

144 WORCESTER STREET



1. ROOF ACCESS + DECK

Component of project proposes a private roof top addition to a 4-story building in South End. Totalling 176 sq.ft of usable space, roof top addition is now half the size of the previously proposed design. Roof top addition would serve as access to the proposed private roof deck, in addition to housing life-safety mechanical equipment for the building and an elevator overrun. Roof top addition will comply with Zoning Ordinance's height requirements, and be comparable to in height to headhouse found on direct abutter at 146 Worcester Street. Proposed roof deck to comply with all setback requirements to ensure minimal visibility is achieved.

Proposed roof top addition to meet approval criteria as outlined in South End Landmarks District Design Guidelines; placement of addition to minimize visibility, minimize visible mass, use of non-reflective dark materials and conformance to State Building Code Requirements. Proposed roof top addition to be contemporary and not clash with existing building architectural language.

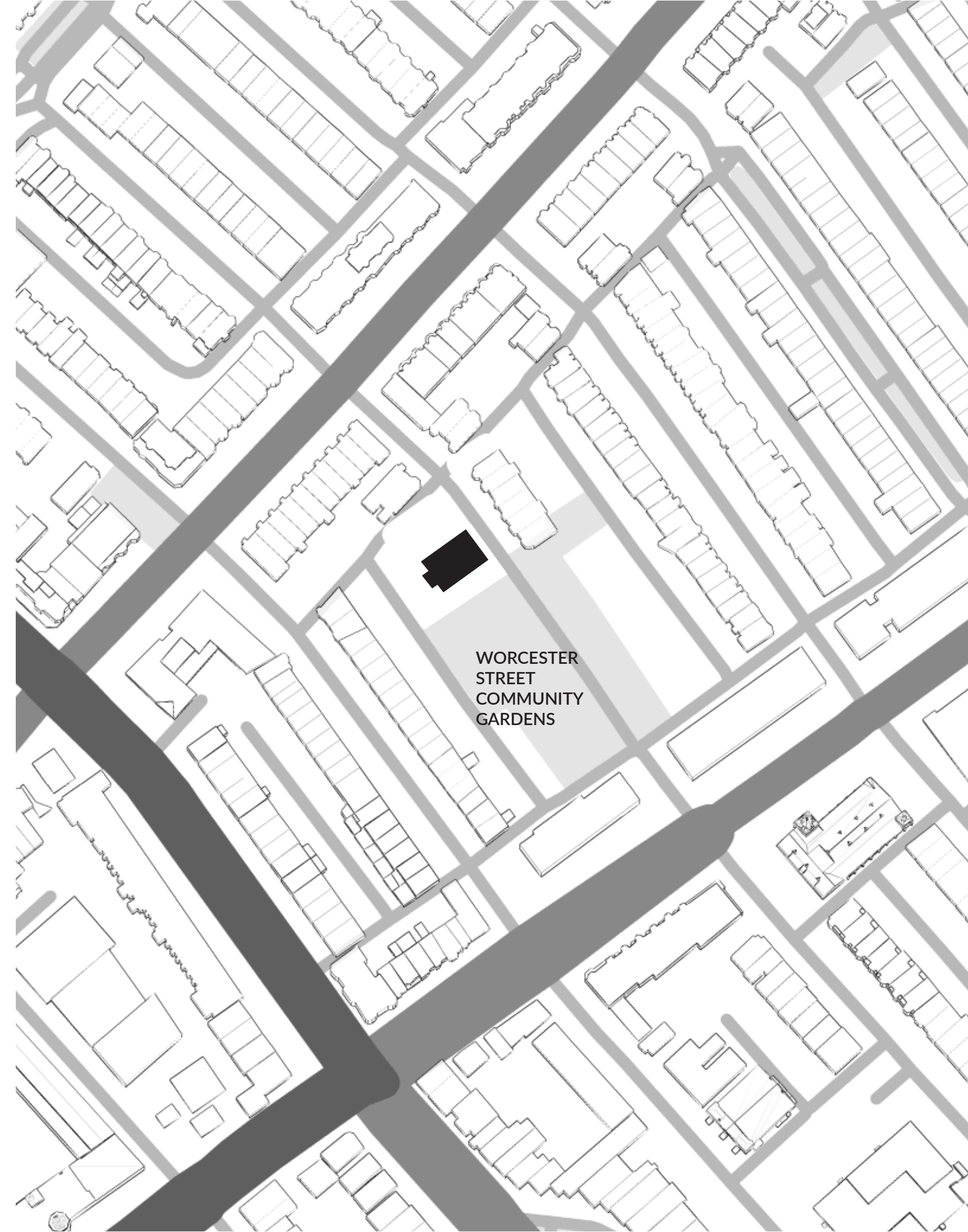
2. RESTORE ARCHED TRANSOMS

*RAISE ROOF
SOUTH FACADE PARAPET*

Since discovery of infill bricks at top floor arched transoms and review of historical photos, project proposes to restore said arched transoms in effort to preserve the original architecture. Current building roof framing was determined to have been lowered from original configuration and currently blocks arched transoms. To restore, project proposes to raise roof to allow for restoration of arched transoms. No parapet exists along building south side as it follows existing roof framing height. To allow for raising of roof, project proposes continuing height of front facade (east) parapet to side facade (south). Extended parapet will match existing bricks. This proposal also alleviates shrinking ceiling height at top floor as project proposed a new roof that will conform to building codes and will therefore be significantly deeper framing than existing 2x8 roof framing.

3. '2 OVER 2' WINDOWS

Current windows, aluminum '1 over 1', are unoriginal to the building and project proposes to replace with new aluminum windows that meet the Standards and Criteria for window replacement. Based on comments from the commission, determination was made that since we now know the building was built near permit date of 1895, the historically appropriate windows of this era would be '2 over 2'. In addition, historical photos of arched transoms show center muntins, which we understand to further indicate original window configuration to be '2 over 2'. Project proposes '2 over 2' windows to replace current aluminum '1 over 1' windows.



OUR PROJECT TEAM HAS PRESENTED TO:

JUNE 6TH OF 2023 to SELDC (Advisory Hearing)

AUGUST 14TH OF 2023 to SELDC (Advisory Hearing)

- Presented new findings in regards to transoms and window configuration
- Provided mock-up for SELDC staff to review on site
- Feedback was generally positive and commission referred to application as “approvable project”

JANUARY 18TH OF 2024 to Claremont Neighborhood Association

JANUARY 23RD OF 2024 to Abutters

FEBRUARY 15TH OF 2024 to Claremont Neighborhood Association

- Presented modified and smaller design for roof top addition, in response to comments from Abutters

APRIL 9TH OF 2024 to Zoning Board of Appeals

- Granted variance for FAR and conditional use permits

NOTES FROM/SINCE LAST HEARING:

- **ARE COMMUNITY GARDENS CONSIDERED A PUBLIC WAY?**

COMMUNITY GARDEN IS NOT A PUBLIC WAY AND VISIBILITY FROM SUCH SHOULD NOT BE CONSIDERED.

- **REAR ALLEY IS NOT A PUBLIC WAY.**

- **COMMISSION ASKED PROJECT TEAM TO PROVIDE MOCK-UP.**

PROJECT TEAM BUILT MOCK-UP AND LANDMARKS STAFF REVIEWED ON SITE.

RE: WINDOWS

- **COMMISSION DISCUSSED USING THE PERIOD OF CONSTRUCTION TO DETERMINE THE HISTORICAL APPROPRIATENESS OF THE '2 OVER 2' WINDOW CONFIGURATION.**

CONFIRMATION WAS MADE THAT THE BUILDING WAS BUILT IN 1897 AND FALLS WITHIN THE ERA, AS DISCUSSED, THAT JUSTIFIES THE APPROPRIATENESS OF '2 OVER 2' WINDOWS.

