



## PROJECT DIRECTORY

**Property Owner**

David Lapidus  
 Octagon Property Management Corp.  
 P.O. Box 1997  
 Brookline, MA 02446  
 Contact: **David Lapidus**  
 Email: david@octagonproperties.net  
 Mobile: (617) 236-5687

**Architect**

Derek Rubinoff, Architect  
 82 Spring St.  
 West Roxbury, MA 02132-4316  
 Contact: **Dror Amitay**, Associate  
 Senior Project Manager  
 Email: damitay@derekrubinoff.com  
 Mobile: (617) 283-0802

CONTRACTOR:

## CODE SUMMARY

APPLICABLE CODES	BOSTON, MASSACHUSETTS		
1. BUILDING : 780 CMR 9th EDITION			
DESCRIPTION	CODE REFERENCE	REQUIREMENT	PROPOSED
<b>GENERAL</b>			
CONSTRUCTION TYPE		III B	III B

## LOCATION MAP

**PROJECT SITE**

# 85 Sutherland Canopy Alteration

03/17/2023 Revised Approvals  
 Set for Aberdeen Architectural  
 Conservation District

85 Sutherland Road  
 Brighton, MA 02135

Project Scope:

Renovate the front entrance of an existing four-storey apartment building. The scope includes demolishing and replacing the existing canopy. The existing canopy to be demolished and the proposed canopy are both within the required front yard. No interior work proposed.

Sheet Number	Sheet Name	Current Revision	Current Revision Date
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Landmarks Set

A 0.0	Cover		
A 0.1	Reference Plan & Zoning Summary		
A 0.2	Existing Photos		
A 1.0	Demolition Plan		
A 1.1	Demo Roof Plan		
A 1.2	Demo Elevation	3	01/31/2023
A 2.0	Proposed Plan		
A 2.1	Proposed RCP & Lighting Schedule		
A 2.3	Proposed Roof Plan	1	10/08/2021
A 2.4	Proposed Elevations		
A 2.5	Proposed Elevations		
A 3.0	Schedules, 3D Views, Finishes		
A 3.1	Siding Materials		
A 4.0	Design Change		

EXISTING CANOPY

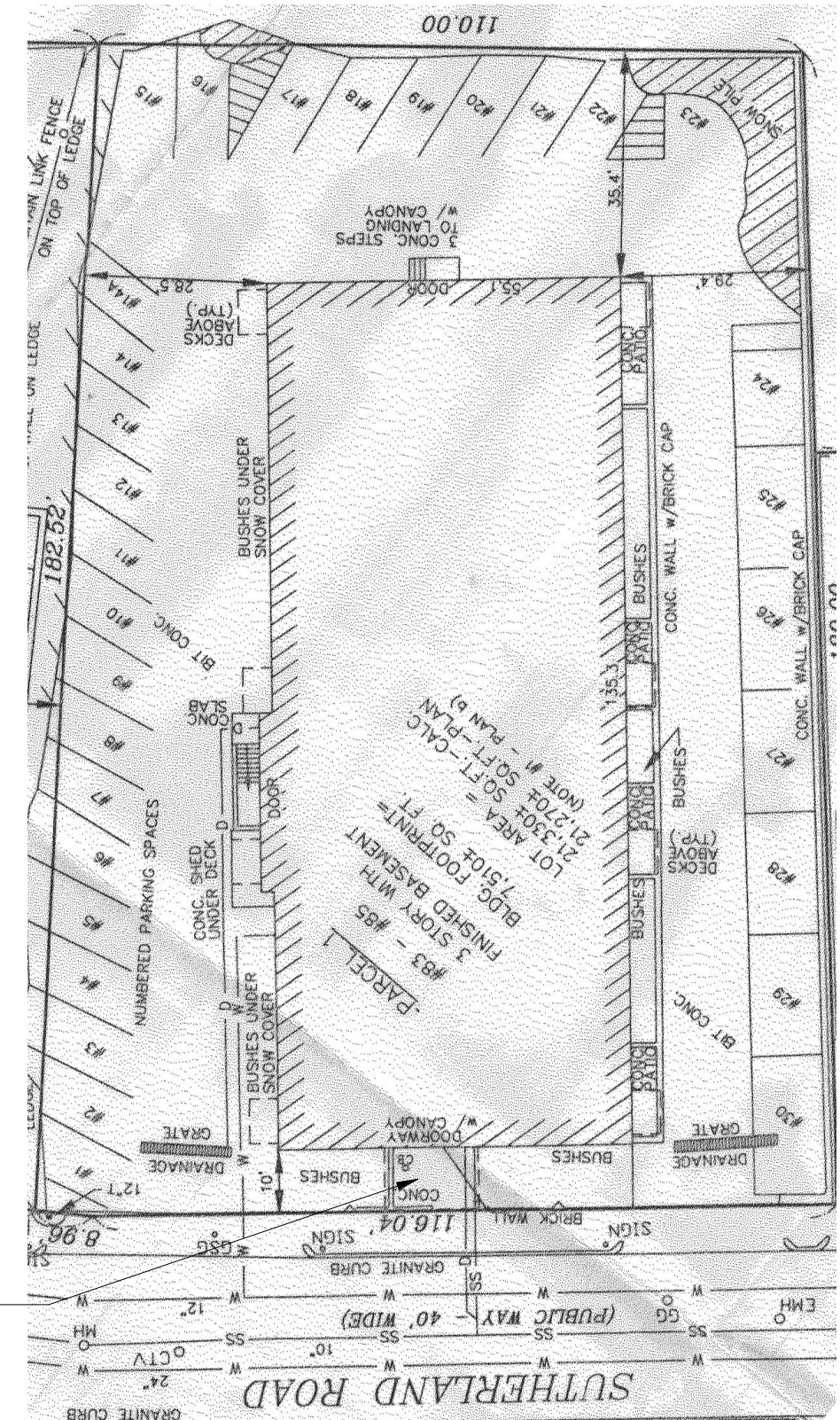
<p><b>DEREK RUBINOFF ARCHITECT</b>                  82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekrubinoff.com</p>	<p>Cover</p> <p>85 Sutherland Canopy Alteration                  85 Sutherland Rd. Brighton, MA 02135</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 50%;">JOB #:</td><td style="width: 50%;">2030</td></tr> <tr><td>SCALE:</td><td>1/4" = 1'-0"</td></tr> <tr><td>DATE:</td><td>2023-03-17</td></tr> <tr><td>DWN BY:</td><td>DA</td></tr> <tr><td>CROSS REF:</td><td></td></tr> </table>	JOB #:	2030	SCALE:	1/4" = 1'-0"	DATE:	2023-03-17	DWN BY:	DA	CROSS REF:	
	JOB #:	2030										
SCALE:	1/4" = 1'-0"											
DATE:	2023-03-17											
DWN BY:	DA											
CROSS REF:												
		A 0.0										

## ZONING SUMMARY

Zoning District: Allston/Brighton Neighborhood  
 Sub District: MFR-1  
 Subdistrict Type: Multifamily Residential  
 Overlays: None  
 Historic District: Aberdeen Architectural Conservation District  
 Map: 7A-7D

This project was granted its necessary zoning relief per BOA1161026. This project was approved by Landmarks, case 21.0458 AB.

