

HISTORIC PRESERVATION & ADDITION GATEWAY BRIGHTON

1954 COMMONWEALTH AVE, BOSTON, MA 02135



View from Commonwealth Avenue



View from Public Park

DRAWING LIST	
Sheet Number	Sheet Name
SURVEY	SURVEY
C-1	SITE PLAND AND EXTERIOR LIGHTING PLAN
L-1	PLANTING PLAN
A100	BASEMENT PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	FOURTH FLOOR PLAN
A105	FIFTH FLOOR PLAN
A106	SIXTH FLOOR PLAN
A180	ROOF PLAN
A201	EXTERIOR ELEVATIONS
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A204	EXTERIOR ELEVATIONS
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A508	BUILDING SECTIONS
A700	RENDERING VIEWS

ZONING ANALYSIS FOR NOTICE OF PROJECT CHANGE 1954 COMMONWEALTH AVENUE, BRIGHTON, MA 02135

Proposed Project: Move existing three-family historic residence forward on 13,368 SF lot, and erect six story rear addition (five stories above on-grade parking) with 26 residential rental units and 19 off-street parking spaces. The Board of Appeal granted variances on March 23, 2010, BZC-2984E, Permit No. 09-2392. The Aberdeen Architectural Conservation District Commission (AACDC) granted an Approval with Provisos on December 28, 2018, (Article 29(29-4) Design Review) for a Certificate of Appropriateness. Copies of the Decision granting the variances and the AACDC Approval with Provisos are submitted with the Notice of Project Change.

Zoning District: Allston/Brighton Neighborhood (Article 51)
Zoning Sub-district: MFR-2

Project vs. Zoning Requirement and Existing Variance Comparison Table:

Applicable Requirement	MRF-2 District	Existing Variance (March 23, 2010)	Project (Proposed) Change from Existing Variance
Use: Multi-family Dwelling	Allowed	Complies	No change (26 Dwelling Units)
Minimum Lot Area per Dwelling Unit	4,000 SF (1-3 Units) / 1,000 SF per additional dwelling unit	Variance granted (16 Units, 720.62 SF per Unit)	Yes - Variance to be modified (26 Units, 407.30 SF per Unit)
Minimum Lot Width	40'	Complies	No change (100.65')
Minimum Lot Frontage	40'	Complies	No change (100.65')
Maximum Floor Area Ratio	2.0	Complies	No change (FAR 1.99)
Maximum Building Height/Stories	55' / 3 Stories	Variance granted (77.1' / 6 Stories)	No change (67.1')
Minimum Usable Open Space per Unit	200 SF per Unit	Complies	Yes - Variance for Open Space (107 SF per Unit - 2,780 SF in total)
Minimum Front Yard Depth	20'	Complies	No change (20.1')
Minimum Side Yard Setback	10'	Complies	Yes - Variance for west side (5'-11" to property line, -13'-0" to nearest building edge) No change (East side 10.1')
Minimum Rear Yard Setback	20'	Variance granted (5')	No change (5')
Off Street Parking	2.0 spaces/ unit	Variance granted (19 spaces)	No change (19 spaces)

OWNER:
YU INVESTMENT TRUST
 675 VFW PARKWAY #128
 CHESTNUT HILL, MA 02467

ARCHITECT:
DAVIS SQUARE ARCHITECTS
 240A ELM STREET, SOMERVILLE, MA 02144
 617.628.5700 (T) 617.628.1717 (F)

CIVIL ENGINEER:
HW MOORE ASSOCIATES, INC.
 112 SHAWNUT AVE, #4, BOSTON, MA 02118
 617.357.8145 (T)

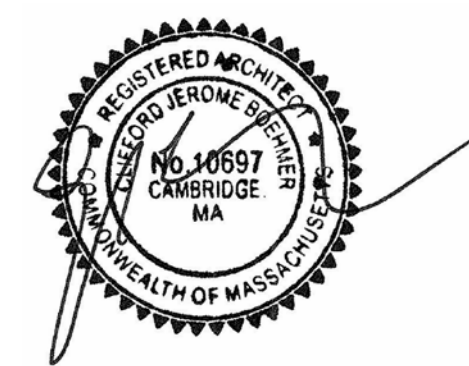
STRUCTURAL ENGINEER:
SOUZA, TRUE AND PARTNERS INC.
 265 WINTER ST, 3RD FLOOR, WALTHAM, MA 02451
 617.926.6100 (T)

MEP ENGINEER:
BLW ENGINEERS INC.
 311 GREAT ROAD, LITTLETON, MA 01460
 978.486.4301

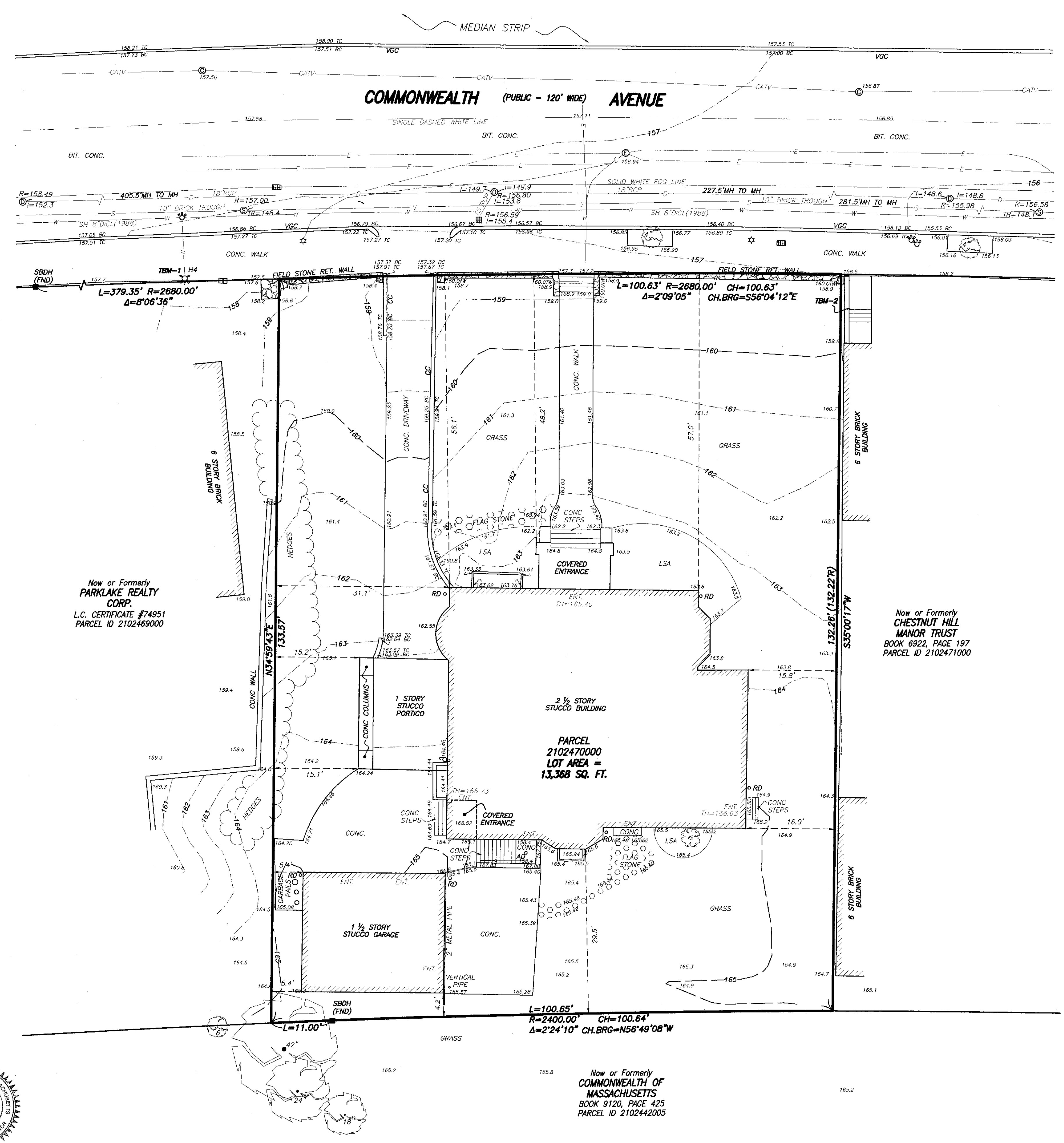
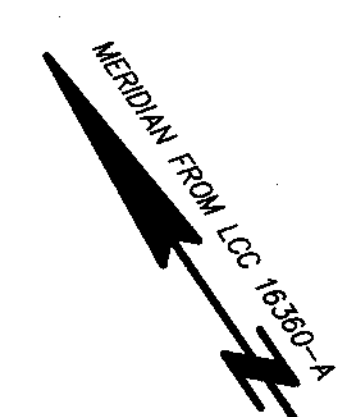
LOCATION MAP