- **PROJECT TEAM DISCOVERED EVIDENCE OF BRICK INFILL AT ARCHED TRANSOMS AND PROPOSES TO RESTORE.**

- **PROJECT TEAM DISCOVERED WHAT WE UNDERSTAND TO BE EVIDENCE OF ORIGINAL '2 OVER 2' WINDOW CONFIGURATION THROUGH A PHOTOGRAPH ACQUIRED FROM THE SOUTH END HISTORICAL SOCIETY, SHOWING A MUNTIN AT ARCHED TRANSOM LOCATIONS.**

RE: ADDITION

- **COMMISSION AND ABUTTERS DISCUSSED POTENTIAL OF MASSING CHANGES TO MINIMIZE VISIBILITY OF FRONT CORNER OF ADDITION.**

PROJECT TEAM ADJUSTED MASSING, ADDING A SLOPED ROOF, AWAY FROM POTENTIAL SIGHT LINES, IN ADDITION TO SHRINKING ADDITION BY 50%.



140 144 146



Plans must be filed and approved by this Department before a permit for erection will be granted.

No. 354

Application for Permit to Build.
(1st and 2d CLASS BUILDING.)

Boston, July 4th 1895

To THE BUILDING COMMISSIONER:

The undersigned hereby applies for a permit to build, according to the following specifications:

- Location. No. 144 Worcester st
- Nearest cross street? Ward 12
- Name of Owner? Augustus F. Arnold Address
- Builder? W. H. Adams & J. S. Heath
- Architect? James Rowan
- Purpose of building? apartment Stores?
- How many families? 8
- How near the line of the street? line Width of street? 50
- Will the building be erected on solid or filled land? filled If in block, how many? one
- Size of building, No. of feet front? 40 No. of feet rear, 40 No. of feet deep, 45
- No. of stories in height, 4; No. of feet in height from sidewalk to highest point of roof, 46
- Number of feet in height from level of sidewalk to highest part of wall? 46
- Number of feet in height from sidewalk to eaves? 46
- Will foundation be laid on earth, rock or piles? piles Material of foundation, stone
- External walls, 1st, 12, 2d, 12, 3d, 12, 4th, 12, 5th, 12, 6th, 12, 7th, 12, 8th, 12, 9th, 12, 10th, 12
- Party walls, 1st, 12, 2d, 12, 3d, 12, 4th, 12, 5th, 12, 6th, 12, 7th, 12, 8th, 12, 9th, 12, 10th, 12
- Are the party walls solid or vaulted? solid External walls? solid
- What will be the materials of front? Brick
- Will the roof be flat, pitch, mansard or hip? flat Material of roofing? Copper
- What will be the material of cornice? brick
- What will be means of access to roof? stairs
- Length of piles? 30
- No. of rows? 2
- Distance on centres? 3
- Diameter top? 10 Bottom? 7
- How capped? granite
- Piles cut off at what grade? 5 Grade of basement? 12
- Are there any hoist ways or elevators? no How protected? stairway
- How is the building heated? radiation Thickness of shell of flue? lined
- Floors, how deafened? salamander
- Fire stops to be provided? yes
- Means of extinguishing fire? yes
- Size of floor timbers? 2 x 10 Span? Distance O. C.?
- headers and trimmers? 4 x 10
- rafters? 2 x 10
- Stairways enclosed in brick walls? yes
- Thickness of such walls? 12 + 1
- Stairway halls, how finished? plastered Estimated cost? 50

If the Building is to be occupied for a Tenement or Lodging House or Family Hotel, give the following particulars:—

- What is the height of cellar? 7
- What will be the height of ceiling on first story, 9 1/2, second, 9 1/2, third, 9 1/2, fourth, 9, fifth, 9, sixth, 9, seventh, 9, eighth, 9, ninth, 9, tenth, 9
- Is the cellar to be occupied for a dwelling? no
- Distance from surrounding buildings? front, 20; side, 20; side, 20; rear, 30
- If there is a building already erected on the front or rear of lot, give height? none
- State how many means of egress are to be provided? 2 inside stairs
- Style of egress? rear iron in brick

Name, Augustus F. Arnold
Address, 25 Court St.

Plans submitted? Received by?

ALLOWABLE HEIGHT PER BOSTON ZONING CODE
AND SOUTH END LANDMARKS COMMISSION: **70'-0"**



FACING WEST



54.2'
TOP OF
ROOF
ADDITION

~66'

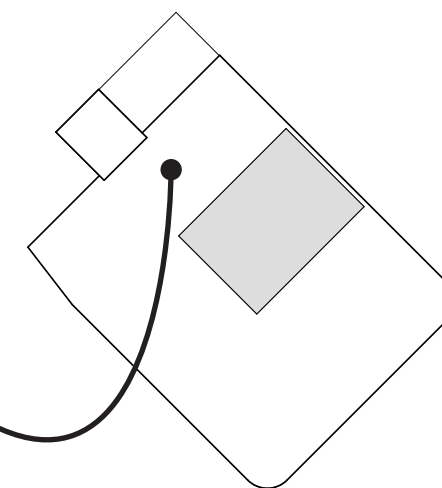
~82'

~59'

~55'

~71'