DESCRIPTION	CODE REFERENCE	REQUIRED/ALLOWED	EXISTING	PROPOSED
<b>GENERAL USE</b>	§51 TABLE A	MULTI-FAMILY DWELLING - ALLOWED	MULTI-FAMILY DWELLING	NO CHANGE
LOT AREA MIN. FOR DWELL. UNITS SPECIFIED	§51 TABLE D PARCEL 2102115000	4,000 FOR FIRST 3 UNITS	21,270 SF LOT AREA (BOSTON ASSESSOR)	NO CHANGE
MIN. LOT AREA PER ADDITIONAL DWELLING UNIT	§51 TABLE D	1,000	NOT REVIEWED	NO CHANGE
LOT WIDTH MINIMUM	§51 TABLE D	40'	125'	NO CHANGE
LOT FRONTAGE MINIMUM	§51 TABLE D	40'	125'	NO CHANGE
FLOOR AREA RATIO MAXIMUM	§51 TABLE D	1	29,700 SF GFA (PER ASSESSOR) FAR = 1.4	NO CHANGE
BUILDING HEIGHT	§51 TABLE D	35', 3 STOREYS	35' ± (GOOGLE EARTH), 4 STOREYS	NO CHANGE; NEW CANOPY HT = 9'-2"
MIN. USABLE OPEN SPACE (SF PER DWELLING UNITS)	§51 TABLE D	400	NOT REVIEWED	NO CHANGE
MIN. FRONT YARD	§51-57 (2) TABLE D	20'	0' (FRONT ENTRY CANOPY) 10'-1" (BULK OF BUILDING)	NO CHANGE (0'); CANOPY WILL BE RECONSTRUCTED WITHIN FRONT SETBACK. BULK OF BUILDING REMAINS. (MAY REQUIRE RELIEF)
MIN. SIDE YARD	§51 TABLE D	10'	29.4' (FROM LAND SURVEY)	NO CHANGE
MIN. REAR YARD	§51 TABLE D	20'	35.4' (FROM LAND SURVEY)	NO CHANGE
PARKING	§51 TABLE J	2 PARKING SPACES PER DWELLING	NOT REVIEWED	NO CHANGE



LOCATION OF PROPOSED WORK

REFERENCE PLAN



### DEREK RUBINOFF ARCHITECT

82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubino.com

### Reference Plan & Zoning Summary

85 Sutherland Canopy Alteration  
 85 Sutherland Rd. Brighton, MA 02135

JOB #:	2030
SCALE:	12" = 1'-0"
DATE:	2023-03-17
DWN BY:	DA
CROSS REF:	

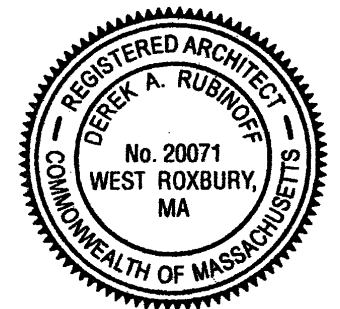
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EXISTING CANOPY



EXISTING ENTRY DOOR

**DEREK RUBINOFF ARCHITECT**

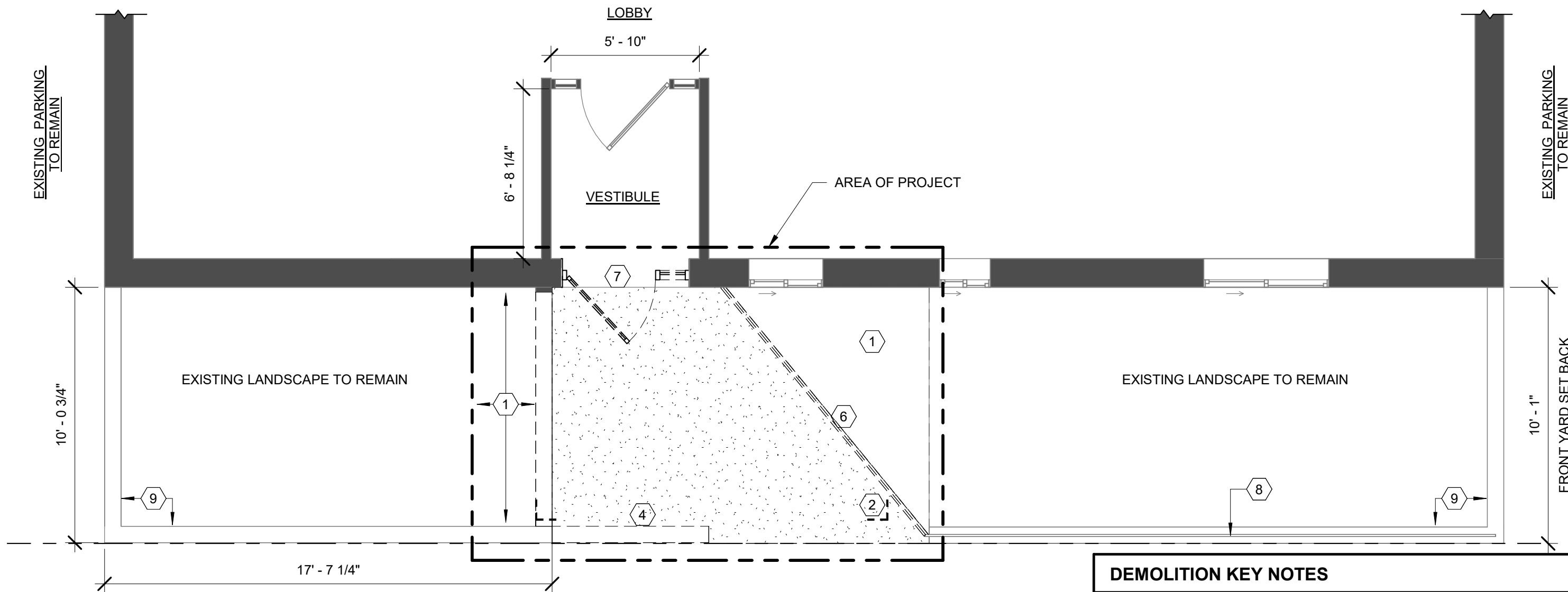
82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekrubino.com

**Existing Photos**

85 Sutherland Canopy Alteration  
85 Sutherland Rd., Brighton, MA 02135

JOB #:	2030
SCALE:	
DATE:	2023-03-17
DWN BY:	DA
CROSS REF:	

A 0.2



1  
A 1.2

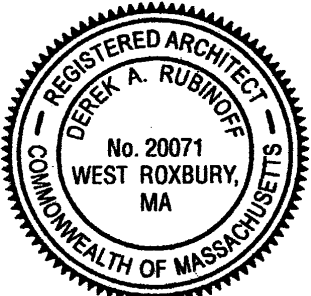
SUTHERLAND ROAD

DEMOLITION KEY NOTES	
1	EXCAVATE PORTION OF EXISTING PLANTER & REMOVE ASSOCIATED PLANTS/DIRT. EXCAVATE EXISTING SOIL 3' -0 DOWN. SEE STRUCTURAL DWGS.
2	DEMOLISH CANOPY AND STRUCTURAL ELEMENTS ABOVE
3	EXISTING SIDEWALK TO REMAIN.
4	REMOVE PORTION OF WALL, SEE ELEVATIONS
5	N/A
6	DEMOLISH EXISTING RAILING
7	DEMOLISH EXISTING STOREFRONT DOOR
8	EXISTING RAILING TO REMAIN
9	EXISTING PLANTER WALLS TO REMAIN