ZONING SET
2020-09-14



PROJECT NO.
15012.00



- LEGEND**
- ⊙ SEWER MANHOLE
 - ⊕ DRAIN MANHOLE
 - ⊖ ELECTRIC MANHOLE
 - ⊗ TELEPHONE MANHOLE
 - ⊘ CABLE TV MANHOLE
 - ⊙ HYDRANT
 - ⊕ WATER SHUT OFF
 - ⊖ GAS SHUT OFF
 - ⊗ BOSTON WATER VALVE
 - ⊘ CATCH BASIN
 - ⊙ TRAFFIC SIGNAL
 - ⊕ LIGHT POLE
 - ⊖ ELECTRIC HANDHOLE
 - ⊗ BOLLARD
 - ⊘ SIGN
 - RD ROOF DRAIN
 - CC CONCRETE CURB
 - REC RECORD
 - CALC CALCULATED
 - VGC VERTICAL GRANITE CURB
 - BIT BITUMINOUS
 - CONC CONCRETE
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - I= INVERT ELEVATION
 - TT= TOP OF TRAP
 - TR= CENTERLINE OF TROUGH
 - LSA LANDSCAPED AREA
 - RET. RETAINING
 - AD AREA DRAIN
 - INACC. INACCESSIBLE
 - SQ. FT. SQUARE FEET
 - R= RADIUS OR RIM ELEVATION
 - L= LENGTH
 - CH.BRG= CHORD BEARING
 - CH= CHORD LENGTH
 - TH THRESHOLD
 - TW TOP OF WALL
 - S SEWER
 - D DRAIN
 - W WATER
 - G GAS
 - E ELECTRIC
 - L STREET LIGHTING
 - T TELEPHONE
 - CATV CABLE TELEVISION

Now or Formerly
PARKLAKE REALTY CORP.
L.C. CERTIFICATE #74951
PARCEL ID 2102469000

Now or Formerly
CHESTNUT HILL MANOR TRUST
BOOK 6922, PAGE 197
PARCEL ID 2102471000

PARCEL 2102470000
LOT AREA = 13,368 SQ. FT.

L=100.65'
R=2400.00' CH=100.64'
Δ=2°24'10" CH.BRG=N56°49'08"W

REFERENCES

- COUNTY REGISTRY OF DEEDS
BOOK 34320, PAGE 235
- PLAN IN BOOK 3454, PAGE 181
- PLAN IN BOOK 3360, PAGE 521
- PLAN IN BOOK 9120, PAGE 425
- MASSACHUSETTS LAND COURT
LCC 16360-A
- CITY OF BOSTON ENGINEERING DEPARTMENT
FIELD BOOK 709, PAGE 47
- FIELD BOOK 741, PAGE 104
- FIELD BOOK 842, PAGE 156
- PLAN NO. L-2650

NOTES:

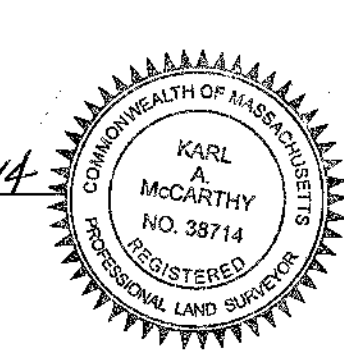
- 1) BENCH MARK INFORMATION:
BENCH MARK USED:
INVERT ON SEWER MANHOLE #88, ELEVATION = 148.45

TEMPORARY BENCH MARKS SET:
TBM-1: HYDRANT - LEFT FRONT CAP BOLT,
ELEVATION = 159.61
TBM-2: RIGHT OUTER CORNER OF TOP CONCRETE STEP,
ELEVATION = 157.07
- 2) ELEVATIONS REFER TO BOSTON CITY BASE.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 2502500059G, CITY OF BOSTON COMMUNITY NUMBER 250286, PANEL NUMBER 0059G, HAVING AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- 6) AT THE TIME THIS PLAN WAS PUBLISHED NO RECORD GAS INFORMATION HAD BEEN RECEIVED.
- 7) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

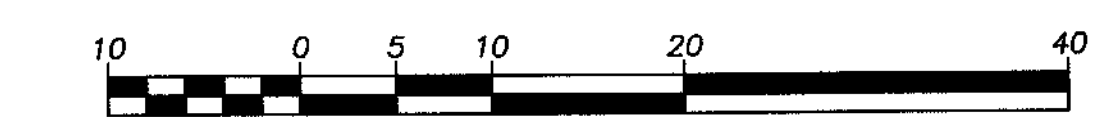
Karl A. McCarthy
KARL A. MCCARTHY, PLS (MA# 38714)
kam@feldmansurveyors.com