FACING EAST



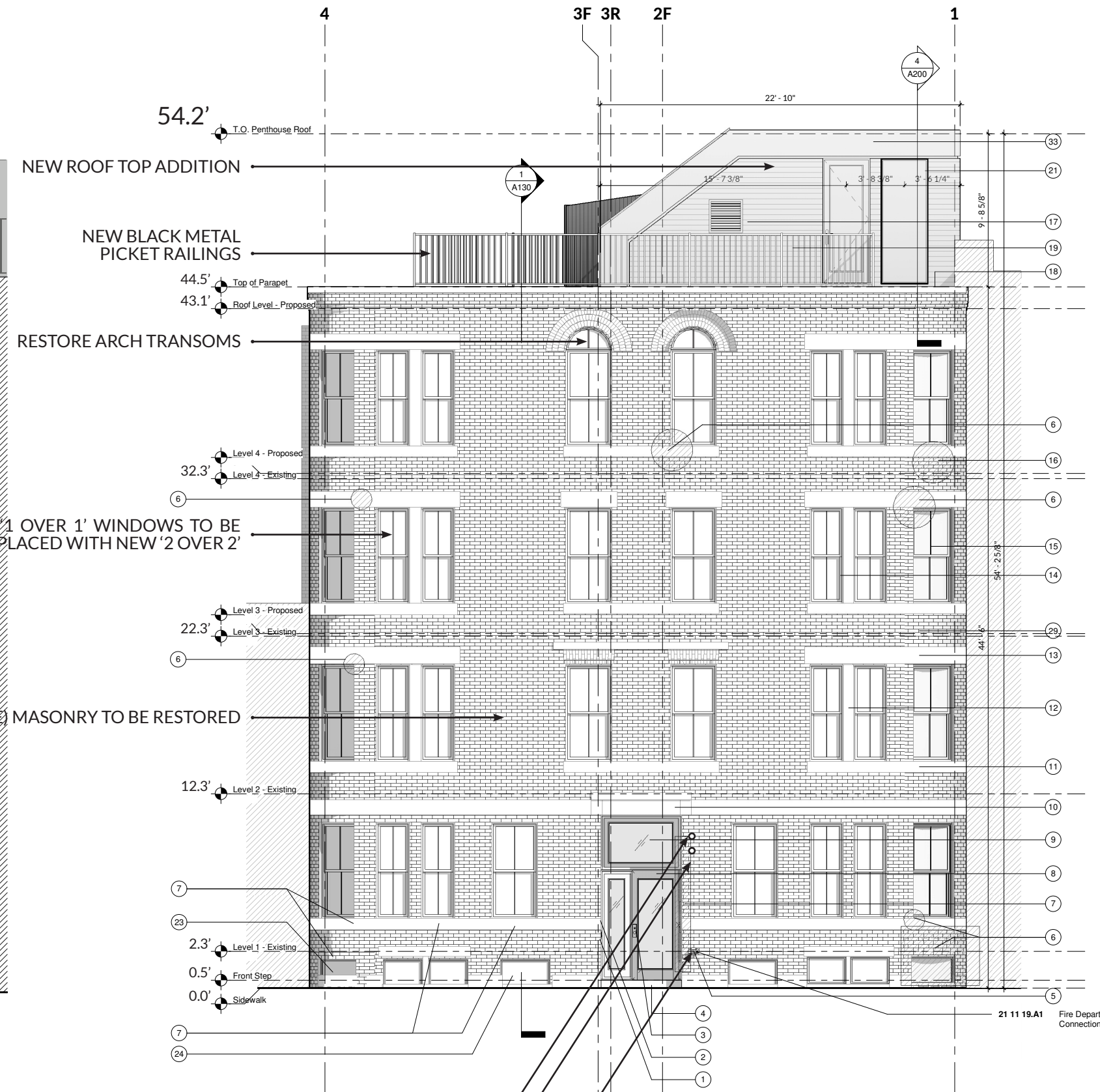
16%
OF
ROOF AREA

144 WORCESTER STREET
FRONT ELEVATION

APPROX. 50.3'
TO PEAK

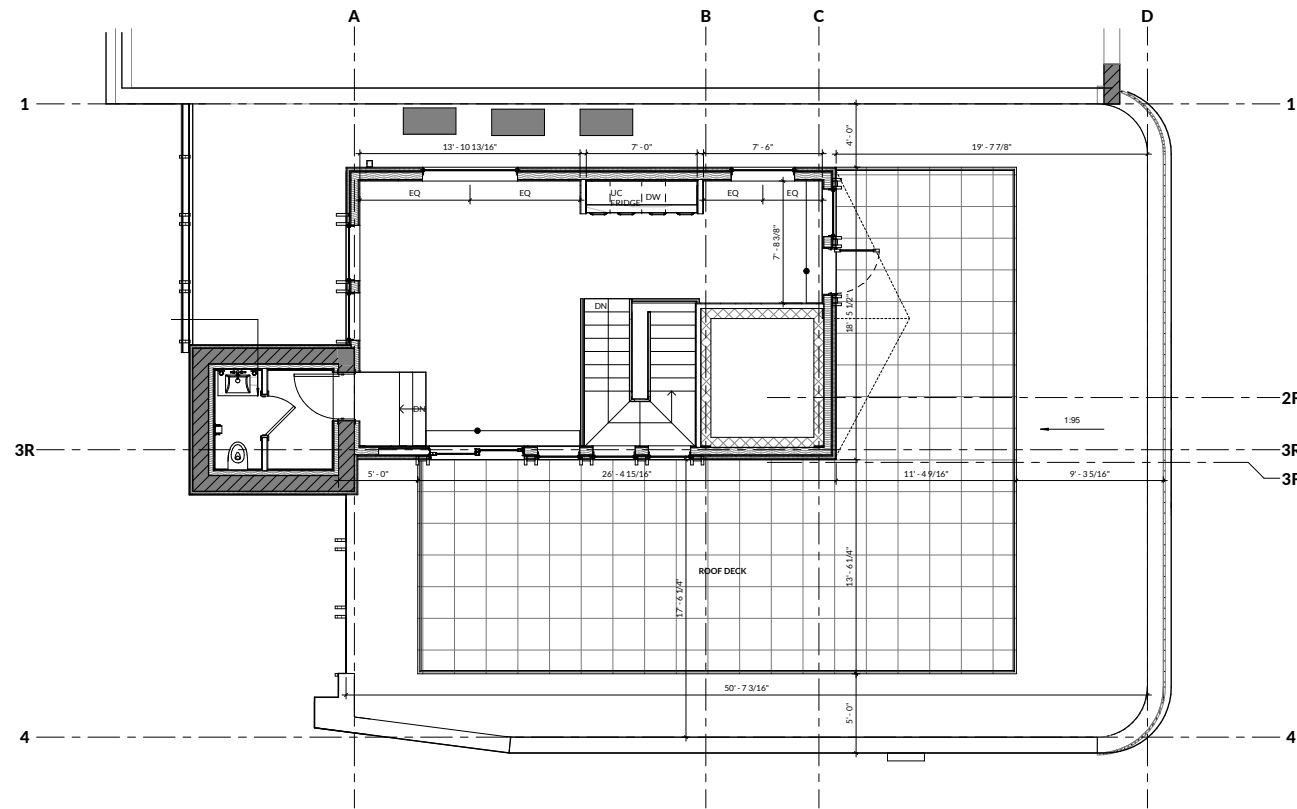


EXISTING



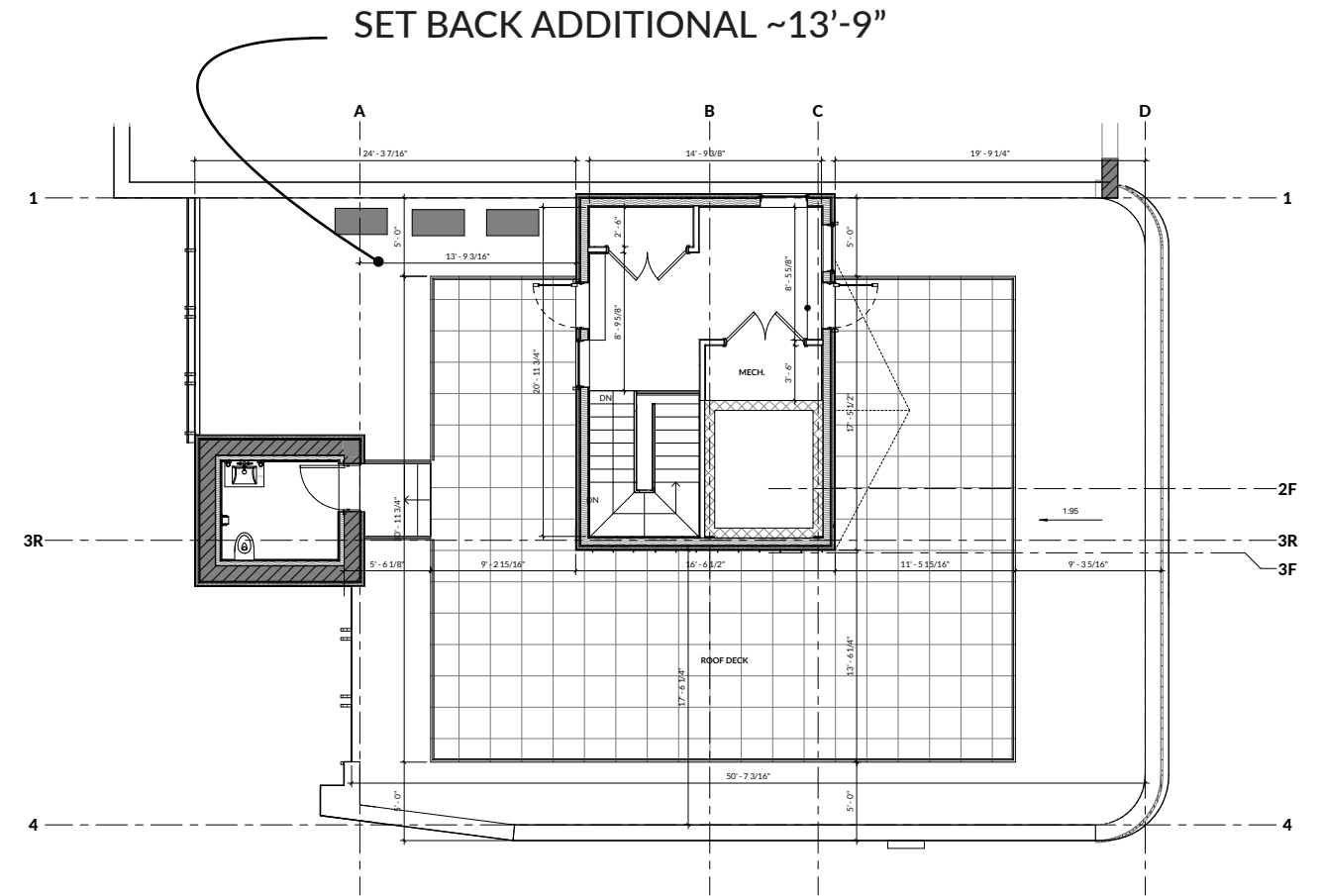
PROPOSED

Addition is positioned back and away from south elevation to minimize visibility.
