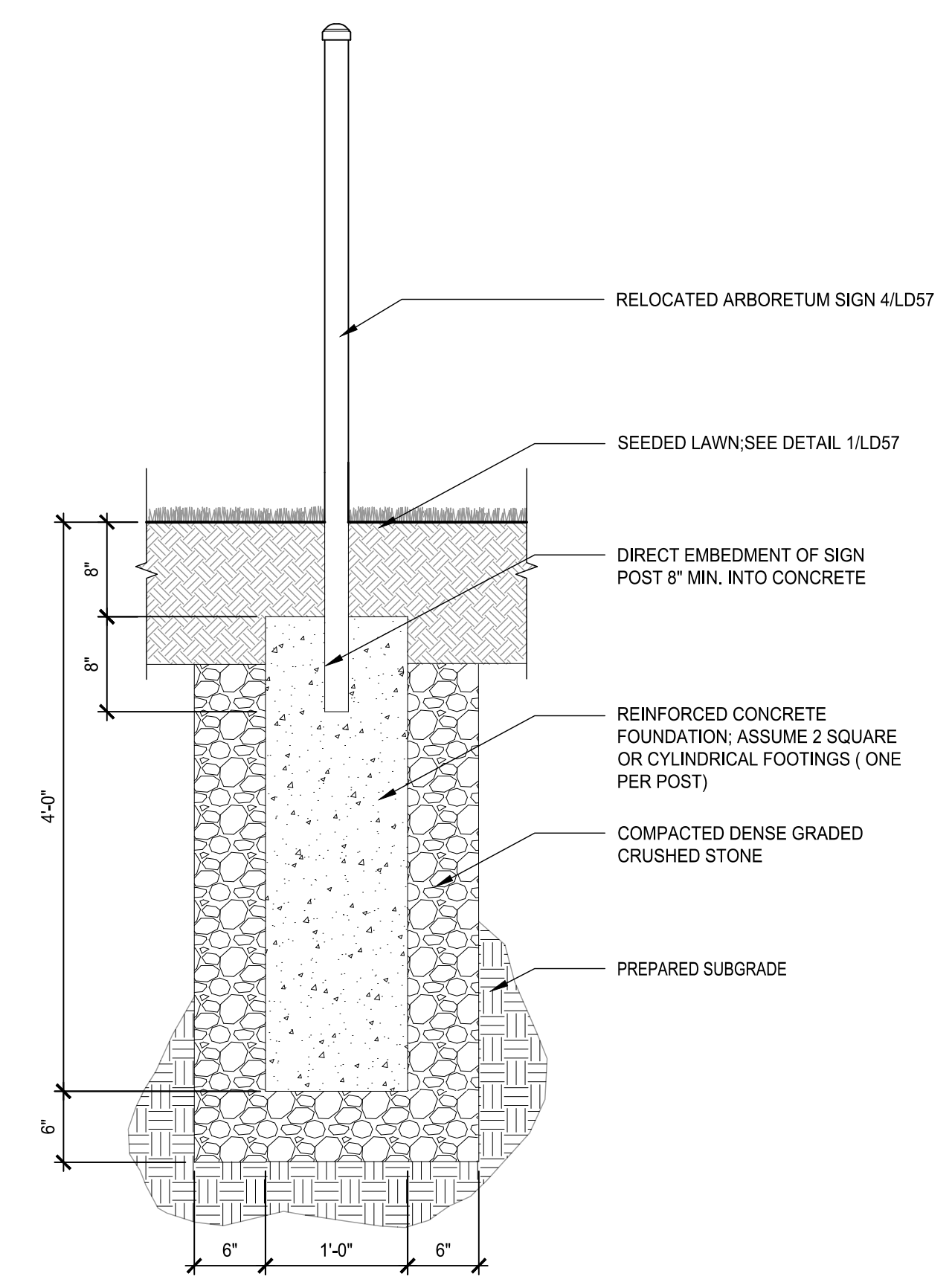
**3** BOULDER IN SEEDED LAWN AT ARBORETUM  
SCALE: NTS