09-19-2014
DATE



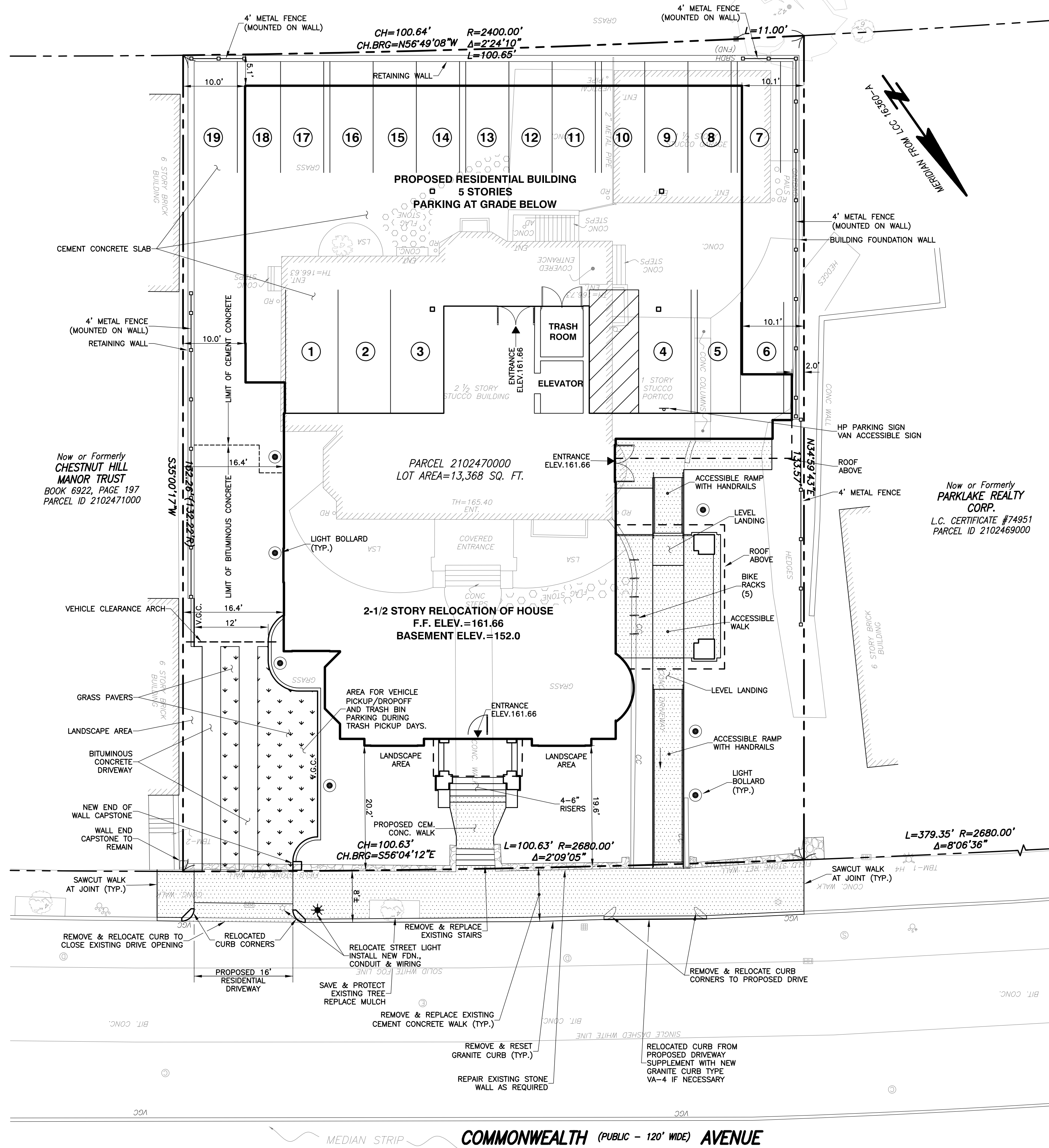
EXISTING CONDITIONS PLAN
1954 COMMONWEALTH AVENUE
BOSTON, MASS.

FELDMAN LAND SURVEYORS
112 SHAWMUT AVENUE
BOSTON, MASS. 02118
SEPTEMBER 15, 2014
PHONE: (617)357-9740
www.feldmansurveyors.com



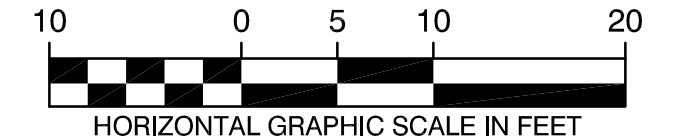
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CALC MDS	CADD MDS	FIELD CHECKED	CRD FILE 14357	JOB NO. 14357
FILENAME: S:\PROJECTS\14300a\14357\DWG\14357-EC.dwg				

Now or Formerly
COMMONWEALTH OF
MASSACHUSETTS
BOOK 9120, PAGE 425
PARCEL ID 2102442005



Now or Formerly
CHESTNUT HILL
MANOR TRUST
BOOK 6922, PAGE 197
PARCEL ID 2102471000

Now or Formerly
PARKLAKE REALTY
CORP.
L.C. CERTIFICATE #74951
PARCEL ID 2102469000



REVISIONS		
NO.	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION

DATE: SEPT. 20, 2020
SCALE: 1" = 10'
SHEET C-1

GATEWAY BRIGHTON
1954 COMMONWEALTH AVENUE
BOSTON, MASSACHUSETTS

SITE PLAN

REFERENCE:
EXISTING PROPERTY LINE, TOPOGRAPHIC AND UTILITY INFORMATION IS TAKEN FROM A DIGITAL FILE RECEIVED ON FEBRUARY 17, 2016 AND NAMED "14357-EC_2016-2-17.dwg" OF A PLAN TITLED "EXISTING CONDITIONS PLAN, 1954 COMMONWEALTH AVE. BOSTON, MASS." DATED SEPTEMBER 15, 2014. PLAN PREPARED BY FELDMAN LAND SURVEYORS OF BOSTON, MA.

PROPOSED BUILDING TAKEN FROM A DIGITAL FILE RECEIVED ON OCTOBER 10, 2018 NAMED "A101.dwg". PLAN WAS PREPARED BY DAVIS SQUARE ARCHITECTS, INC. OF SOMERVILLE, MA.

ENGINEER
H.W. MOORE ASSOCIATES, INC.
112 SHAWMUT AVENUE
BOSTON, MA 02118
TEL. 617-357-8145

OWNER / APPLICANT
YU INVESTMENT TRUST
675 VFW PARKWAY, #128
CHESTNUT HILL, MA 02467
TEL. 617-780-7855
CONTACT: DAN YU

PROJECT ADDRESS
1954 COMMONWEALTH AVE.
BOSTON, MA 02135-5802

H.W. Moore
A S S O C I A T E S
CIVIL ENGINEERING | LAND PLANNING
A DIVISION OF HANCOCK SURVEY ASSOCIATES
121 E. Berkeley Street, 4th Floor, Boston, MA 02118
Tel: 617-357-8145 Fax: 617-357-9495 web: hwmoores.com

File Name: C:\3725-518.dwg, Saved: 9/15/2020 5:20 PM, Plotted: Sep 16, 2020 12:10:08pm, Tab: C:\SITE PLAN, Plot Style: 1095.ctb, Plotted By: David T. White