Deck will be composite decking with black metal picket railing 3'6" off of deck.
See additional details on the following pages.



PREVIOUSLY PROPOSED

PH USABLE SQ.FT. 358 SQ.FT.

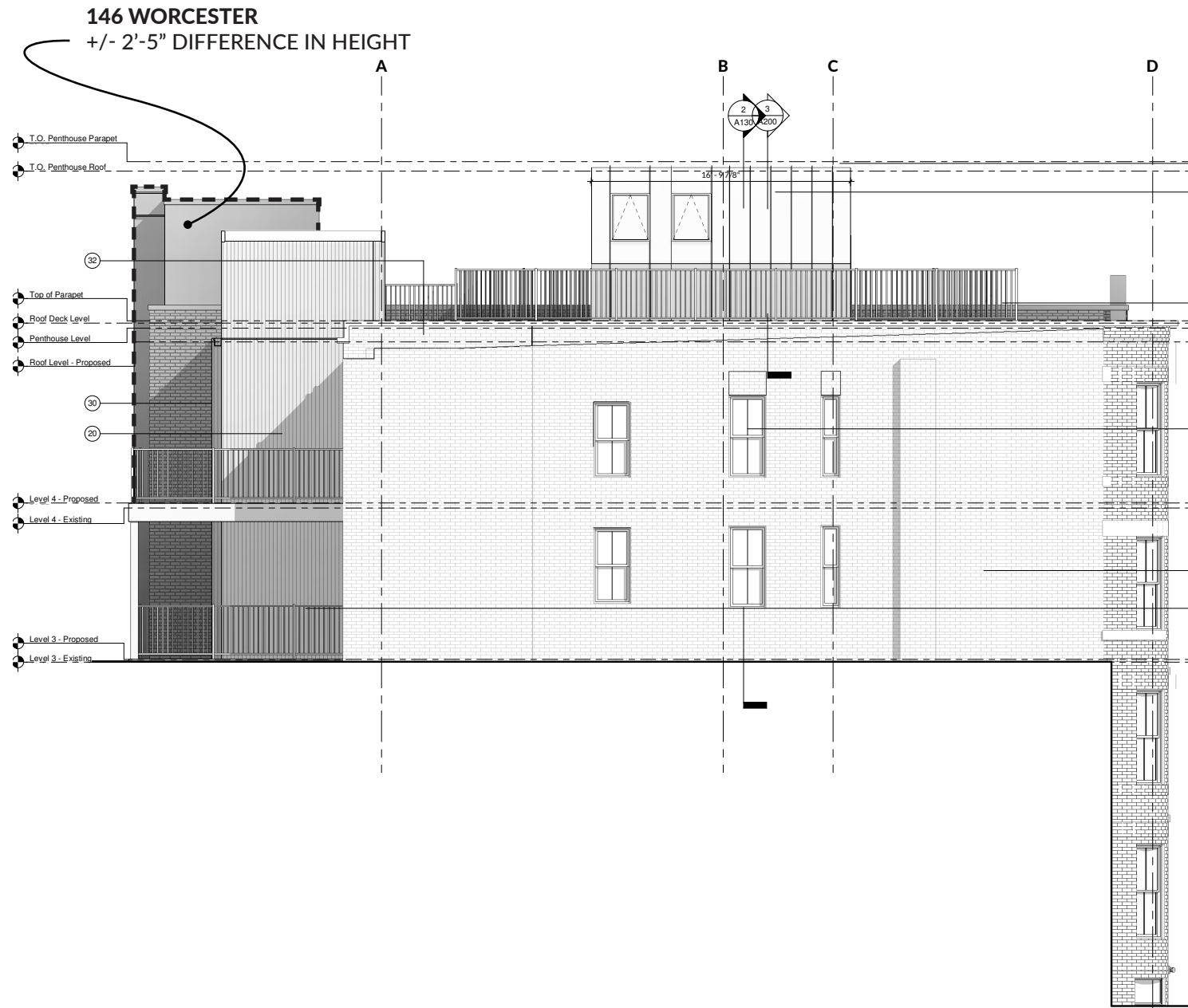


NEW ROOF LEVEL

PH USABLE SQ.FT. 176 SQ.FT.