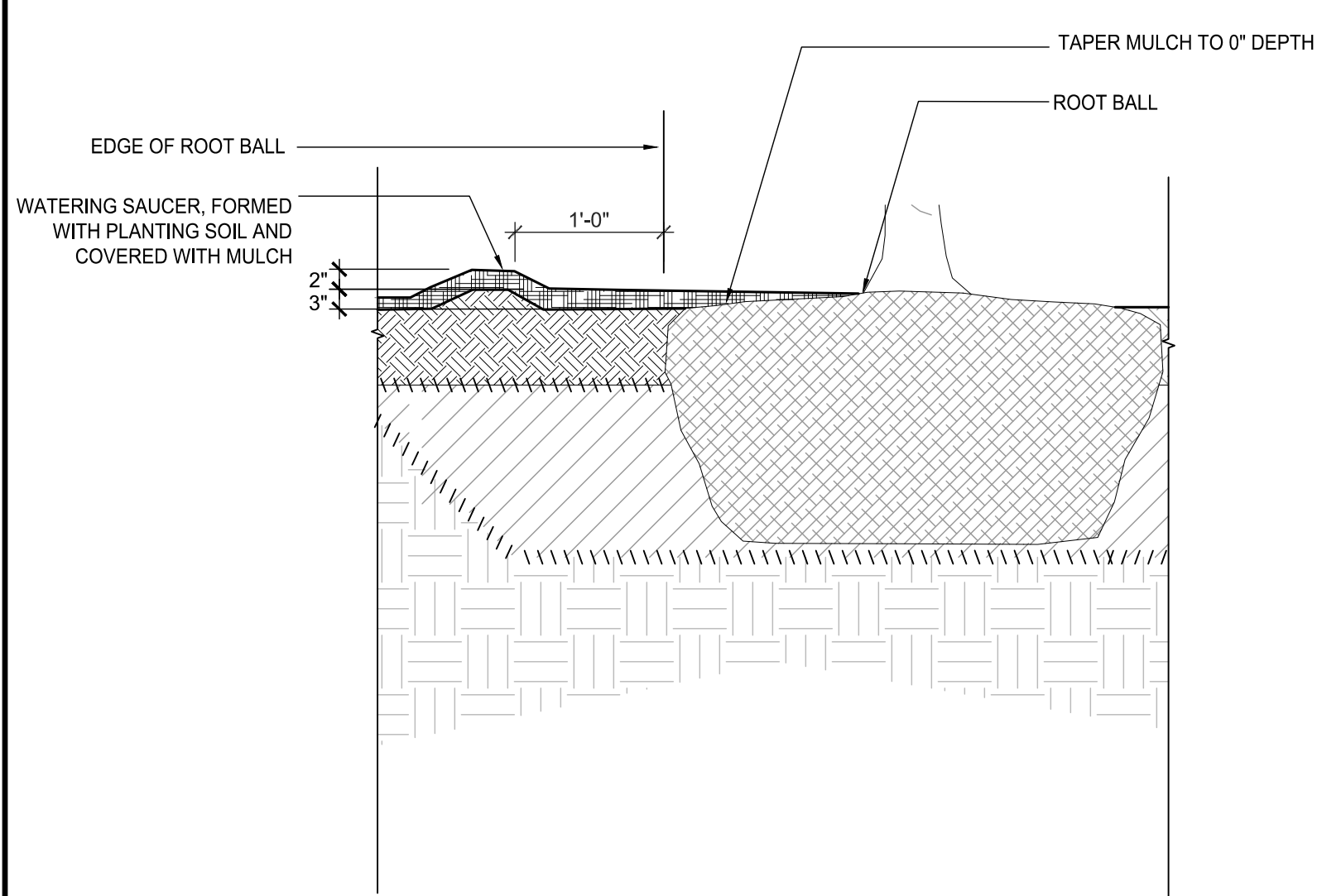
**2** SEEDED LAWN AT ARBORETUM  
SCALE: 1-1/2"=1'-0"