1 Demolition Plan - Landmarks  
1/4" = 1'-0"



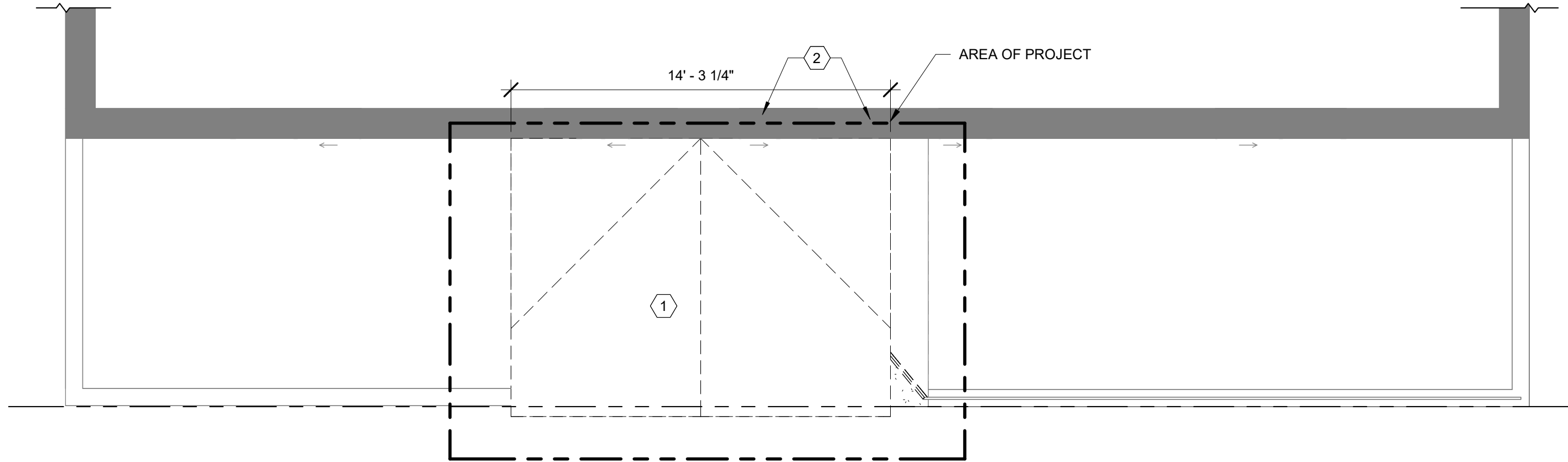
PLAN LEGEND	
	EXISTING PARTITION
	DEMOLISHED PARTITION
	NEW PARTITION



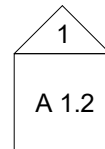
**DEREK RUBINOFF ARCHITECT**  
 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubino.com

Demolition Plan	
85 Sutherland Canopy Alteration	
85 Sutherland Rd. Brighton, MA 02135	
JOB #:	2030
SCALE:	As indicated
DATE:	2023-03-17
DWN BY:	DA
CROSS REF:	

A 1.0



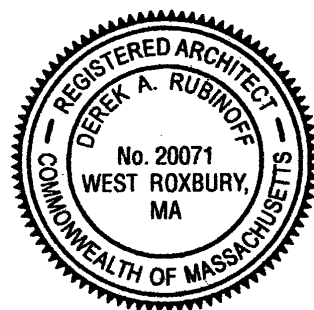
1 Demolition Roof Plan - Landmarks  
1/4" = 1'-0"



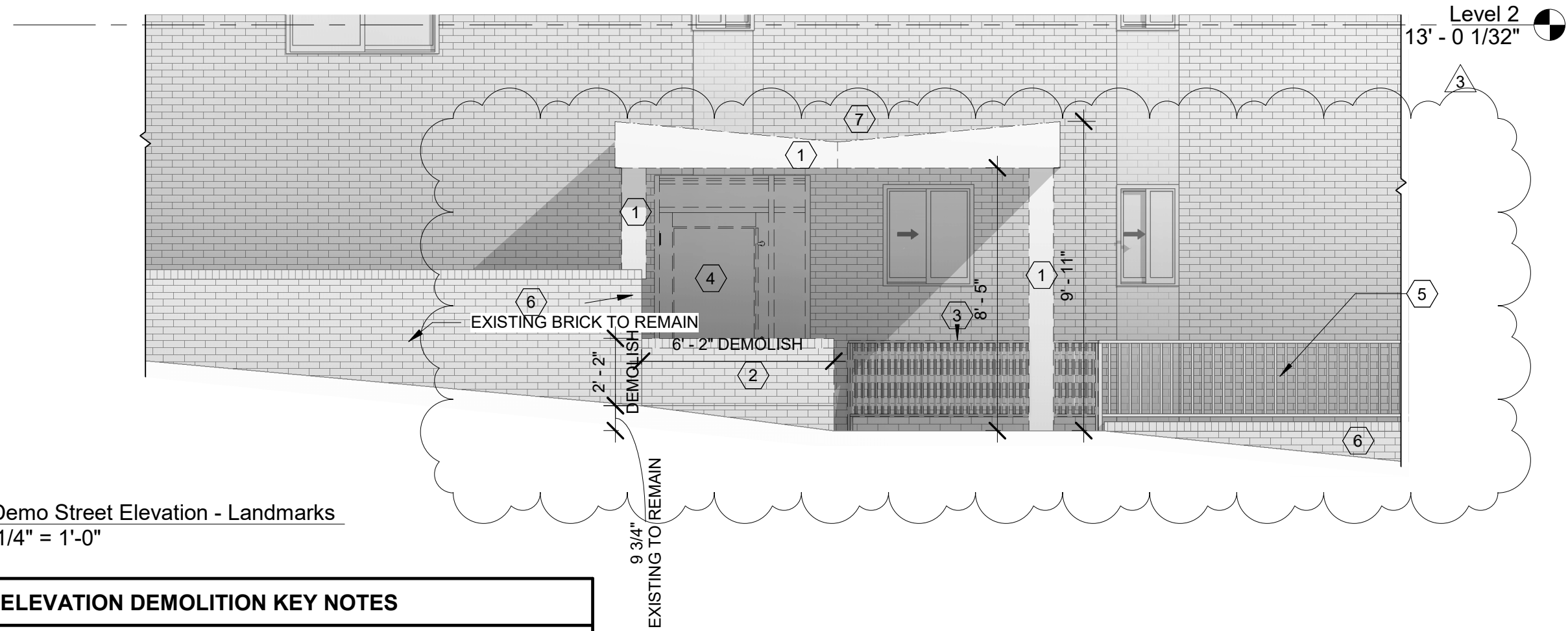
DEMO ROOF PLAN KEY NOTES	
1	DEMOLISH CANOPY AND STRUCTURAL ELEMENTS.
2	PREPARE EXISTING WALL FOR NEW ROOF FLASHING.