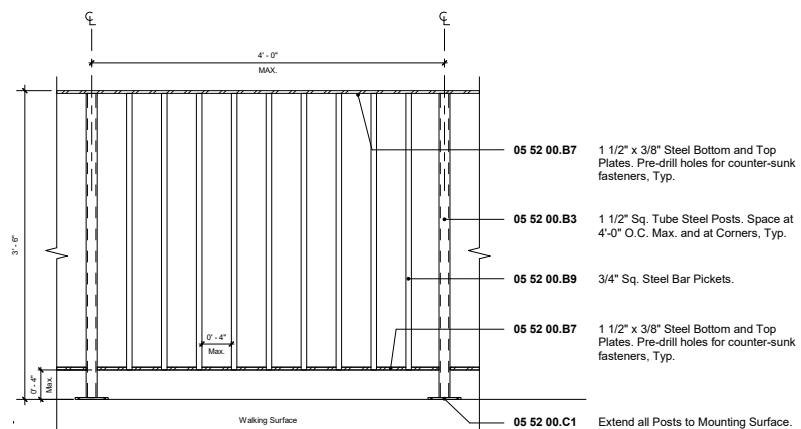
50%
REDUCTION

144 WORCESTER STREET
SIDE ELEVATIONS



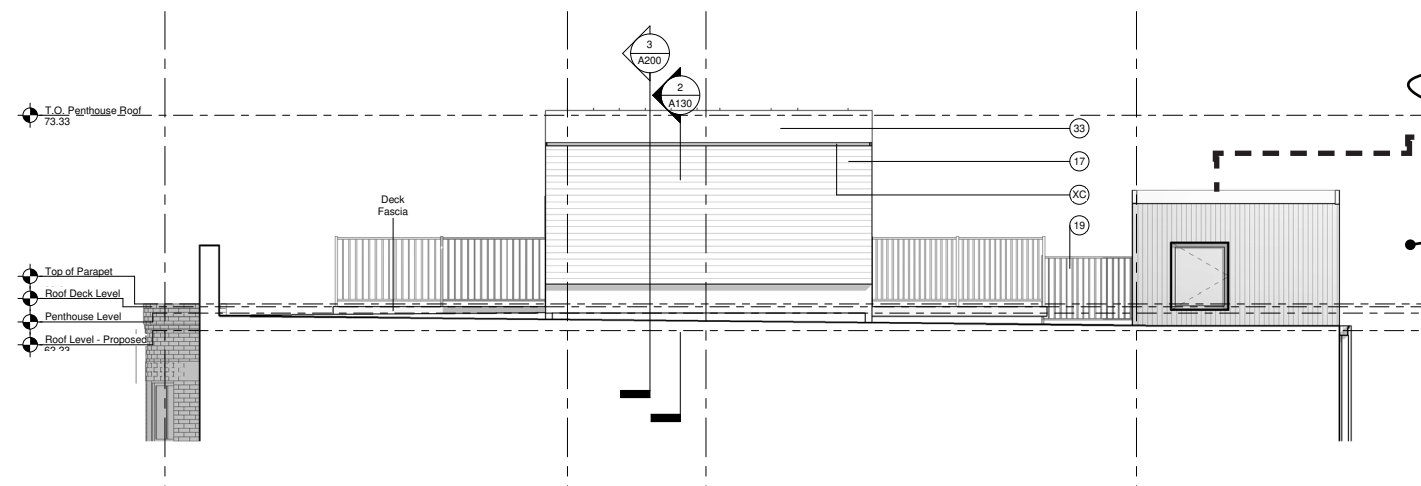
SOUTH ELEVATION

Deck will be composite decking with black metal picket railing 3'6" off of deck.



RAILING NOTES:

1. Grind all welds smooth
2. Powder coat all steel components black
3. Center layout and spread pattern to fit between post locations



NORTH ELEVATION

146 WORCESTER
+/- 2'-5" DIFFERENCE IN HEIGHT

144 WORCESTER STREET
ELEVATIONS + MATERIALITY

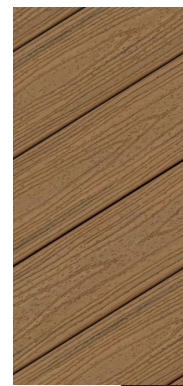
Proposed project to meet approval criteria as outlined in South End Landmarks District Design Guidelines; placement of addition to minimize visibility, minimize visible mass, use of non-reflective dark materials.