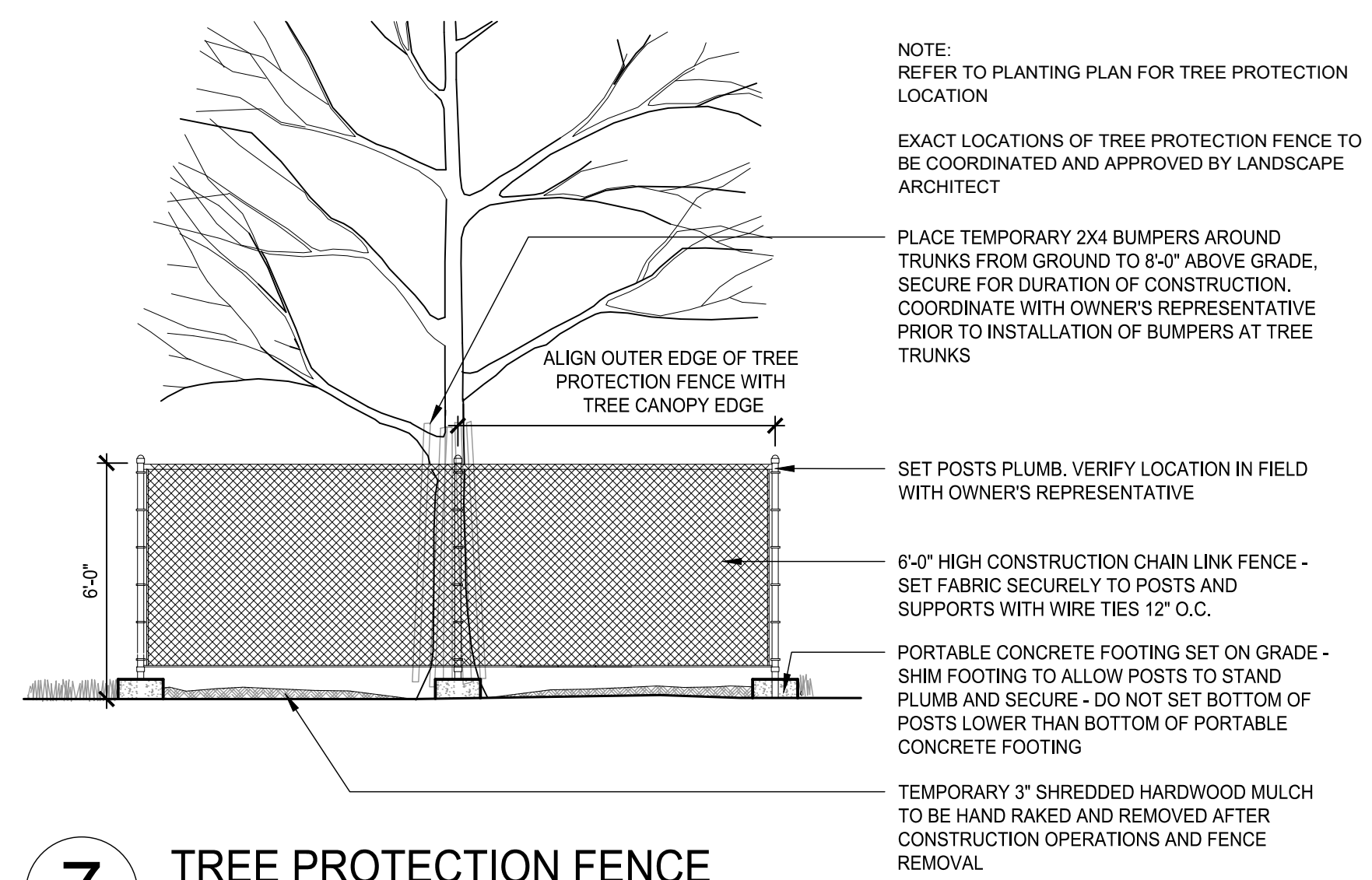
**4** RELOCATED ARBORETUM SIGN  
SCALE: NTS