PLAN LEGEND	
	EXISTING PARTITION
	DEMOLISHED PARTITION
	NEW PARTITION

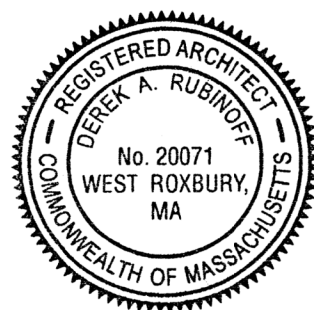


<b>DEREK RUBINOFF ARCHITECT</b> 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekrubino.com	<b>Demo Roof Plan</b> 85 Sutherland Canopy Alteration 85 Sutherland Rd. Brighton, MA 02135	JOB #: 2030 SCALE: As indicated DATE: 2023-03-17 DWN BY: DA CROSS REF:	A 1.1
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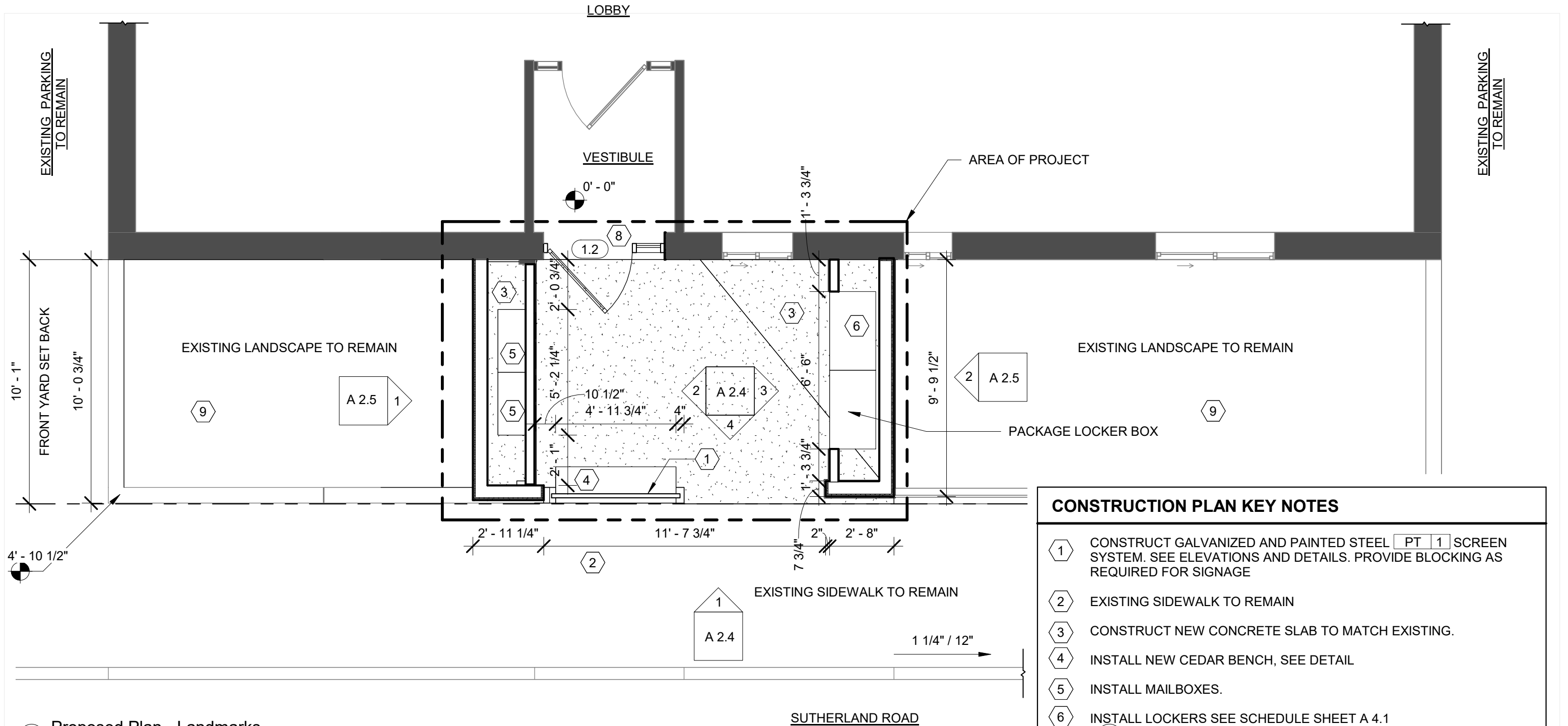


1 Demo Street Elevation - Landmarks  
1/4" = 1'-0"

ELEVATION DEMOLITION KEY NOTES	
1	DEMOLISH ROOFING AND STRUCTURAL COLUMNS.
2	REMOVE PORTION OF WALL.
3	DEMOLISH EXISTING RAILING.
4	DEMOLISH EXISTING STOREFRONT DOOR.
5	EXISTING RAILING TO REMAIN.
6	EXISTING PLANTER WALLS TO REMAIN.
7	PREPARE EXISTING WALL FOR NEW ROOF FLASHING.



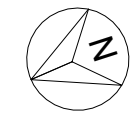
<b>DEREK RUBINOFF ARCHITECT</b> <small>82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubino.com</small>	<b>Demo Elevation</b> 85 Sutherland Canopy Alteration <small>85 Sutherland Rd. Brighton, MA 02135</small>	<small>JOB #:</small> 2030 <small>SCALE:</small> As indicated <small>DATE:</small> 2023-03-17 <small>DWN BY:</small> DA <small>CROSS REF:</small>	A 1.2
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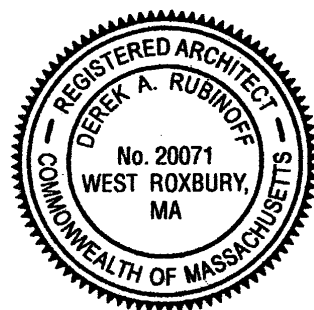
**CONSTRUCTION PLAN KEY NOTES**

- 1 CONSTRUCT GALVANIZED AND PAINTED STEEL PT 1 SCREEN SYSTEM. SEE ELEVATIONS AND DETAILS. PROVIDE BLOCKING AS REQUIRED FOR SIGNAGE
- 2 EXISTING SIDEWALK TO REMAIN
- 3 CONSTRUCT NEW CONCRETE SLAB TO MATCH EXISTING.
- 4 INSTALL NEW CEDAR BENCH, SEE DETAIL
- 5 INSTALL MAILBOXES.
- 6 INSTALL LOCKERS SEE SCHEDULE SHEET A 4.1
- 7 N/A 3
- 8 INSTALL NEW STOREFRONT DOOR & SIDELITE
- 9 POUR A NEW CONCRETE SLAB TO MATCH EXISTING PLANTER, TO BE REPLANTED (SEE LANDSCAPE PLAN)
- 10 EXISTING IRRIGATION SYSTEM TO BE MAINTAINED AND ADJUSTED TO ACCOMMODATE NEW PROPOSED PLANTS

1 Proposed Plan - Landmarks  
1/4" = 1'-0"



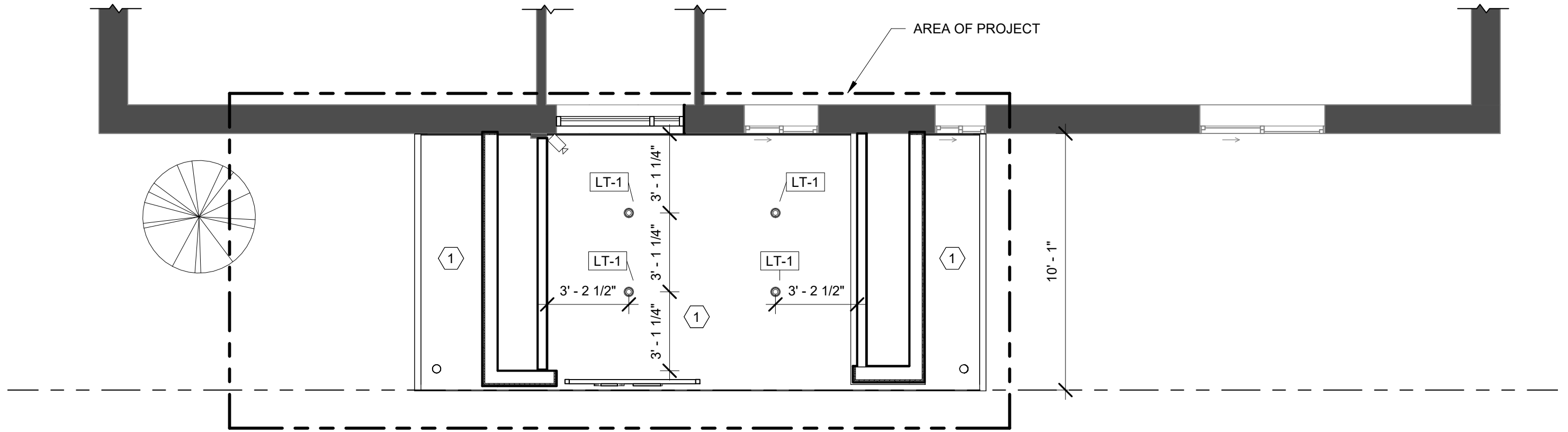
PLAN LEGEND	
	EXISTING PARTITION
	DEMOLISHED PARTITION
	NEW PARTITION



**DEREK RUBINOFF ARCHITECT**  
 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubino.com

Proposed Plan	
85 Sutherland Canopy Alteration	JOB #: 2030
85 Sutherland Rd. Brighton, MA 02135	SCALE: As indicated
	DATE: 2023-03-17
	DWN BY: DA
	CROSS REF:

**A 2.0**



1 Proposed RCP - Landmarks  
 1/4" = 1'-0"

**REFLECTED CEILING PLAN KEY NOTES**

- 1 PROVIDE T & G CEDAR EXTERIOR CEILING UNDER RECONSTRUCTED CANOPY
- 2 N/A
- 3 N/A

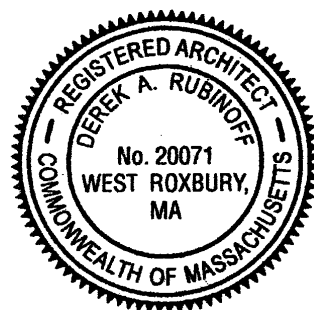
Lighting Fixture Schedule

Type Mark	Count	Description	Manufacturer	Model	Lamp	Watt/LF	Initial Color Temperature	Comments
LT-1	2	Recessed LED Downlighting	Lithonia	EVO4 27/LUMENS AR MWD LSS MVOLT GZ1 TRW	LED		2700 K	Wet Listed (WL) for Outdoor Location



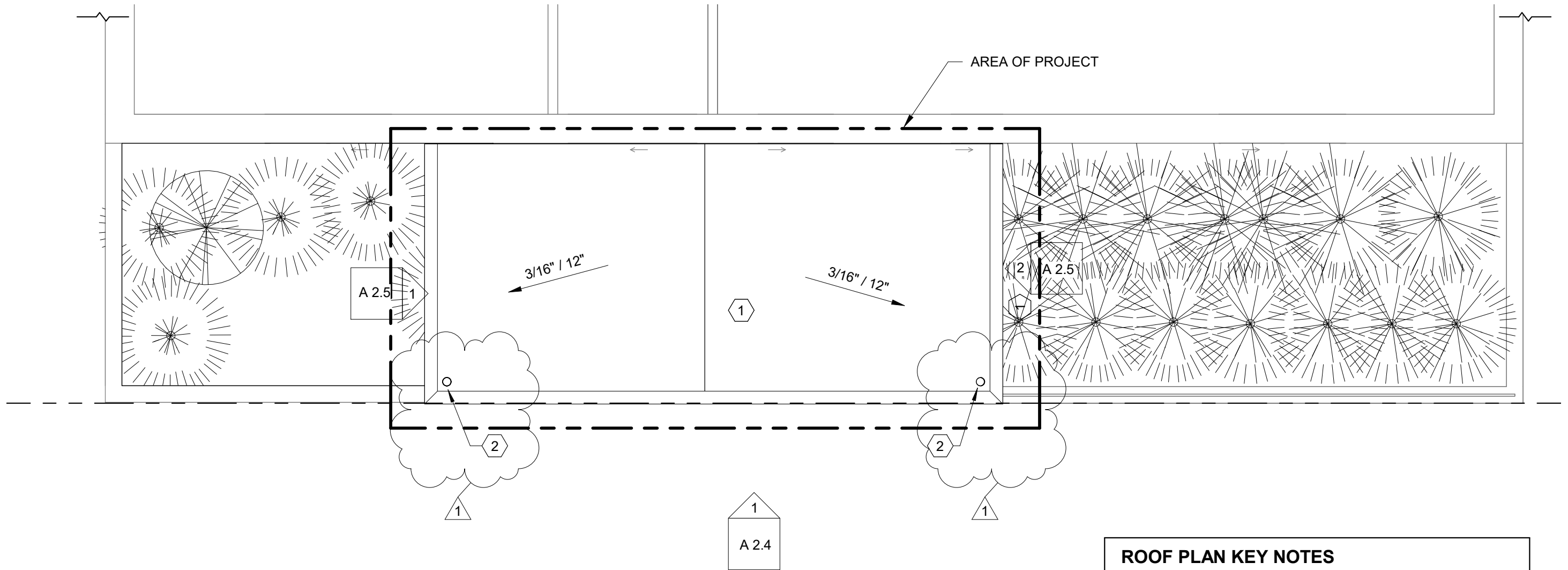
**PLAN LEGEND**

	EXISTING PARTITION
	DEMOLISHED PARTITION
	NEW PARTITION



<b>DEREK RUBINOFF ARCHITECT</b> 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derek Rubinoff.com	<b>Proposed RCP &amp; Lighting Schedule</b> 85 Sutherland Canopy Alteration 85 Sutherland Rd. Brighton, MA 02135	JOB #: 2030 SCALE: As indicated DATE: 2023-03-17 DWN BY: DA CROSS REF:	A 2.1





① Proposed Roof Plan - Landmarks  
1/4" = 1'-0"