REAR ELEVATION + ADDITION MATERIALS



RIBBED FIBER-CEMENT PANEL
CHARCOAL/GRAY
AT REAR OF BUILDING

WOOD/
COMPOSITE WOOD BOARDS



ALUMINUM BREAK METAL
MATTE BLACK

RHEINZINK
CHARCOAL/GRAY



PREVIOUS DESIGN



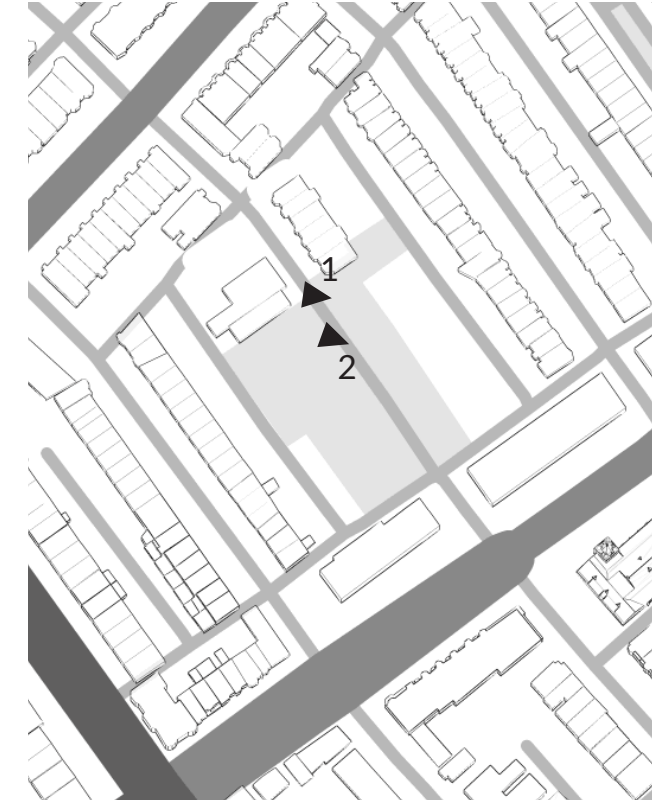
NEW PROPOSED DESIGN

144 WORCESTER STREET
VISIBILITY

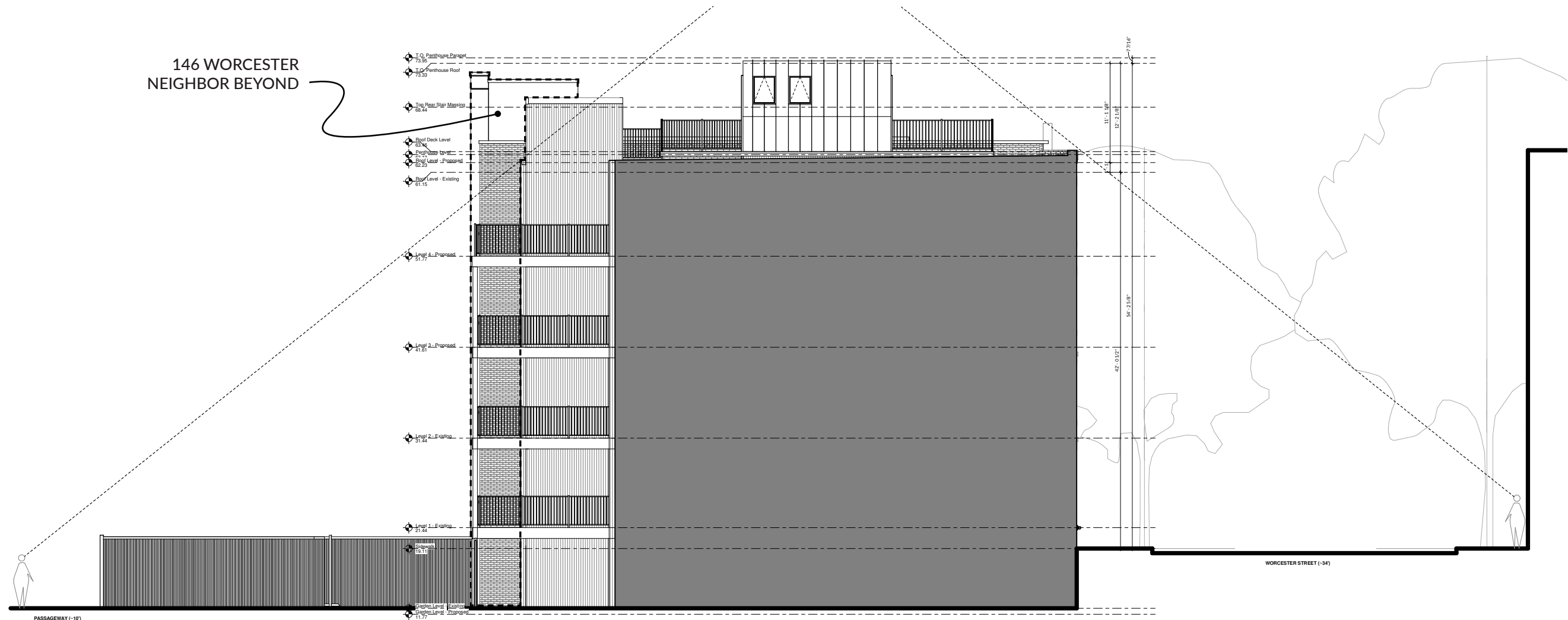
1
NOT VISIBLE



2
PARTIALLY VISIBLE
Visibility on Worcester Street starts around 125 feet away from building during the winter seasons.



146 WORCESTER
NEIGHBOR BEYOND





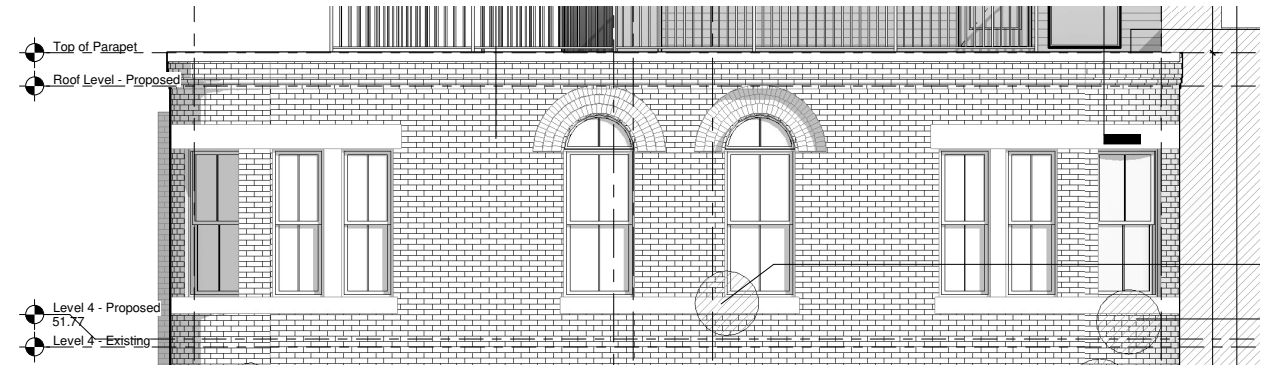
PREVIOUS DESIGN



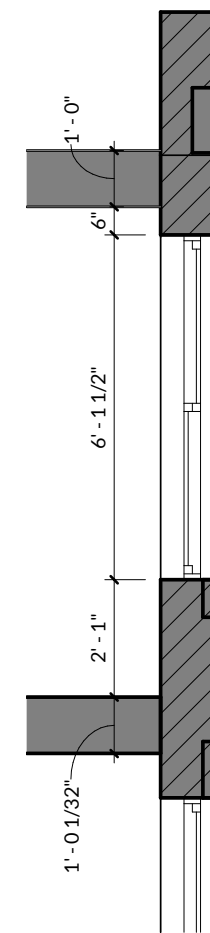
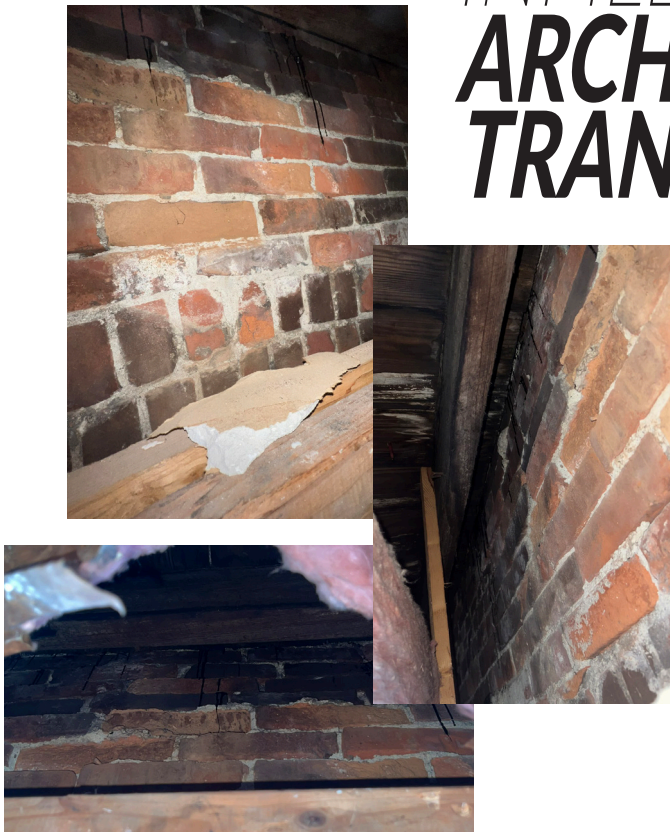
NEW PROPOSED DESIGN