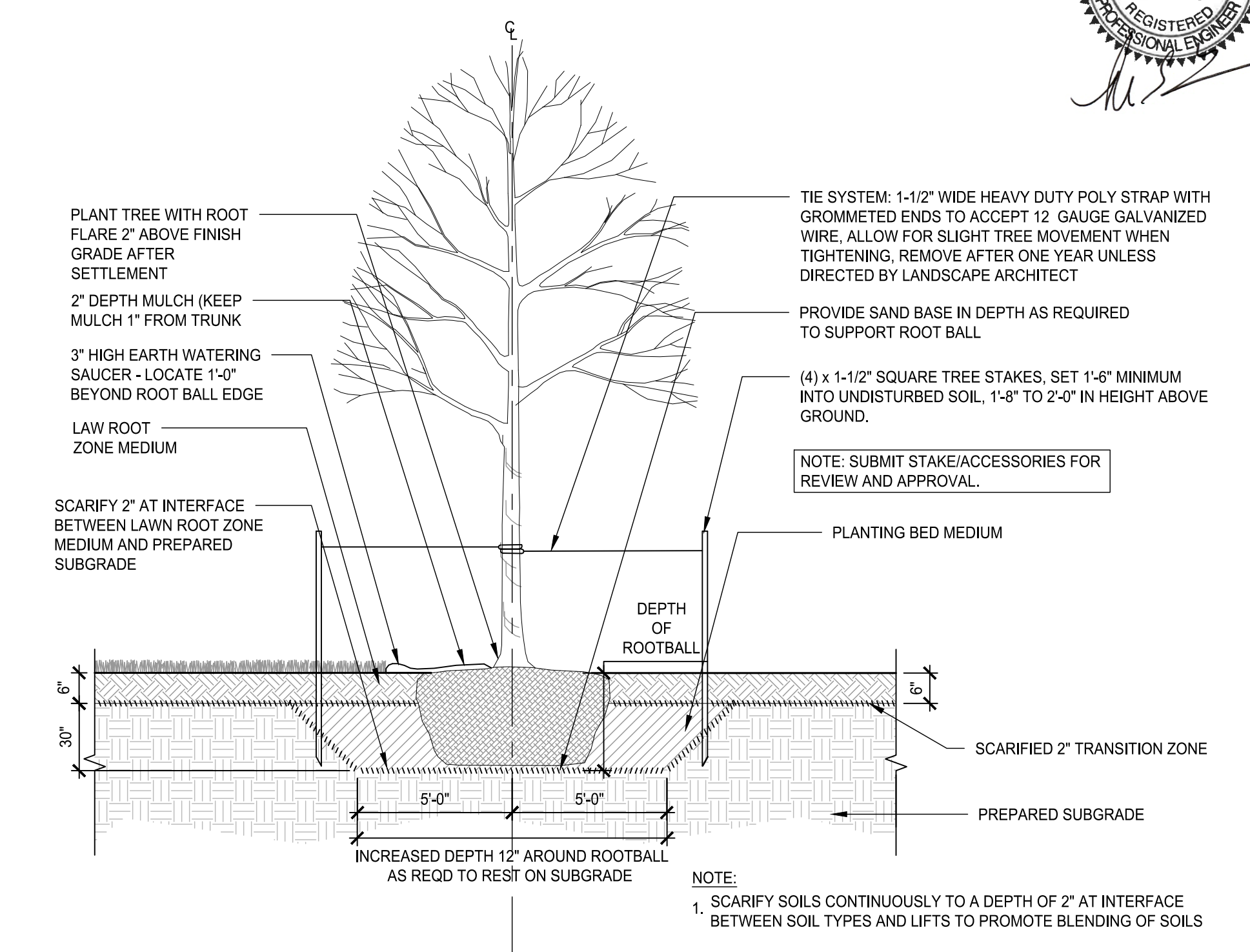
**5** RELOCATED ARBORETUM SIGN FOUNDATION  
SCALE: 1"=1'-0"



**6** WATERING SAUCER AT EDGE OF ROOTBALL  
Scale: NTS



**7** TREE PROTECTION FENCE  
SCALE: 1/4" = 1'-0"



**8** TREE PLANTING - IN LAWN  
Scale: 1/4"=1'-0"





**HOWARD STEIN HUDSON**

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Boston, Massachusetts 02108  
617.482.7080

[www.hshassoc.com](http://www.hshassoc.com)



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TO:	City of Boston Conservation Commission	DATE:	November 14, 2022
FROM:	Bob Stathopoulos, Howard Stein Hudson	HSB PROJECT NO.:	2017243.03
SUBJECT:	Centre Street and Walter Street Transportation Improvements – Stormwater Memorandum		

---

## Introduction

The project proposes transportation improvements at the intersection of Centre Street and Walter Street. Work within the Project limits will include sidewalk and roadway reconstruction, median modification and removal, curb relocation, drainage improvements, bicycle accommodations, improved traffic operations and safety, improved pedestrian access and safety, signs, and pavement markings. The Project will narrow vehicular travel lanes on both Centre Street and Walter Street to provide separated cycle tracks in each direction of travel. Sidewalks and pedestrian ramps will be reconstructed to meet the current standards of the Americans with Disabilities Act (ADA) and Architectural Access Board (AAB). Most of the pavement work will include mill and overlay and small areas within the Project limits will include full depth pavement work.

## Existing Conditions

The Project Site is comprised of approximately 7,979 square feet (sf) of land that lies within the 100-foot wetland buffer zone that runs under Walter Street. The area within the buffer zone consists of paved impervious surfaces along Walter Street, including roadway, sidewalk, pedestrian ramps, and landscaped areas. The waterfront area and 25-foot riverfront area consist of paved roadway. The existing drainage in Centre Street and Walter Street consists of two closed systems of catch basins and manholes with outfalls into Bussey Brook at the western project limit on Centre Street and the southern project limit on Walter Street. Both Centre Street and Walter Street are crowned with catch basins on both sides of the road.

## Proposed Drainage Condition

In the post development condition, the design goal is to minimize impacts to existing drainage patterns. The Project will narrow the existing roadway cross section by installing new granite curbing to allow for the installation of a separated bike lane and wider pedestrian facilities. The separated bike lanes and sidewalks will have a 2% maximum cross slope towards the roadway such that stormwater runoff generated by the impervious surface flows toward the existing and proposed





catch basins. The existing roadway slopes of Centre Street and Walter Street will not be altered, and gutter flow to the existing catch basins will be maintained.