**ROOF PLAN KEY NOTES**

- ① PROVIDE EPDM ROOF OVER TAPERED INSULATION (FOR DRAINAGE)
- ② ADD VERTICAL SCUPPER
- ③ N/A



PLAN LEGEND	
	EXISTING PARTITION
	DEMOLISHED PARTITION
	NEW PARTITION



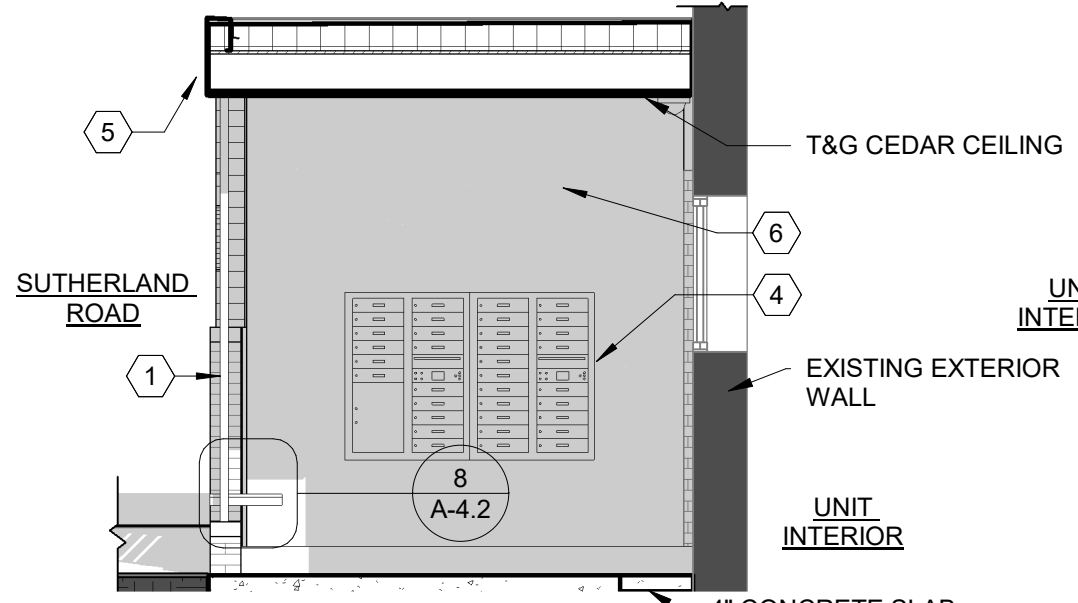
<b>DEREK RUBINOFF ARCHITECT</b> 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekrubino.com	<b>Proposed Roof Plan</b> 85 Sutherland Canopy Alteration 85 Sutherland Rd. Brighton, MA 02135	JOB #: 2030 SCALE: As indicated DATE: 2023-03-17 DWN BY: DA CROSS REF:	A 2.3
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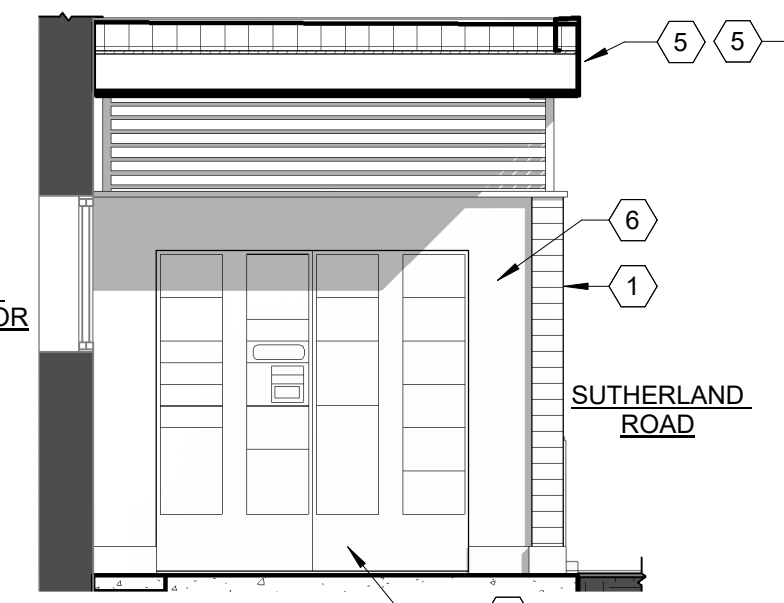
**ELEVATION KEY NOTES**

- ① CONSTRUCT PTD. STRUCTURAL STEEL SCREEN SYSTEM. WELD ALL CONNECTIONS AND GRIND WELDS SMOOTH. 2" X 2" STEEL FRAME, 1" X 2" HORIZONTAL GALVANIZED STEEL TUBE SECTIONS. PROVIDE ATTACHMENTS AS REQUIRED FOR NUMERICAL SIGNAGE.
- ② PROVIDE SS STREET NUMBERS
- ③ CONSTRUCT CEDAR BENCH
- ④ CONSTRUCT MAIL BOX / LOCKERS BOX ENCLOSURE.
- ⑤ BLACK ALUMINUM FASCIA ON RECONSTRUCTED CANOPY
- ⑥ PTD. MDO WITH 8" PVC BASE.
- ⑦ ADD BRICK CAP @ TOP TO MATCH EXISTING. MAINTAIN 3 5/8" MIN. ABOVE SIDEWALK.
- ⑧ ENTRY SYSTEM BEYOND TO BE DECIDED AS PER THE OWNER.
- ⑨ CLAD WITH HARDIE ARTISAN LAP SIDING. 4" EXPOSURE, MITERED CORNERS.
- ⑩ 8" PVC BASE.

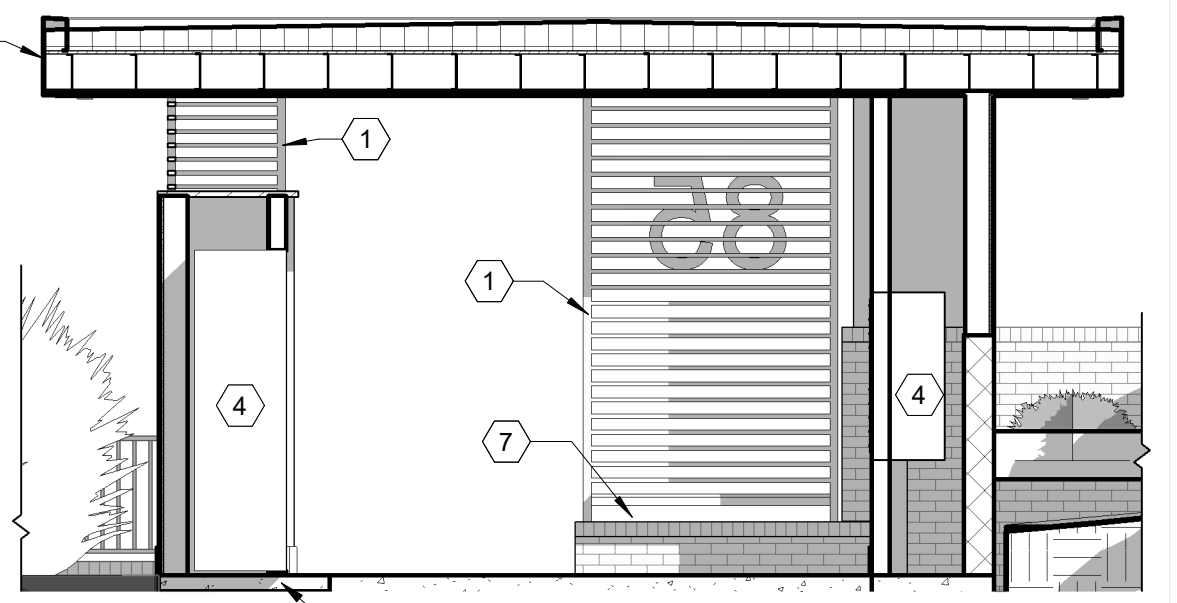
① Street Elevation - Landmarks  
1/4" = 1'-0"



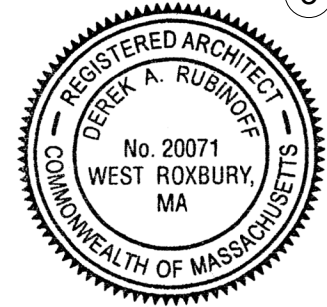
② Mailbox Wall - Landmarks  
1/4" = 1'-0"



③ Locker Wall - Landmarks  
1/4" = 1'-0"