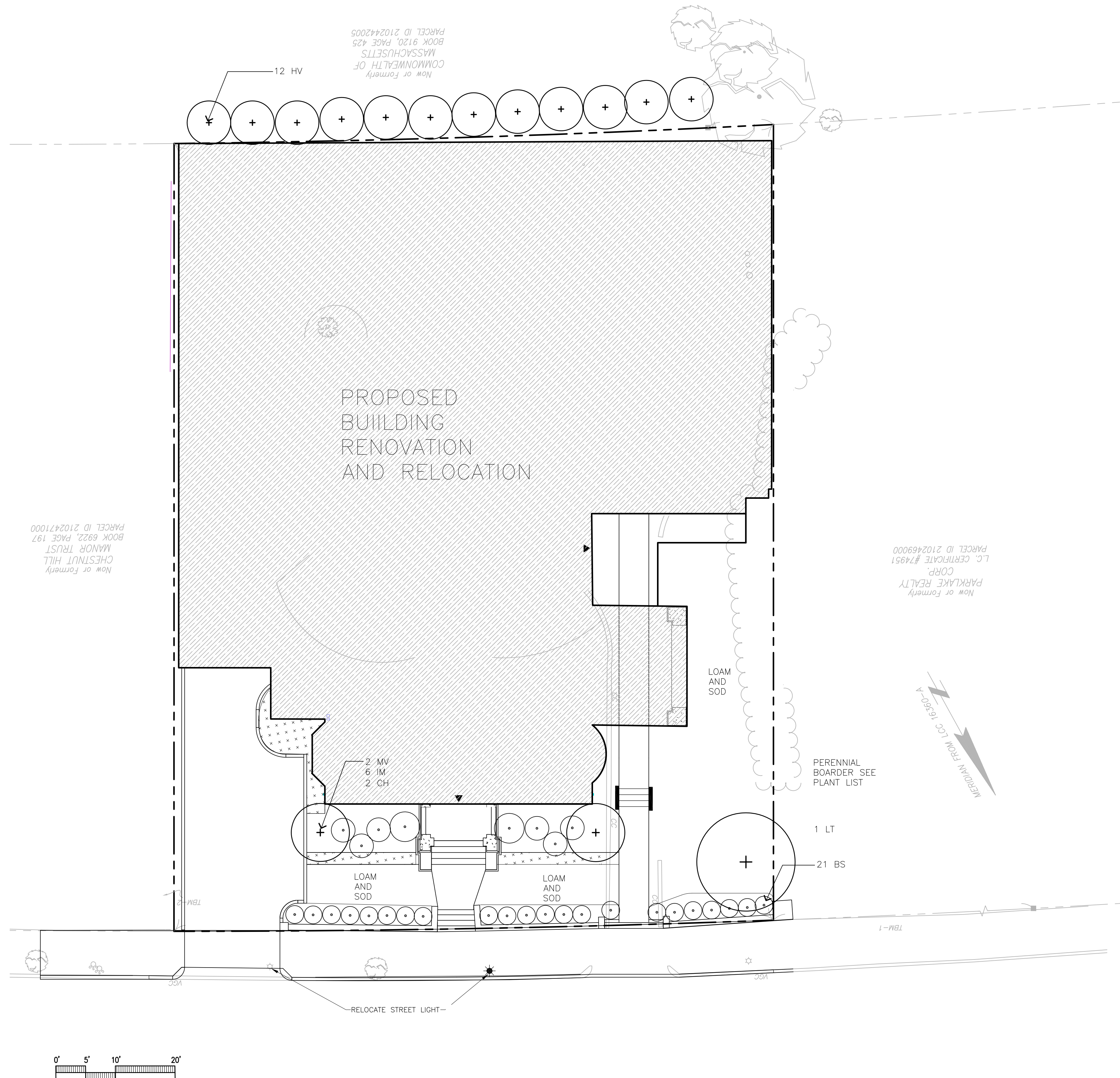
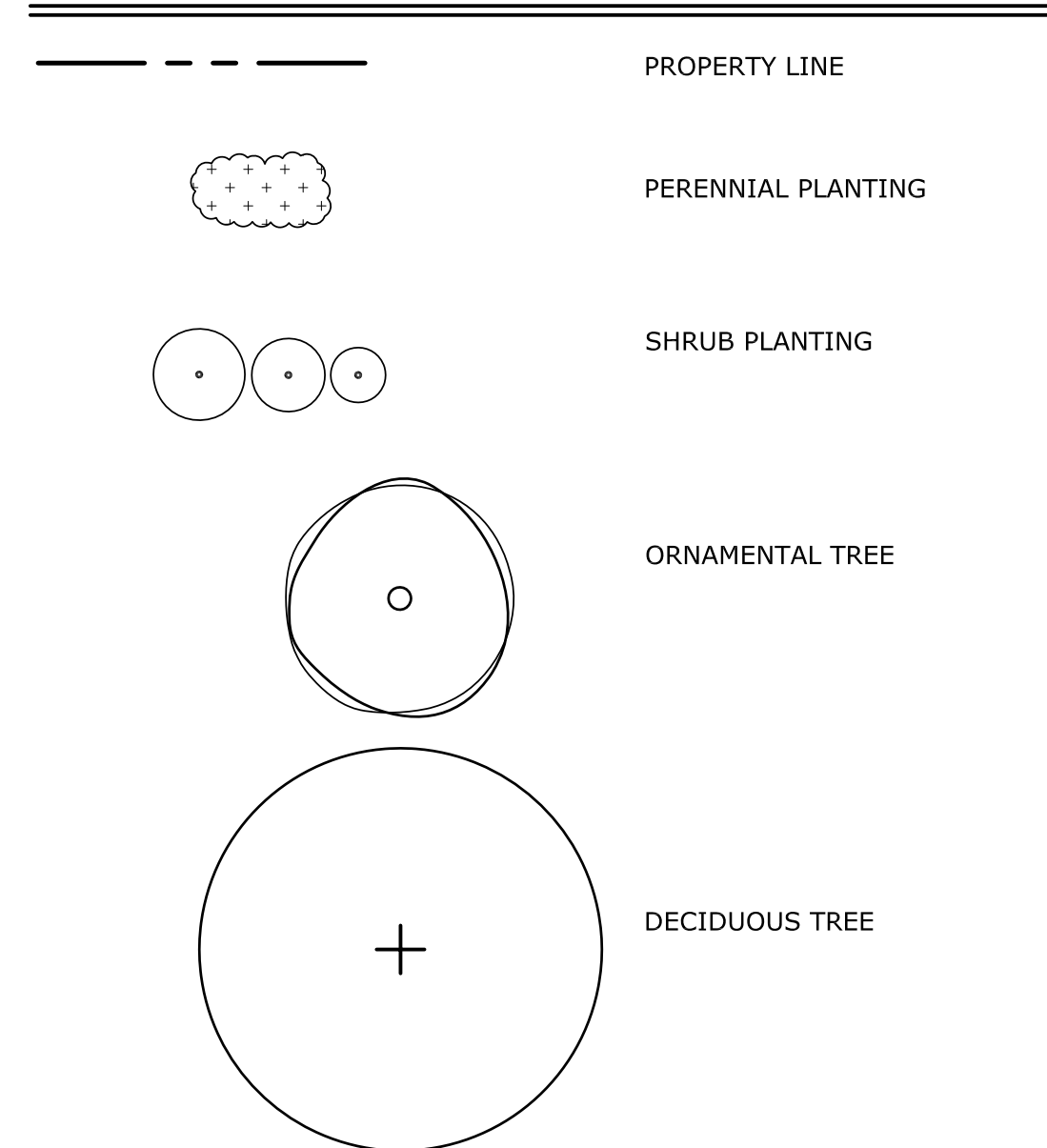
GATEWAY BRIGHTON

1954
COMMONWEALTH AVE.
BOSTON, MA

PLANTING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FELDMAN, OF BOSTON, MA, DATED 15 SEPTEMBER 2014.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.

PLANTING LEGEND



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
TREES					
LT	LIRIODENDRON TULIPIFERA	TULIP TREE	1	2.5"-3" CAL.	
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2	5-6' HT.	
SV	SYRINGIA VULGARIS	COMMON LILAC	1	5-6' HT.	
TREES					
BS	BUXUS SEMPERVIREM	COMMON BOXWOOD	21	24-36" HT.	
CH	CEPHALOTAXUS HARRINGTON 'FASTIGIATA'	JAPANESE PLUM YEW	2	3-4' HT. B&B	
HV	HAMAMELIS VIRGINIANA	WITCH HAZEL	12	3-4' HT. B&B	
PERENNIALS					
	ALCEA RUGOSA	HOLLYHOCK	7	1 GAL.	
	DIANTHUS SP.	SWEET WILLIAM	7	1 GAL.	
	DIGITALIS SP.	FOXGLOVE	7	1 GAL.	
	HEUCERRA SP.	CORAL BELLS	7	1 GAL.	