The bike lane and sidewalk installation are not anticipated to result in significant changes to the runoff flows generated within the project area. However, due to the curb relocations from the addition of the separated bike lane, the project proposes deep sump hooded catch basins along the proposed curb line to ensure the existing drainage pattern is maintained. Drainage manholes will be installed to minimize the number of connections to the existing drainage system. The roadway improvements will not result in an increase in peak runoff flows as the total impervious surface area within the Project Area is being reduced and the existing drainage patterns are being maintained. During construction, erosion control measures will be implemented to prevent construction-related pollutants from reaching the inland bank and entering the existing drainage system.

## Stormwater Management Standards

---

The project qualifies as a Limited Project under the Massachusetts Wetlands Protection Act (MGL c.131 s.40) and implementing regulations of 310 CMR 10.53(3)(f) as is it an existing roadway project that consists of widening less than a single lane of traffic. Additionally, the project is considered a redevelopment project.<sup>1</sup>

### STANDARD 1: NO UNTREATED DISCHARGES OR EROSION TO WETLANDS

The *Massachusetts Stormwater Handbook* requires that the project demonstrates that there is no new untreated stormwater that discharges directly to or causes erosion in wetlands or waters of the Commonwealth. The project will not introduce new point discharges as the sidewalk runoff will be directed into the existing deep sump catch basins and proposed deep sump catch basins that will connect to the closed drainage system. The sidewalk will generate little to no contaminants obviating the need for a dedicated system providing water quality treatment for new stormwater runoff. The runoff from the sidewalk will be relatively clean as it will not be a source of pollutants, such as metals, oils, and grease typically associated with roadway runoff conditions. The use of sand and deicing on the sidewalk will be minimized to the greatest extent practicable while providing a safe path of travel for pedestrians.

The project has been designed to prevent the erosion and sedimentation of wetlands and waterways. Pollution of stormwater will be prevented during construction using erosion and sediment controls,

---

<sup>1</sup> For the purposes of the Stormwater Management Standards, redevelopment projects are defined to include the following (in part): "Maintenance and improvement of existing roadways, including widening less than a single lane, adding shoulders, correcting substandard intersections, improving existing drainage systems, and repaving."



including silt fencing adjacent to wetlands, inlet protection for catch basins, and temporary stabilization measures for disturbed areas before final stabilization with loam and seeding. The project is not expected to result in erosion or scouring downstream.

## **STANDARD 2: PEAK RATE CONTROL AND FLOOD PREVENTION**

In general, existing watersheds and flow paths will be maintained. Any impervious area generated from the proposed pavement, sidewalks, buffers, and separated bike lanes are expected to be negligible and will not create additional runoff as these areas are mostly being reconstructed within existing impervious areas. All runoff from the impervious areas on Centre Street is conveyed by the existing and new 15- and 18-inch drainage trunkline in Centre Street to an outfall to Bussey Brook located southwesterly of the project site. All runoff from the impervious areas on Walter Street is conveyed by the existing 15-inch trunkline in Walter Street to an outfall to Bussey Brook near the intersection of Walter Street and Bussey Street.

## **STANDARD 3: MINIMIZE OR ELIMINATE LOSS OF ANNUAL RECHARGE TO GROUNDWATER**

The Soil Map available from the National Resource Conservation Service (NRCS) indicates that most of the soil within the proposed Project limits is categorized as Ridgebury fine sandy loam and Udorthents, which is also a loamy soil. Ridgebury loam makes up 4.3% of the project area and consists of nearly level, poorly drained soils, while Udorthents makes up 95.7% of the remaining project area and consists of well drained to excessively drained soils. The NRCS soil map is provided in **Appendix B**. This project will create a net decrease of impervious cover by 1,087 sf, minimizing loss of annual recharge.

## **STANDARD 4: REMOVE 80% OF TOTAL SUSPENDED SOLIDS**

The sidewalk installation is expected to generate minimal sediment and pollutants. The use of sand and deicing chemicals on the sidewalk will be minimized to the greatest extent practicable. Suitable practices for pollution prevention and source control will be implemented as identified in the Operation and Maintenance Plan provided in **Appendix C**.

## **STANDARD 5: LAND USES WITH HIGHER POTENTIAL POLLUTANT LOADS**

There are no land uses with higher potential pollutant loads within, or directly adjacent to, the project area.

## **STANDARD 6: STORMWATER DISCHARGES TO CRITICAL AREAS**

The project does not discharge to areas that are within or near critical areas.





## STANDARD 7: REDEVELOPMENT PROJECTS

The project is considered a redevelopment project and is subject to the Massachusetts Department of Environmental Protection (MassDEP) Stormwater Management Standards only to the maximum extent practicable as the project area is comprised of previously developed land consisting of roadways, sidewalks, and landscaped areas. The project is expected to improve the existing conditions by reducing the total impervious area that contributes to the surrounding drainage network and will provide long-term upkeep of the site and the proposed stormwater management components.