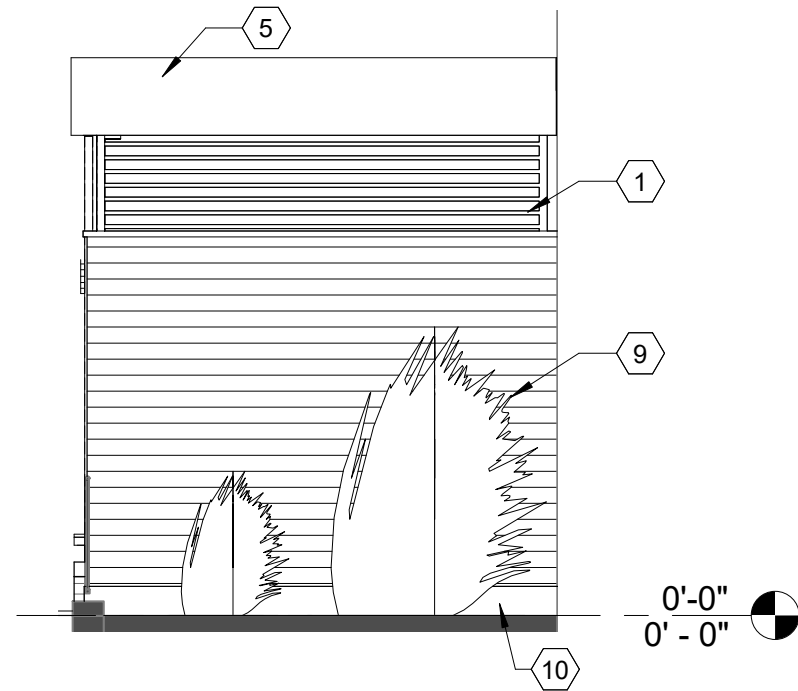
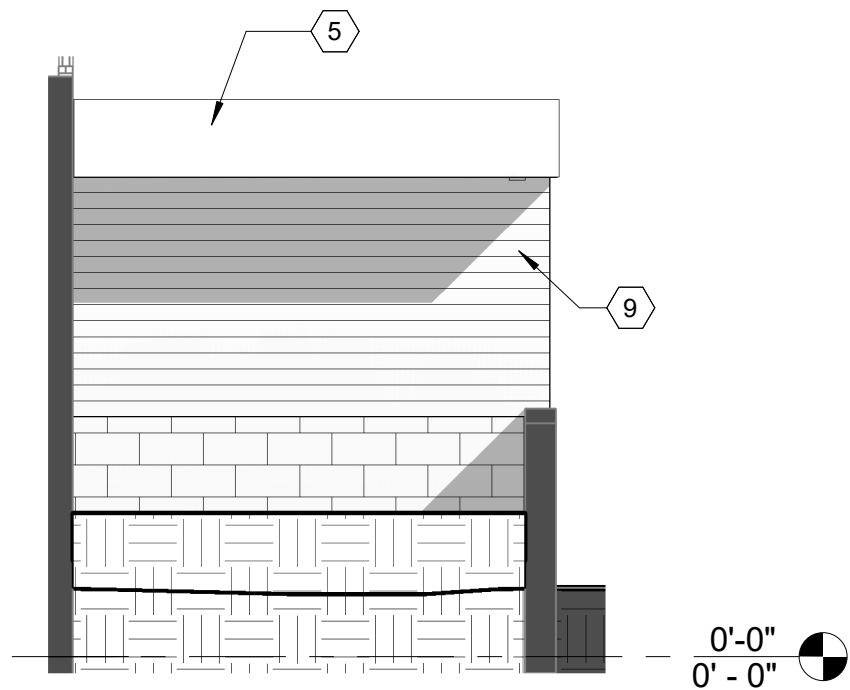
④ Elevation Towards Street - Landmarks  
1/4" = 1'-0"



**DEREK RUBINOFF ARCHITECT**  
 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubino.com

<b>Proposed Elevations</b>	
85 Sutherland Canopy Alteration	JOB #: 2030
85 Sutherland Rd. Brighton, MA 02135	SCALE: As indicated
	DATE: 2023-03-17
	DWN BY: TW
	CROSS REF:

A 2.4



**ELEVATION KEY NOTES**

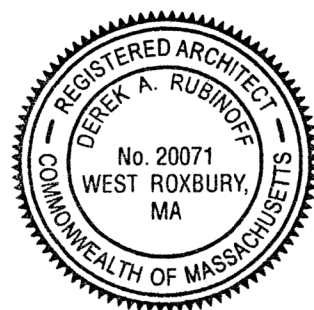
- ① CONSTRUCT PTD. STRUCTURAL STEEL SCREEN SYSTEM. WELD ALL CONNECTIONS AND GRIND WELDS SMOOTH. 2" X 2" STEEL FRAME, 1" X 2" HORIZONTAL GALVANIZED STEEL TUBE SECTIONS. PROVIDE ATTACHMENTS AS REQUIRED FOR NUMERICAL SIGNAGE.
- ② PROVIDE SS STREET NUMBERS
- ③ CONSTRUCT CEDAR BENCH
- ④ CONSTRUCT MAIL BOX / LOCKERS BOX ENCLOSURE.
- ⑤ BLACK ALUMINUM FASCIA ON RECONSTRUCTED CANOPY
- ⑥ PTD. MDO WITH 8" PVC BASE.
- ⑦ ADD BRICK CAP @ TOP TO MATCH EXISTING. MAINTAIN 3 5/8" MIN. ABOVE SIDEWALK.
- ⑧ ENTRY SYSTEM BEYOND TO BE DECIDED AS PER THE OWNER.
- ⑨ CLAD WITH HARDIE ARTISAN LAP SIDING. 4" EXPOSURE, MITERED CORNERS.
- ⑩ 8" PVC BASE.

Left Exterior Proposed Elevation -

① Landmarks  
1/4" = 1'-0"

Right Exterior Elevation - Landmarks

② 1/4" = 1'-0"



**DEREK RUBINOFF ARCHITECT**

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**Proposed Elevations**

85 Sutherland Canopy Alteration  
85 Sutherland Rd. Brighton, MA 02135

JOB #:	2030
SCALE:	As indicated
DATE:	2023-03-17
DWN BY:	TW
CROSS REF:	

**A 2.5**

Door Schedule														
Door Number	Type	Door			Door Style	Door		Fire Rating	Hardware	Frame				Comments
		Width	Height	Thickness		Material	Finish			Material	Finish	Jamb	Head	
1.2	1	3' - 6"	7' - 0"	0' - 1 3/4"			Black				Black			



LEFT FRONT PERSPECTIVE

RIGHT FRONT PERSPECTIVE



<b>DEREK RUBINOFF ARCHITECT</b> <small>82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekrubino.com</small>	<b>Schedules, 3D Views, Finishes</b> 85 Sutherland Canopy Alteration <small>85 Sutherland Rd. Brighton, MA 02135</small>	<small>JOB #:</small> 2030 <small>SCALE:</small> <small>DATE:</small> 2023-03-17 <small>DWN BY:</small> DA <small>CROSS REF:</small>	A 3.0



JAMES HARDIE, ARTISAN  
LAP SIDING, 4' EXPOSURE

ADDITION SIDING MATERIALS BEING CONSIDERED:  
HARDIE ARTISAN SHIPLAP SIDING (ABOVE) IN OFF-WHITE,  
OR HARDIE ARTISAN SQUARE CHANNEL SIDING (RIGHT) IN OFF-WHITE.