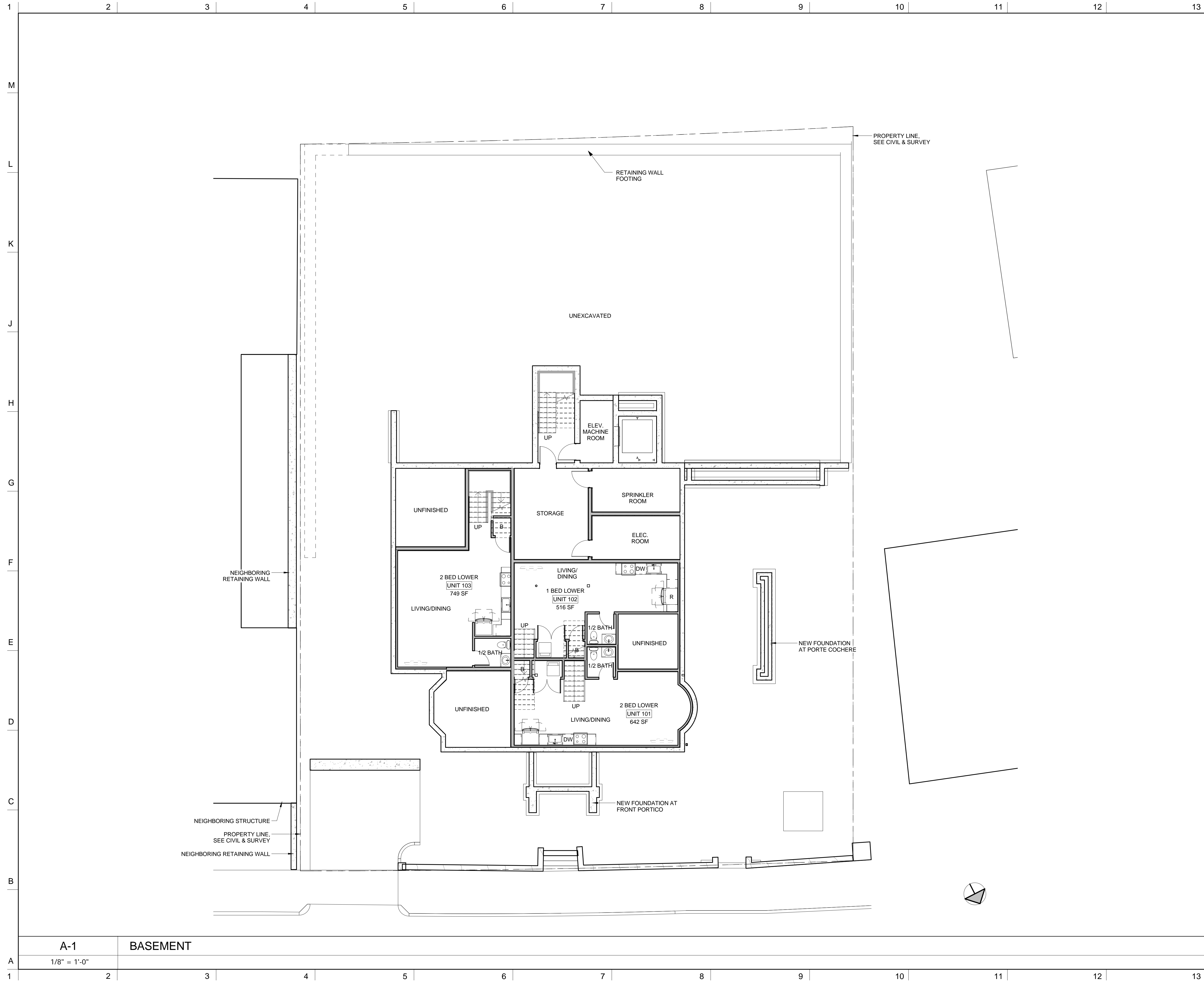
DZ I Land Planning, Civil Engineering,
Landscape Architecture
Po Box 307
Foxborough, MA
www.develliszrein.com
tel. 508.473.4114

DeVellis Zrein Inc.

PLANTING PLAN

SCALE: 1"=10"
JOB: 2GIS-272
FILE: 2GIS-272
DRAWN: CRM
CHECKED: CRM
DATE: 8.16.18

L-1



NOTES

DO NOT SCALE DRAWINGS.

GENERAL NOTES

- ALL UNITS IN THE NEW ADDITION ON FLOORS 2 THRU 6 SHALL MEET THE REQUIREMENTS FOR GROUP 1 ACCESSIBILITY PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.
- THE 1ST FLOOR UNITS IN THE EXISTING HISTORIC HOUSE SHALL BE GROUP 1 "VISITABLE" PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.

NUMBERED NOTES

- N1. FLOOR AND/OR WALL OVERHEAD.
- N2. STAIRS OVERHEAD.
- N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
- N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - DETAIL DRAWING CALL-OUT
 - SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - SPOT ELEVATION
 - WINDOW TAG
 - DOOR TAG
 - WALL TAG
 - FIRE EXTINGUISHER CABINET
 - MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
 - FLOOR DRAIN. SEE PLUMBING DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

DAVIS SQUARE ARCHITECTS

240A Elm St.,
Somerville, MA 02144
617.628.5700
www.davissquarearchitects.com

Consultant

Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **BASEMENT PLAN**

Design: _____ Drawing No. _____

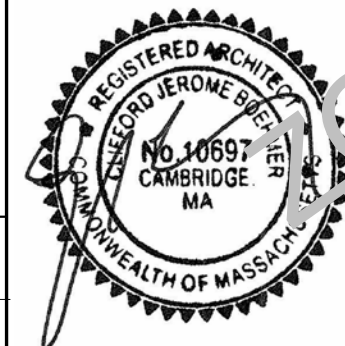
Checked: _____

Project No. 15012.00

Scale As indicated

Date 2020-09-14

A100



A-1 BASEMENT
1/8" = 1'-0"

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NOTES

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GENERAL NOTES

- ALL UNITS IN THE NEW ADDITION ON FLOORS 2 THRU 6 SHALL MEET THE REQUIREMENTS FOR GROUP 1 ACCESSIBILITY PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.
- THE 1ST FLOOR UNITS IN THE EXISTING HISTORIC HOUSE SHALL BE GROUP 1 "VISITABLE" PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.

NUMBERED NOTES

- N1. FLOOR AND/OR WALL OVERHEAD.
- N2. STAIRS OVERHEAD.
- N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
- N4. TRASH CHUTE DISCHARGE OVERHEAD.

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - SIM
1 A101
DETAIL DRAWING CALL-OUT
 - SIM
1 A101
SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - 50.00
SPOT ELEVATION
 - A
WINDOW TAG
 - 101
DOOR TAG
 - 11
WALL TAG
 - FEC
FIRE EXTINGUISHER CABINET
 - DH
MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
 - FD
FLOOR DRAIN. SEE PLUMBING DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

DAVIS SQUARE ARCHITECTS

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Somerville, MA 02144
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Consultant

Project **HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON**
1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **FIRST FLOOR PLAN**

Designed by
B. Bennett

Project No.
15012.00

Scale
As indicated

Date
2020-09-14

Drawing No.
A101

A-1
1/8" = 1'-0"

LEVEL 1

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1 2 3 4 5 6 7 8 9 10 11 12 13