## STANDARD 8: CONTROL CONSTRUCTION-RELATED IMPACTS

The project will install erosion and sediment controls prior to any major earthwork activity. Land disturbance will be kept to a minimum. Stabilization, such as temporary vegetation and/or mulch, will be provided on disturbed areas if final grading is to be delayed for more than 21 days. The Contractor will be responsible for controlling erosion and dust throughout construction.

## STANDARD 9: LONG-TERM OPERATION AND MAINTENANCE PLAN

The project's long-term operation and maintenance plan for the project is provided in **Appendix C**.

## STANDARD 10: NO ILLICIT DISCHARGES

There are no known or proposed illicit connections associated with this project. An illicit discharge compliance statement is provided in **Appendix D**.



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Engineers + Planners

## Appendix A

### Stormwater Checklist





# Checklist for Stormwater Report

## A. Introduction

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.<sup>1</sup> This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8<sup>2</sup>
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

<sup>1</sup> The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

<sup>2</sup> For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



# Checklist for Stormwater Report

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## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

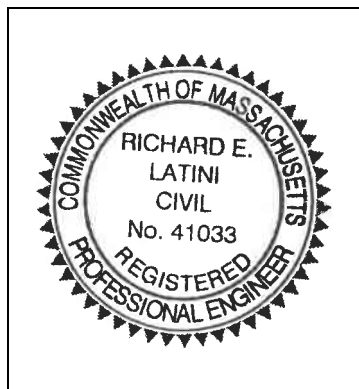
A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

---

### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



11/9/2022

Signature and Date

---

## Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment





# Checklist for Stormwater Report

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## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
  - Credit 1
  - Credit 2
  - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): \_\_\_\_\_

### Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

### Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - Static
  - Simple Dynamic
  - Dynamic Field<sup>1</sup>
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - Site is comprised solely of C and D soils and/or bedrock at the land surface
  - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - Solid Waste Landfill pursuant to 310 CMR 19.000
  - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

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<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.





# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - is within the Zone II or Interim Wellhead Protection Area
    - is near or to other critical areas
    - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - involves runoff from land uses with higher potential pollutant loads.
  - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
  - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
  - The ½" or 1" Water Quality Volume or
  - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

### Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.





# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
  - Limited Project
    - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
    - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
    - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
    - Bike Path and/or Foot Path
  - Redevelopment Project
    - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

### Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - Name of the stormwater management system owners;
  - Party responsible for operation and maintenance;
  - Schedule for implementation of routine and non-routine maintenance tasks;
  - Plan showing the location of all stormwater BMPs maintenance access areas;
  - Description and delineation of public safety features;
  - Estimated operation and maintenance budget; and
  - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

### Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.





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Engineers + Planners

## **Appendix B**

### NRCS Soil Map

Soil Map—Norfolk and Suffolk Counties, Massachusetts



Map Scale: 1:1,900 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

10/12/2020 Page 1 of 3




## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Norfolk and Suffolk Counties, Massachusetts

Survey Area Data: Version 16, Jun 11, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2019—Oct 5, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
70A	Ridgebury fine sandy loam, 0 to 3 percent slopes	0.1	4.3%
654	Udorthents, loamy	2.6	95.7%
<b>Totals for Area of Interest</b>		<b>2.7</b>	<b>100.0%</b>





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## Appendix C

### Operation and Maintenance Plan

# **Centre Street and Walter Street – Boston, MA Stormwater Management System**

## **Operation and Maintenance Plan (O&M) and Long Term Pollution Prevention Plan (LTPPP)**

**October 2022**

This Stormwater Management System Operation and Maintenance Plan provides for the inspection and maintenance of structural Best Management Practices (BMPs) and for measures to prevent pollution associated with the Centre Street and Walter Street Transportation Improvements Project in Boston, MA.

This document has been prepared in accordance with the requirements of the Stormwater Regulations included in the Massachusetts Wetlands Protection Act Regulations (310 CMR 10).

### **Responsible Party**

The City of Boston will be responsible for the maintenance of the roadway facilities and associated stormwater management features, in accordance with City of Boston standards.

Questions or concerns regarding maintenance activities may be addressed to Public Works Department:

Para Jayasinghe  
1 City Hall Square, Room 710  
Boston, MA 02201

### **Maintenance Measures**

The stormwater management system covered by this Operation and Maintenance Plan consists of the following component:

- Deep Sump Hooded Catch Basins & Manholes

Maintenance of these components will be conducted in accordance with the Boston Water and Sewer Commission standard maintenance practices, as noted in the attached Operation and Maintenance table summarizing the pertinent inspection and maintenance activities.