JAMES HARDIE, ARTISAN SQUARE CHANNEL  
SIDING, 9" EXPOSURE



**DEREK RUBINOFF ARCHITECT**

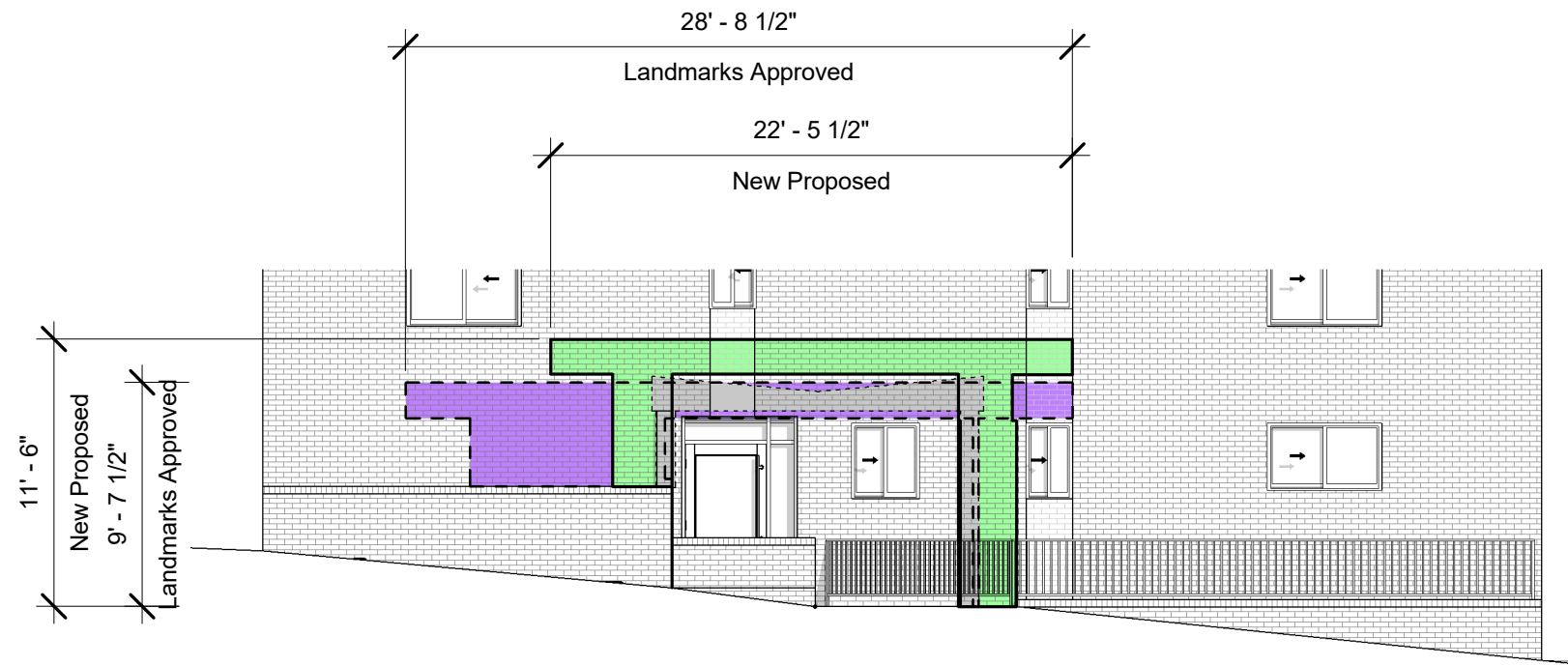
82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekrubino.com

**Siding Materials**

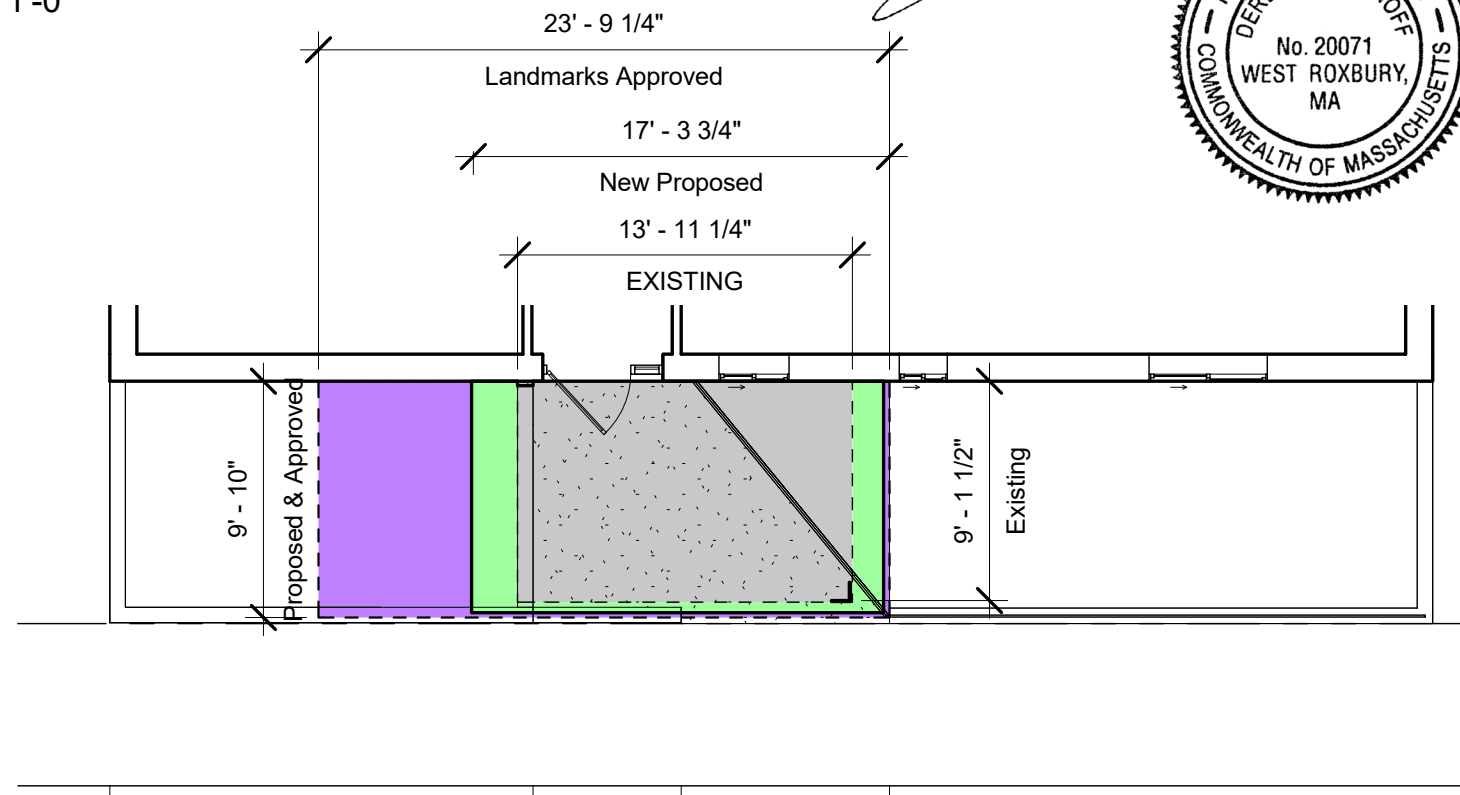
85 Sutherland Canopy Alteration  
85 Sutherland Rd. Brighton, MA 02135

JOB #:	2030
SCALE:	
DATE:	2023-03-17
DWN BY:	ABN
CROSS REF:	

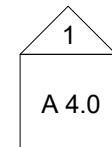
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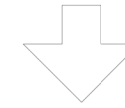
① Design Change Illustration Plan Street Elevation - Landmarks Set  
1/8" = 1'-0"



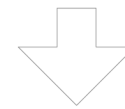
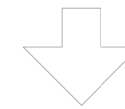
② Design Change Illustration Plan - Landmarks Set  
1/8" = 1'-0"



EXISTING



LANDMARKS APPROVED



NEW PROPOSED



<b>DEREK RUBINOFF ARCHITECT</b> <small>82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubino.com</small>	<b>Design Change</b> 85 Sutherland Canopy Alteration 85 Sutherland Rd. Brighton, MA 02135		JOB #: 2030 SCALE: 1/8" = 1'-0" DATE: 2023-03-17 DWN BY: Author CROSS REF:	A 4.0
	<small>3/17/2023 5:47:10 PM C:\Users\DRAComputer13-PC\Documents\07) 85 Sutherland Rd., Brighton - Landscaping Set_TianshuoP6JYK.rvt</small>			