M

L

K

J

H

G

F

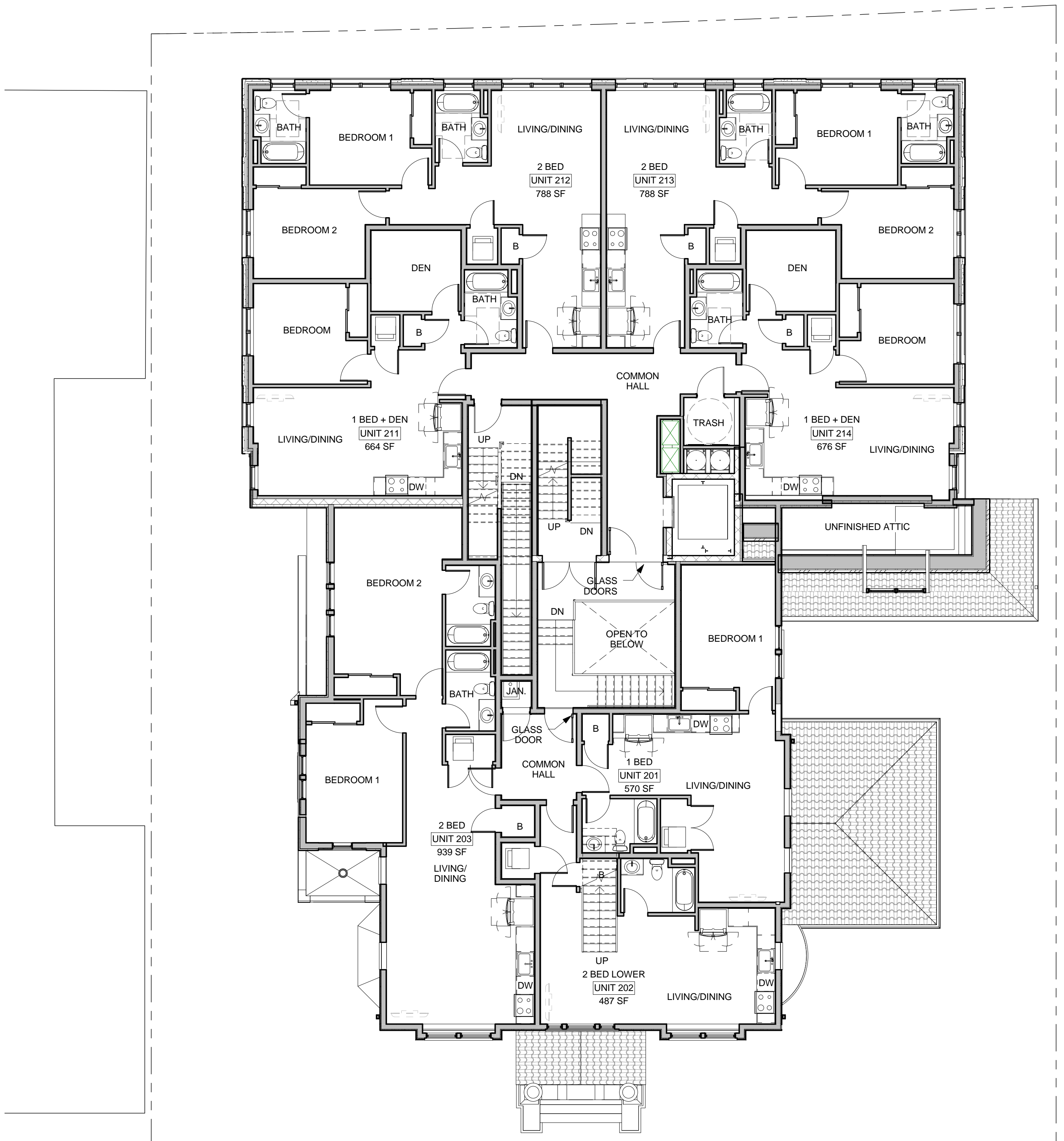
E

D

C

B

A



NOTES

DO NOT SCALE DRAWINGS.
GENERAL NOTES
 • ALL UNITS IN THE NEW ADDITION ON FLOORS 2 THRU 6 SHALL MEET THE REQUIREMENTS FOR GROUP 1 ACCESSIBILITY PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.
 • THE 1ST FLOOR UNITS IN THE EXISTING HISTORIC HOUSE SHALL BE GROUP 1 "VISITABLE" PER MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR.
NUMBERED NOTES
 N1. FLOOR AND/OR WALL OVERHEAD.
 N2. STAIRS OVERHEAD.
 N3. HOLLOW STRUCTURAL STEEL COLUMN WITH 12"x16"x36" HIGH CONCRETE BASE.
 N4. TRASH CHUTE DISCHARGE OVERHEAD.

KEY:

- FLOOR LEVEL
- GRID HEAD AND GRID CENTERLINE
- SIM
1 A101
DETAIL DRAWING CALL-OUT
- SIM
1 A101
SECTION DRAWING CALL-OUT
- NORTH ARROW
- 50.00
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WINDOW TAG
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WALL TAG
- FEC
FIRE EXTINGUISHER CABINET
- DH
MAGNETIC DOOR HOLDER. SEE ELECTRICAL FIRE ALARM DRAWINGS.
- FD
FLOOR DRAIN. SEE PLUMBING DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date

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 Somerville, MA 02144
 617.628.5700
 www.davissquarearchitects.com

Consultant

Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
 1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **SECOND FLOOR PLAN**

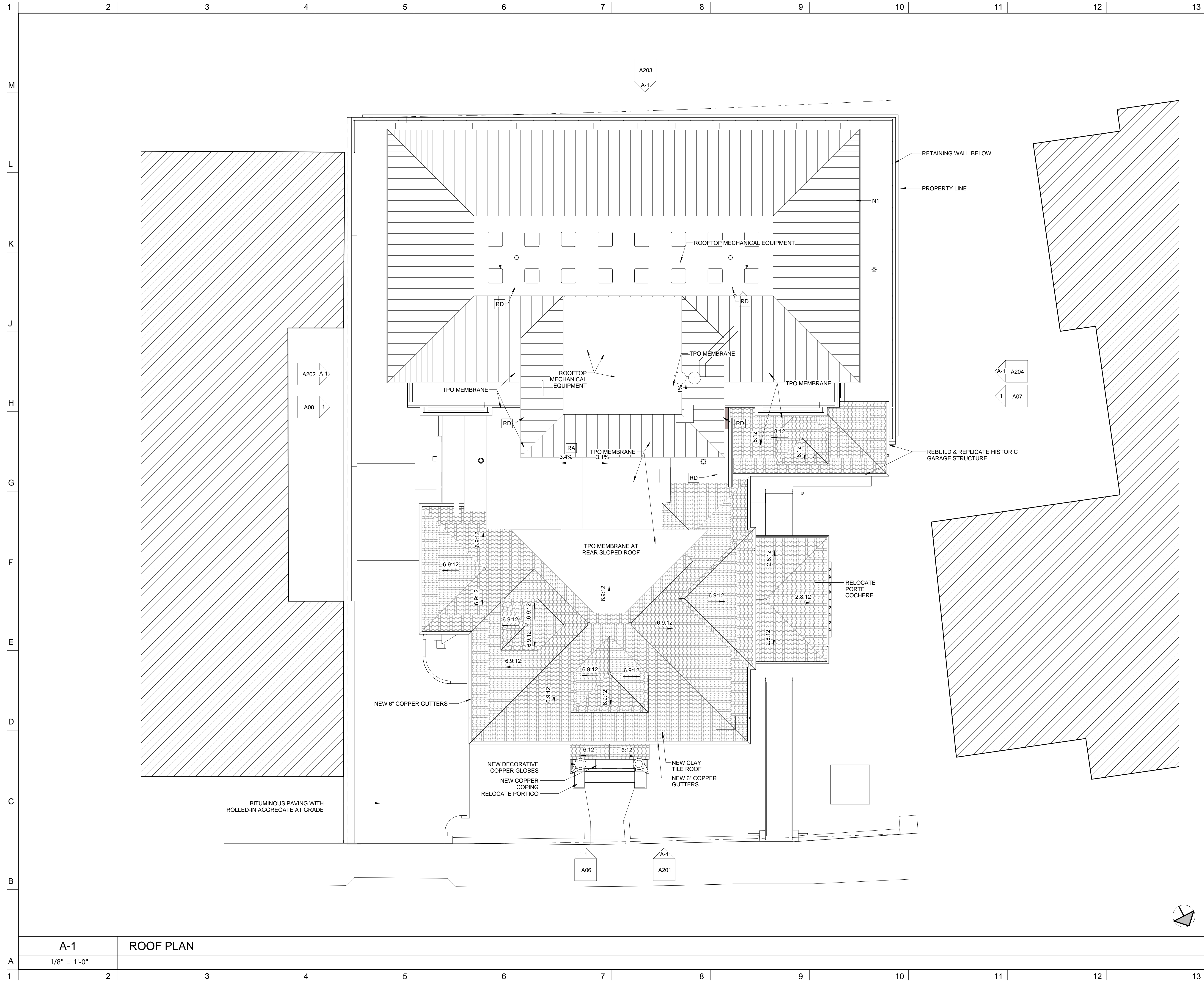
	Designee B.V. Carpenter	Drawing No.
	Project No. 15012.00	<h1>A102</h1>
	Scale As indicated	
	Date 2020-09-14	

A-1
 1/8" = 1'-0"

LEVEL 2

1 2 3 4 5 6 7 8 9 10 11 12 13

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NOTES

DO NOT SCALE DRAWINGS.