If inspection indicates the need for major repairs of structural surfaces, the inspector should contact the Boston Public Works Department to initiate procedures to effect repairs in accordance with standard construction practices.



## **Practices for Long Term Pollution Prevention**

For the facilities covered by this Operation and Maintenance Plan, long term pollution prevention includes the following measures:

### Litter Pick-up

The City of Boston will conduct litter pick-up from the stormwater management facilities in conjunction with routine road maintenance activities.

### Minimize Sediment and Pollutants

The City of Boston will minimize the use of sand and deicing chemicals during sidewalk installation to the greatest extent practicable.

### Routine Inspection and Maintenance of Stormwater BMPs

The City of Boston will conduct inspection and maintenance of the stormwater management practices in accordance with the guidelines discussed above.

### Spill Prevention and Response

The City of Boston will implement response procedures for releases of significant materials such as fuels, oils, or chemical materials onto the ground or other areas that could reasonably be expected to discharge to surface or groundwater.

- Reportable quantities will immediately be reported to the applicable Federal, State, and local agencies as required by law.
- Applicable containment and cleanup procedures will be performed immediately. Impacted material collected during the response must be removed promptly and disposed of in accordance with Federal, State, and local requirements. A licensed emergency response contractor may be required to assist in cleanup of releases depending on the amount of the release and the ability of the responsible party to perform the required response.
- Reportable quantities of chemical, fuels, or oils are established under the Clean Water Act and enforced through DEP.

### Maintenance of Landscaped Areas

Routine mowing should be conducted according to standard City of Boston practices. As indicated in the attached O&M table, embankments designed to impound water should be mowed as required to prevent establishment of woody vegetation.

The City of Boston shall minimize use of fertilizers, herbicides, and pesticides for the maintenance of facilities covered by this plan. Any use of fertilizers, herbicides, or pesticides shall be reviewed and approved by the applicable City of Boston Environmental Engineer prior to application. Local Conservation Commission review may also be required.

### Prohibition of Illicit Discharges

The DEP Stormwater Management Standards prohibit illicit discharges to the storm water management system. Illicit discharges are discharges that do not entirely consist of stormwater, except for certain specified non-stormwater discharges.

Discharges from the following activities are not considered illicit discharges:

firefighting	foundation drains
water line flushing	footing drains
landscape irrigation	individual resident car washing
uncontaminated groundwater	flows from riparian habitats and wetlands
potable water sources	dechlorinated water from swimming pools
water used to clean residential buildings	water used for street washing
without detergents	air conditioning condensation

There are no known or proposed illicit connections associated with this project. If a potential illicit discharge to the facilities covered by this plan is detected (e.g., dry weather flows at any pipe outlet, evidence of contamination of surface water discharge by non-stormwater sources), the City of Boston Maintenance Engineer or Environmental Engineer shall be notified for assistance in determining the nature and source of the discharge, and for resolution through the City of Boston's IDDE program.



**Attachment C: Best Management Practices: Operation & Maintenance Measures**

Best Management Practice	Sweep	Mow	Inspect	Clean	Repair	Notes
Deep Sump Catch Basins and Manholes	NA	NA	Annually (after snow melt)	<ul style="list-style-type: none"> <li>• As Needed Based on Inspection (ANI)</li> <li>• Litter and debris clogging inlet grate or curb inlet opening</li> </ul>	ANI	



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## Appendix D

### Illicit Discharge Compliance Statement



### **Illicit Discharge Compliance Statement**

To the best of my knowledge, belief and information the stormwater management system servicing the Centre Street and Walter Street Transportation Improvements Project along Centre Street and Walter Street, will not receive illicit discharges, including wastewater discharges or stormwater contaminated by contact with process wastes, raw materials, toxic pollutants, or hazardous substances.

There are no known or proposed illicit connections associated with this project. If a potential illicit discharge to the facilities covered by this plan is detected (e.g. dry weather flows at any pipe outlet, evidence of contamination of surface water discharge by non-stormwater sources), the City of Boston Maintenance Engineer or Environmental Engineer shall be notified for assistance in determining the nature and source of the discharge, and for resolution through the City of Boston's IDDE program.

The stormwater management and conveyance systems are shown on the plans entitled "Centre Street and Walter Street NOI Permit Submission" prepared by Howard Stein Hudson and include with the Notice of Intent submittal.

Signature: \_\_\_\_\_

A handwritten signature in blue ink, appearing to read "Val Syden", is written over a horizontal line.