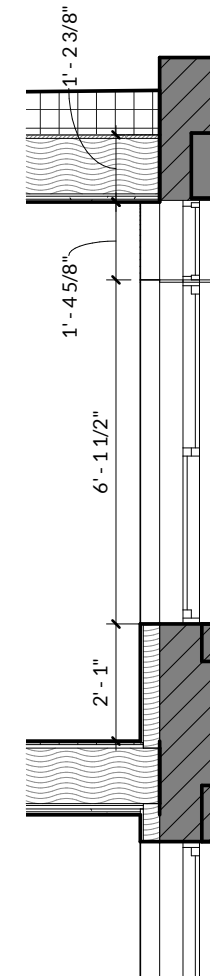
HISTORICAL PHOTO FROM
SOUTH END HISTORICAL SOCIETY



INFILL @
**ARCH
TRANSOMS**

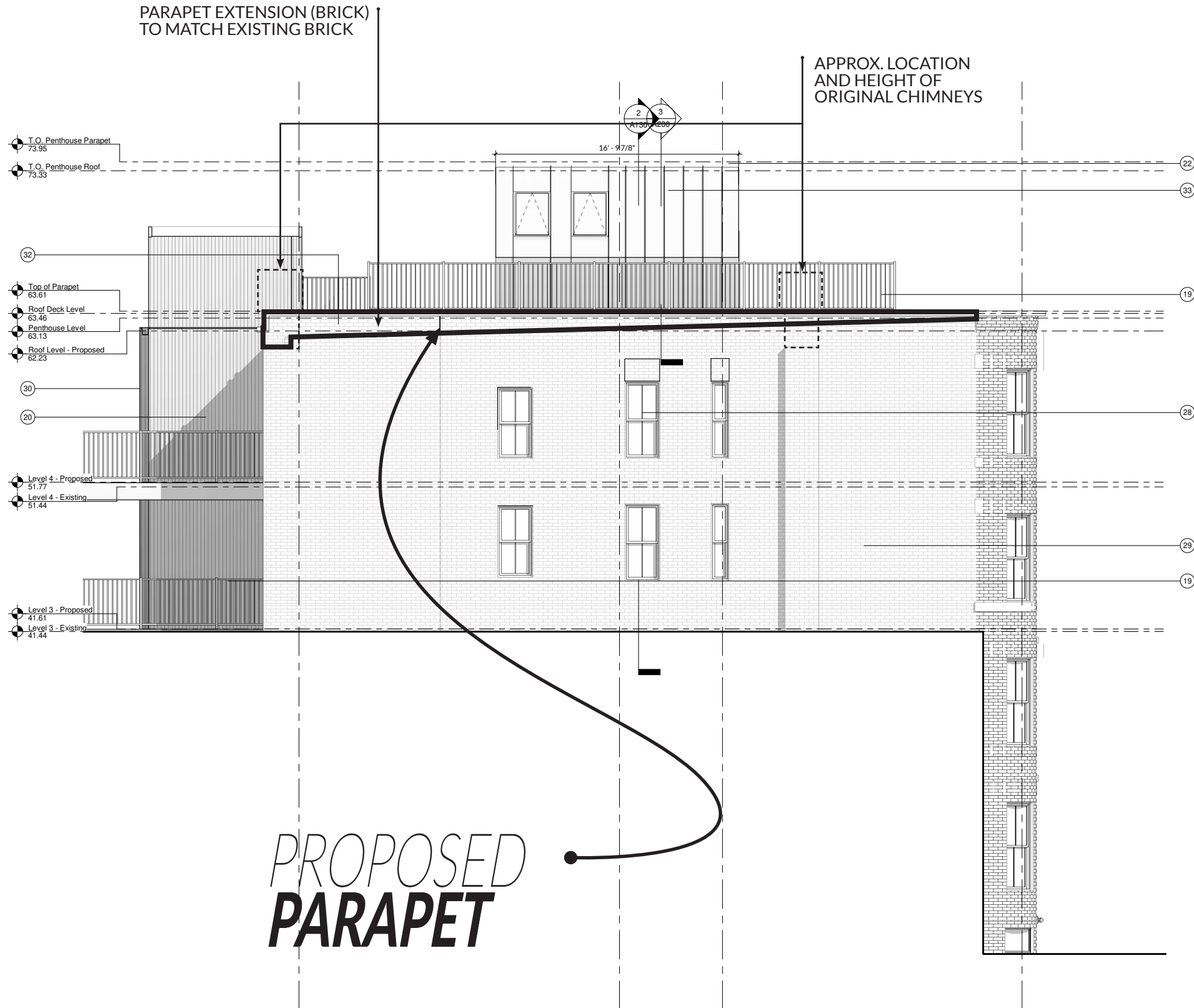


EXISTING



PROPOSED

144 WORCESTER STREET
PARAPET



No existing parapet on South elevation. (Community Garden facing facade)



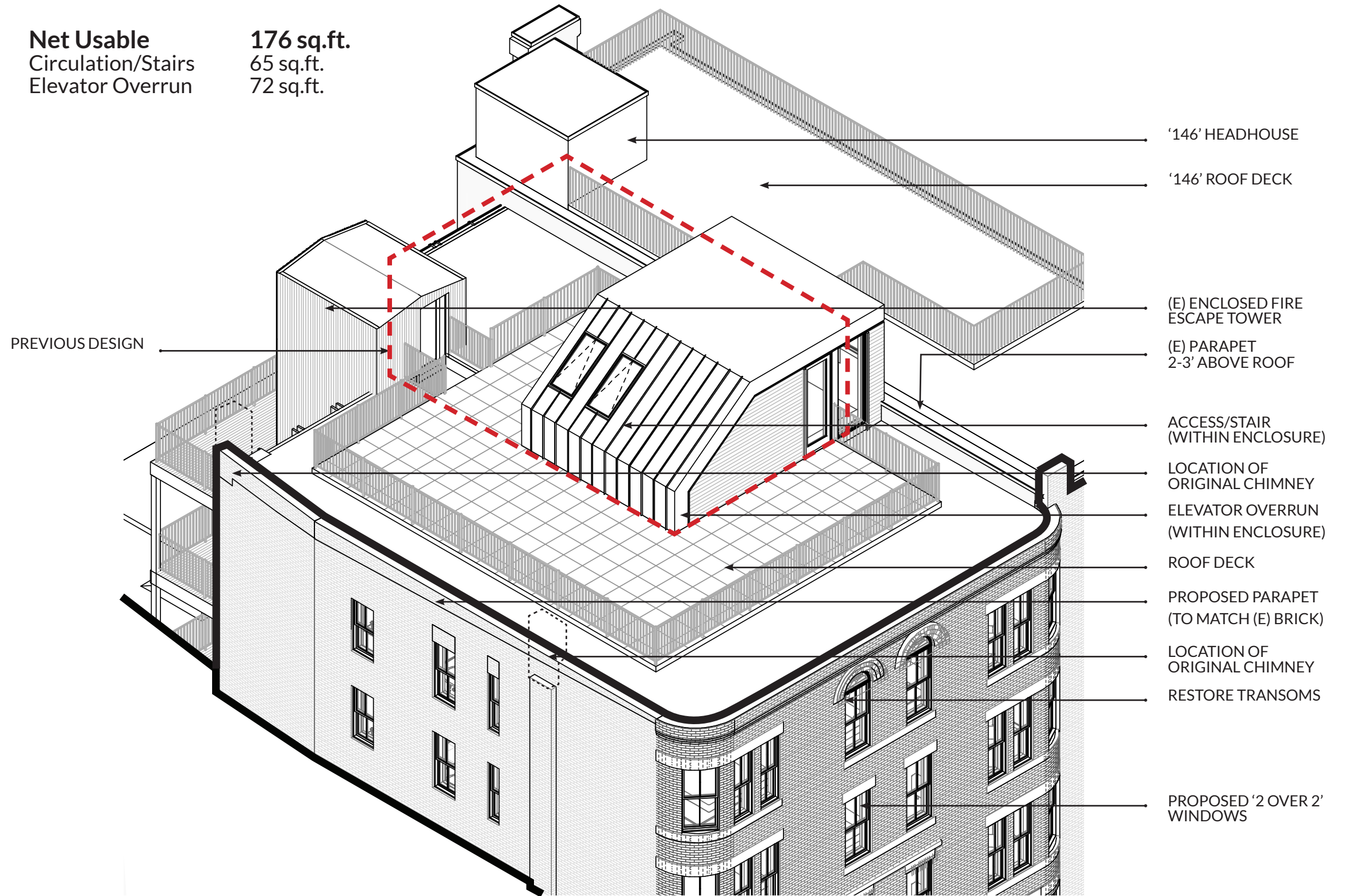
Existing parapet on North side party wall. (2-3' above roof)

PREVIOUSLY PROPOSED

Net Usable 358 sq.ft.
Circulation/Stairs 65 sq.ft.
Elevator Overrun 72 sq.ft.

NEW

Net Usable 176 sq.ft.
Circulation/Stairs 65 sq.ft.
Elevator Overrun 72 sq.ft.