GENERAL NOTES

- THE "FLAT" ROOFS SHALL HAVE A FULLY ADHERED, SINGLE-PLY WHITE TPO MEMBRANE WITH A 1/2" COVER BOARD ABOVE THE TAPERED INSULATION.
- THE "PITCHED" ROOFS AT THE HISTORIC STRUCTURE SHALL MATCH THE EXISTING STYLE & COLOR. THE BASIS-OF-DESIGN IN THE ARCHITECTURAL DRAWINGS IS A PROFILE INTERLOCKING CLAY TILE, SLATE RED BLEND.
- SLOPES AT THE "FLAT" ROOFS ARE SHOWN AS A PERCENTAGE.
- SLOPES AT THE "PITCHED" ROOFS ARE SHOWN AS AN ESTIMATED RISE-OVER-RUN.
- THE GC SHALL FIELD MEASURE THE SLOPES OF ALL PITCHED ROOFS OF THE EXISTING HISTORIC STRUCTURE BEFORE DEMOLITION/RELOCATION, AND INFORM THE ARCHITECT OF ALL FINDINGS.
- *PITCHED* ROOF SLOPES SHOWN IN THE ARCHITECTURAL DRAWINGS ARE ESTIMATED BY THE ARCHITECT FOR THE PURPOSES OF DESIGN.

NUMBERED NOTES

1. ROOF OVERHANG. SEE DETAILS

- KEY:**
- FLOOR LEVEL
 - GRID HEAD AND GRID CENTERLINE
 - SIM DETAIL DRAWING CALL-OUT
 - SIM SECTION DRAWING CALL-OUT
 - NORTH ARROW
 - RD ROOF DRAIN. SEE PLUMBING
 - RA FALL PROTECTION ROOF ANCHOR
 - HEAVY RED LINES INDICATE THE EXISTING STRUCTURES THAT ARE TO BE RELOCATED TO THE FRONT YARD. THE EXTERIOR WALL FRAMING SHALL REMAIN INTACT.
 - ALL INTERIOR AND EXTERIOR FINISHES SHALL BE NEW AS SHOWN ON THESE PLANS. GENERAL CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR ANY INTERIOR ROUGH FRAMING AS NOTED ON THE STRUCTURAL PLANS.

No.	REVISIONS/SUBMISSIONS	Date

DAVIS SQUARE ARCHITECTS

240A Elm St.,
Somerville, MA 02144
617.628.5700
www.davissquarearchitects.com

Consultant

Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **ROOF PLAN**

Designed By: B. J. Conckey
Project No.: 15012.00
Scale: As indicated
Date: 2020-09-14

Registered Professional Engineer
No. 40697
CARRIS, GEORGE
MA
COMMONWEALTH OF MASSACHUSETTS

Drawing No. **A180**

A-1
1/8" = 1'-0"

ROOF PLAN

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- NOTES**
- DO NOT SCALE DRAWINGS.
- GENERAL NOTES**
- THESE NOTES APPLY TO EVERYTHING IN THE DRAWINGS TO THE LEFT.
- NUMBERED NOTES**
- N1 NEW 3-PART PORTLAND CEMENT STUCCO
 - N2 NEW ALUMINUM CLAD DOUBLE HUNG WINDOWS
 - N3 REPLICATE EXISTING FRONT PORCH IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N4 REPLICATE EXISTING PORTE COCHERE IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N5 REPLICATE EXISTING GARAGE & DORMER IN NEW LOCATION. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE.
 - N6 REPLICATE EXISTING GARAGE DOORS. MATCH EXISTING DIMENSIONS, MATERIAL & STYLE. SEE A500 DRAWINGS.
 - N7 ENTRY SIDEWALK, STEPS & ACCESSIBLE RAMP. SEE CIVIL DRAWINGS.
 - N8 REPLACE CLAY ROOF TILES - PROFILE INTERLOCKING STYLE TO MATCH EXISTING.
 - N9 EXISTING FRONT ENTRY DOOR & SIDELIGHTS TO BE RESTORED.
 - N10 NEW 6" HALF-ROUND COPPER GUTTERS.
 - N11 NEW 3"x4" COPPER RAIN LEADERS WITH CONDUCTOR HEAD.
 - N12 5/16" FIBER CEMENT PANEL - COLOR 1
 - N13 5/16" FIBER CEMENT PANEL - COLOR 2
 - N14 DRIVEWAY TO PARKING AT REAR. SEE CIVIL.
 - N15 SITE FENCE / GUARDRAIL. SEE CIVIL.
 - N16 GALVANIZED STEEL GUARDRAIL.
 - N17 GALVANIZED STEEL GRILLE.
 - N18 SIDEWALL EXHAUST TERMINATIONS. SEE MECHANICAL.
 - N19 DRAIN SCUPPER AT ROOF DECK.
 - N20 CONCRETE WALL SHALL TO HAVE 1/2" x 4" RECESSED CHANNELS.
 - N21 DOMESTIC WATER & FIRE PROTECTION SERVICE.
 - N22 FIRE DEPARTMENT SERVICE BEACON.

No.	REVISIONS/SUBMISSIONS	Date

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Consultant

Project **HISTORIC PRESERVATION & ADDITION**
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **EXTERIOR ELEVATIONS**

Designed by
B. J. Conckey

Project No.
15012.00

Scale
As indicated

Date
2020-09-14

Drawing No.
A201

A-1 NORTH ELEVATION - FRONT YARD

3/16" = 1'-0"

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NOTES

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 - N22 FIRE DEPARTMENT SERVICE BEACON.

No.	REVISIONS/SUBMISSIONS	Date

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Project **HISTORIC PRESERVATION & ADDITION GATEWAY BRIGHTON**
1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **EXTERIOR ELEVATIONS**

Designed By: **B. Conkley**

Project No: 15012.00

Scale: As indicated

Date: 2020-09-14

Drawing No. **A202**

A-1 EAST ELEVATION - SIDE YARD

3/16" = 1'-0"

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NOTES

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Project **HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02135**

Title **EXTERIOR ELEVATIONS**

	Design:	BVA	Drawing No. A203
	Project No.:	15012.00	
	Scale:	As indicated	
	Date:	2020-09-14	

A-1 SOUTH ELEVATION - REAR YARD
3/16" = 1'-0"

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1 2 3 4 5 6 7 8 9 10 11 12 13

M

L

K

J

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G

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C

BASEMENT

NOTES

DO NOT SCALE DRAWINGS.
GENERAL NOTES
 * THESE NOTES APPLY TO EVERYTHING IN THE DRAWINGS TO THE LEFT.