**HOWARD STEIN HUDSON**

11 Beacon Street, Suite 1010  
Boston, Massachusetts 02108  
617.482.7080

[www.hshassoc.com](http://www.hshassoc.com)

## **Translator's Affidavit**

I, Danyal Najmi, am a professional translator with Rosetta Languages, fluent in English and Spanish. I hereby certify that I have translated and verified the following document which is attached to this affidavit.

- Abutter Notification, Centre St and Walter St, English>Spanish

I further certify that, to the best of my knowledge, the attached translation written in Spanish is a true and accurate translation of the original document written in English.

**Danyal Najmi**

Rosetta Languages

617-909-3522

Danyal.Najmi@gmail.com

Rosettalanguages.org



## **Checklist for Filing a Notice of Intent with Boston Conservation Commission**

In order for the Boston Conservation Commission to effectively process your Notice of Intent, BCC requests that you complete the checklist below and include it with your submission. If you should need assistance please contact Commission Staff: 617-635-3850 ([cc@boston.gov](mailto:cc@boston.gov)).

Please Submit the Following to the Conservation Commission:

- ✓ Two copies (a signed original and 1 copy) of a completed Notice of Intent (WPA Form 3)
- ✓ Two copies (a signed original and 1 copy) of a completed Boston Notice of Intent (Local Form)
- ✓ Two copies of plans (reduced to 11" X 17") in their final form with engineer's stamp affixed supporting calculations and other documentation necessary to completely describe the proposed work and mitigating measures. Plans must include existing conditions, the proposed project, erosion controls and mitigation measures, grading and spot elevations and all wetland resource areas and associated buffer zones. Some projects may require both an aerial view of the plans along with a profile view of plans depending on the scope of work.
- ✓ Two copies of an 8 ½" x 11" section of the [USGS quadrangle map](#) of the area, containing sufficient information for the Conservation Commission and the Department to locate the site of the work.
- ✓ (If applicable) Two copies the Federal Emergency Management Agency Flood Insurance Rate Map for the project site. FEMA Flood Maps: <https://msc.fema.gov/portal>.
- ✓ Two copies of the determination regarding the Natural Heritage and Endangered Species Program: Review Section C. Other Applicable Standards and Requirements of the Notice of Intent, page 4 of 8, pertaining to wildlife habitat. The Conservation Commission and the [Natural Heritage & Endangered Species Program](#) have the maps necessary to make this determination.
- ✓ (If applicable) Two hard copies of a Stormwater Report to document compliance with the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q), including associated drainage calculations for rooftops, parking lots, driveways, etc., for the required design storm events.
- ✓ (If applicable) A narrative detailing best management practices for stormwater management as set forth in the Stormwater Management Standards of the Massachusetts Department of Environmental Protection and any separate standards and guidelines prepared by the City and the Boston Water and Sewer Commission.
- ✓ (If applicable) Two hard copies of the Checklist for Stormwater Report
- ✓ Details of the stormwater management system, including: catch basins, oil separating tanks, detention basins, outfalls, sewer connections, etc.
- ✓ Any photographs related to the project representing the wetland resource areas.
- ✓ Two copies of a detailed project narrative describing the following: an overview of the entire project, the work proposed within wetland resource areas and/or buffer zones; how the performance standards specific to the wetland resource areas will be met (listing out each performance standard); a consideration of the effect that projected sea level rise, changes in storm intensity and frequency, and other consequences of climate change may have on the resource areas and proposed activities; construction equipment and material involved; and measures to protect wetland resource areas and mitigate impacts. The applicant shall also include narrative on how they plan to integrate climate change and adaptation planning considerations into their project to promote climate resilience to protect and promote Resource Area Values and functions into the future.
- ✓ Two copies of an Abutters List, Affidavit of Service and [Abutter Notification](#), filed concurrently with the Notice of Intent. Abutter notices shall be sent in both English and the second most commonly spoken language(s) in the neighborhood(s) where the project is proposed. Notices shall also include Babel notice cards for additional translation and language access services. [All abutters within 300' of the project](#)

## **Checklist for Filing a Notice of Intent with Boston Conservation Commission**

[property line](#) must be notified including those in a neighboring municipality. In such an instance, a copy of the filing must also be sent to the local Conservation Commission of the neighboring municipality.  
EXCEPTION: When work is in land under water bodies and waterways or on a tract of land greater than 50 acres, written notification must only be given to abutters within 300 feet of the “project site.”

N/A

- Two copies of the BPDA Climate Resiliency Checklist (for new buildings). This can be completed online at <http://www.bostonplans.org/planning/planning-initiatives/article-37-green-building-guidelines>. Please print the pdf that you will receive via email after completion and include it in your submission.



**Electronic copies.** Documents may be submitted via email, or via an email link to downloadable documents.



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