NUMBERED NOTES

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Project **HISTORIC PRESERVATION & ADDITION**
GATEWAY BRIGHTON
 1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **EXTERIOR ELEVATIONS**

Designed by _____

Checked by _____

Author _____

Project No. 15012.00

Scale As indicated

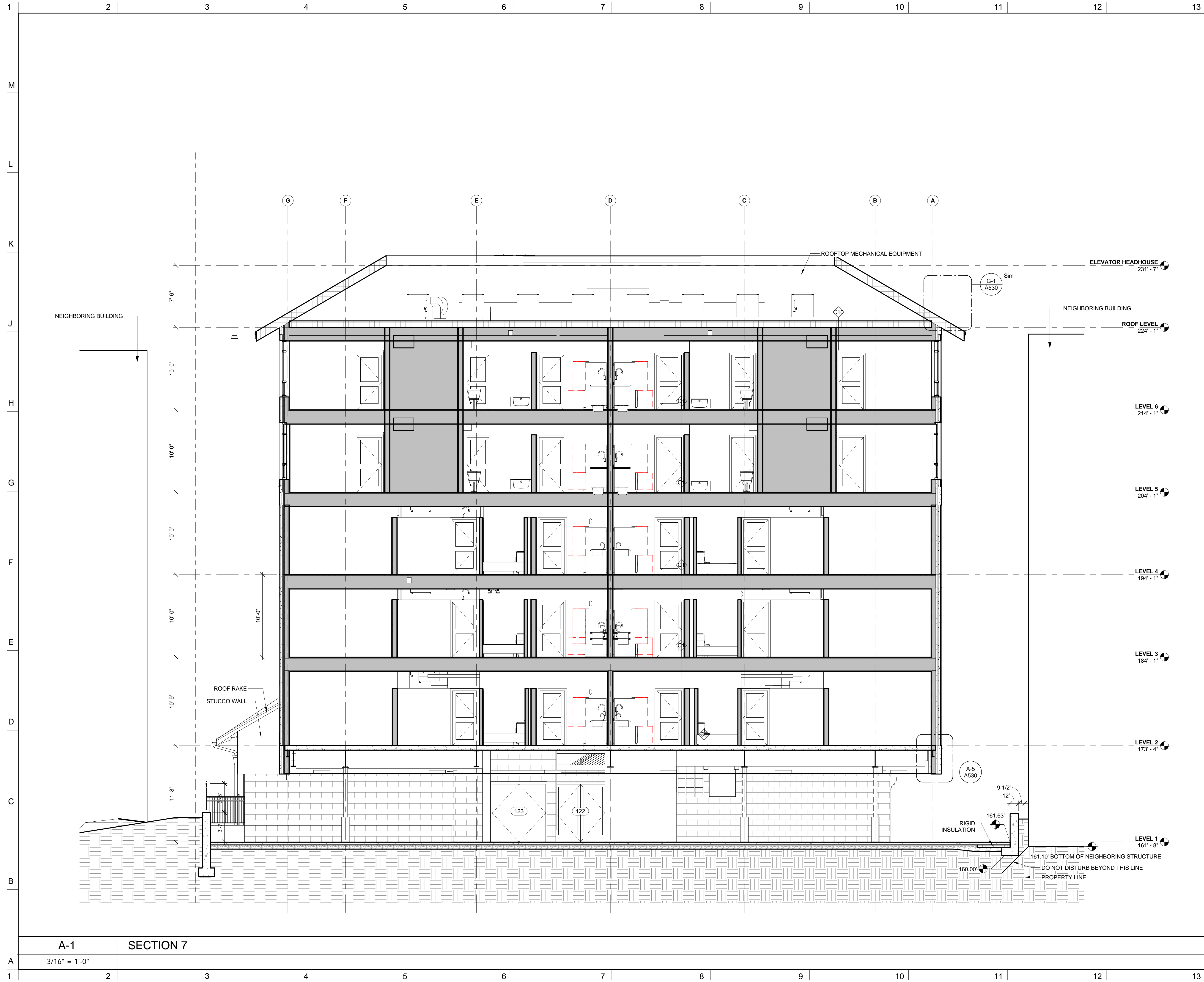
Date 2020-09-14

Drawing No.

A204

A-1 WEST ELEVATION - SIDE YARD
 3/16" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13



NOTES

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Project **HISTORIC PRESERVATION & ADDITION**
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **BUILDING SECTIONS**

	Design: B.V. Czapka	Drawing No. A505
	Project No. 15012.00	
	Scale 3/16" = 1'-0"	
	Date 2020-09-14	

A-1 SECTION 7
3/16" = 1'-0"

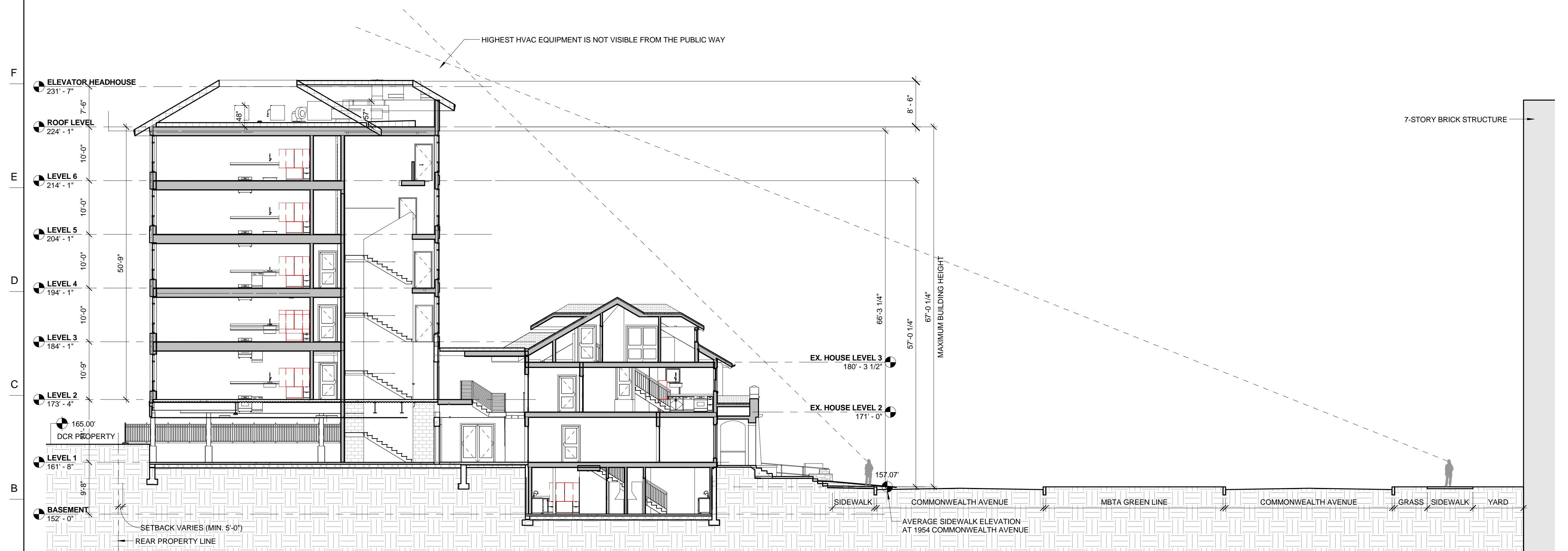
1 2 3 4 5 6 7 8 9 10 11 12 13

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NOTES

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Title **BUILDING SECTIONS**

Design: B.V. Conckee
Project No. 15012.00
Scale 3/32" = 1'-0"
Date 2020-09-14

Drawing No. **A508**



A-1 SITE SECTION
3/32" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13



View from Commonwealth Avenue



Rendered Site Plan



View from Public Park

NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



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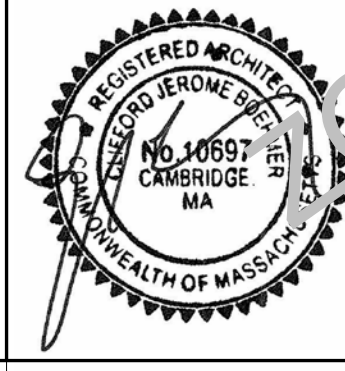
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Project HISTORIC PRESERVATION & ADDITION
GATEWAY BRIGHTON
1954 COMMONWEALTH AVE, BOSTON, MA 02135

Title **RENDERING VIEWS**

Designer	Author
Checker	Project No.
Scale	15012.00
Date	2020-09-14



Drawing No.

A700