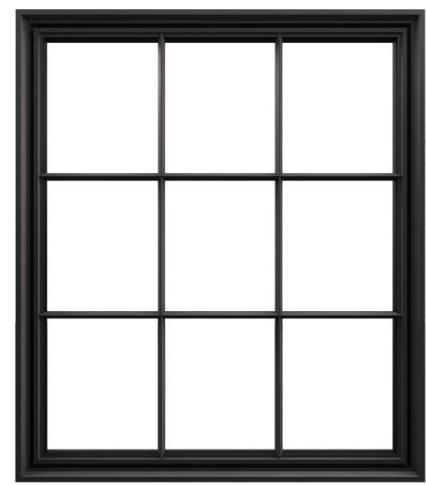
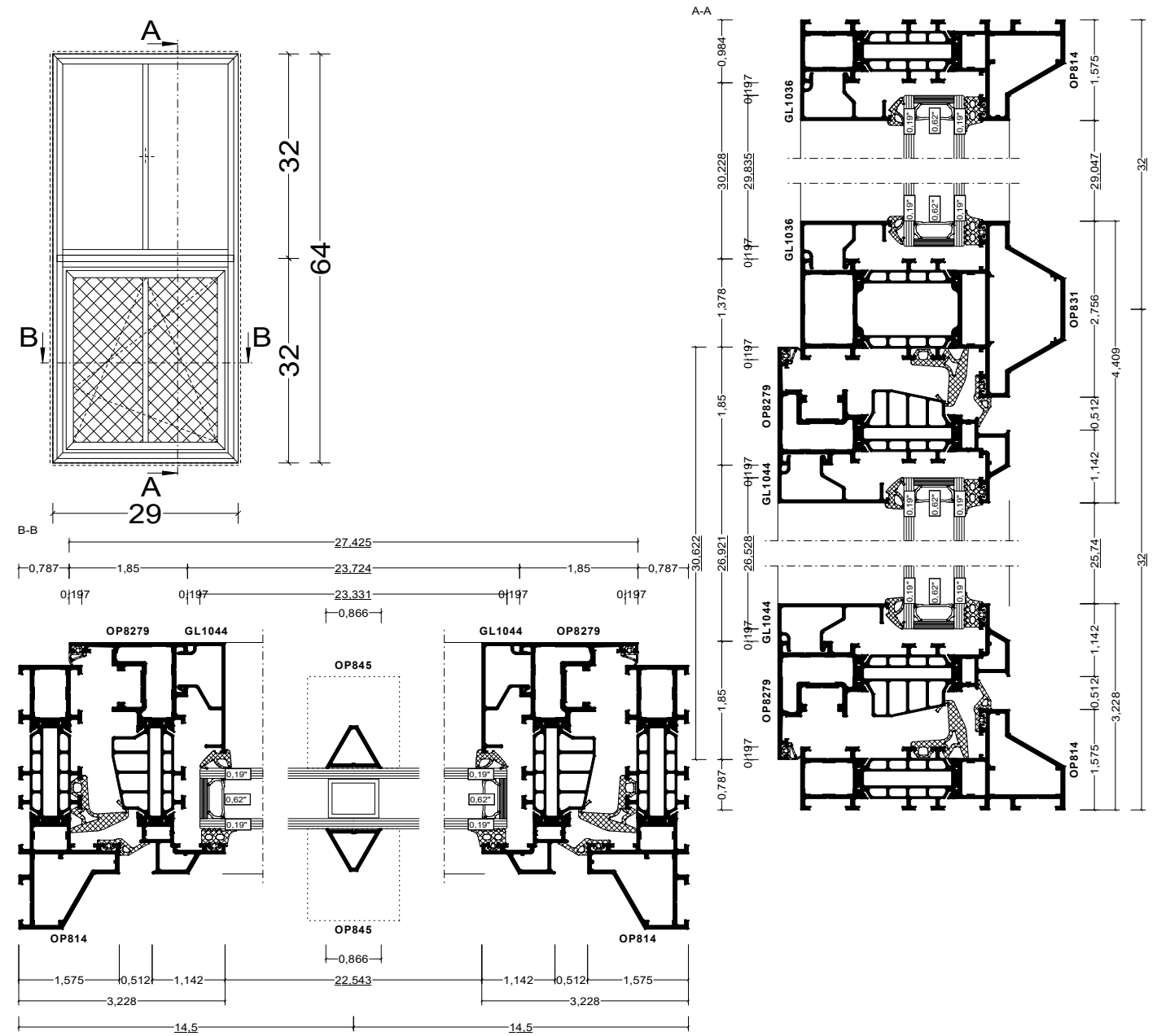




EXISTING ALUMINUM WINDOWS

WINDOWS

- EXISTING ALUMINUM REPLACEMENT '1 OVER 1' WINDOWS TO BE REPLACED W/ ALUMINUM '2 OVER 2' WINDOWS THAT MEET THE STANDARDS AND CRITERIA FOR WINDOW REPLACEMENT
- EXISTING MISMATCHING STORM WINDOWS TO BE REMOVED
- EXISTING WOOD BRICKMOLD PROFILE TO BE REPLACED TO MATCH EXISTING



RELEVANT SELDC GUIDELINES FOR REFERENCE:

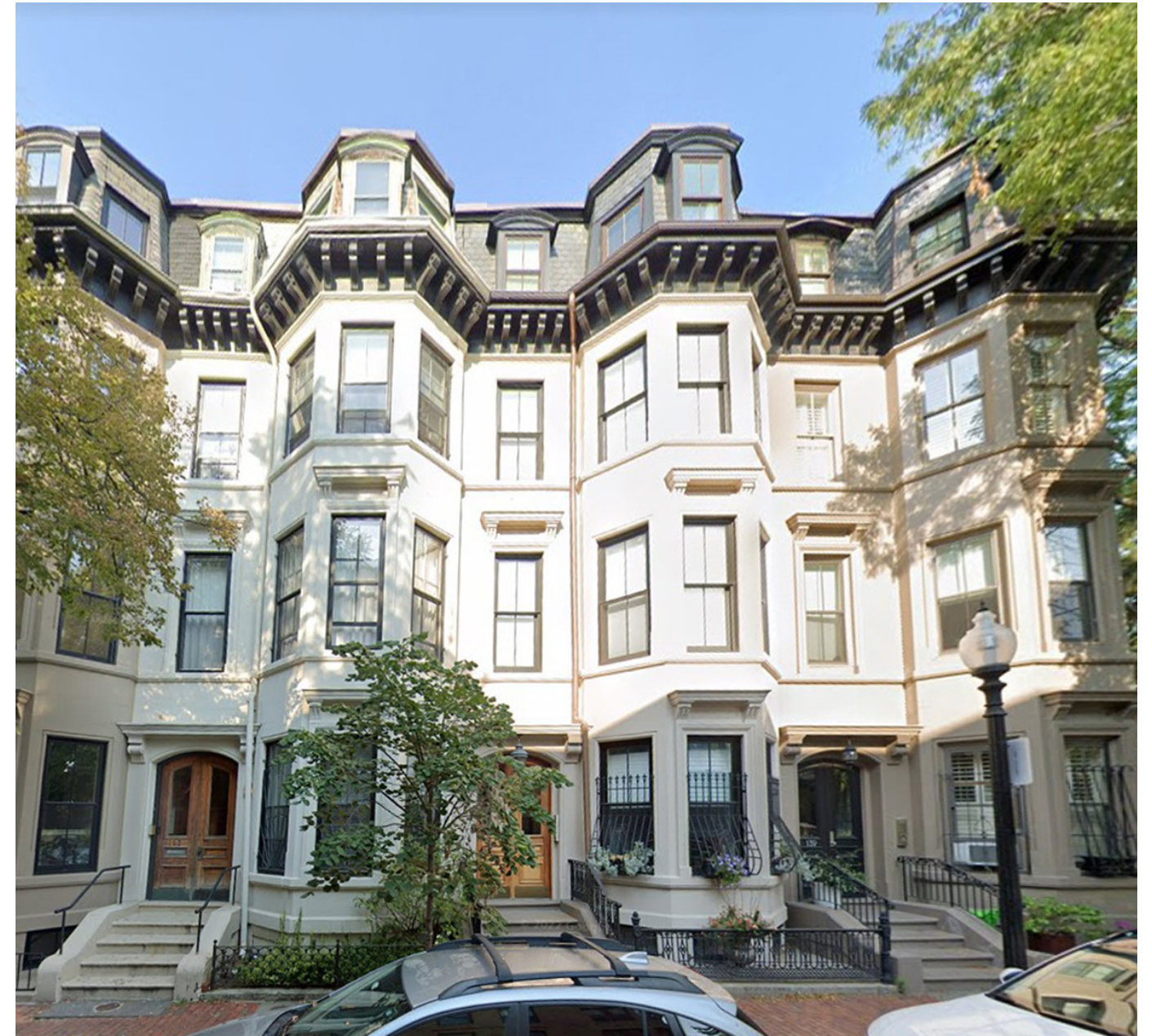
SECTION D 1.c:

...since the original resource has already been lost, and an inappropriate window unit has been since installed, the commission will allow the installation of aluminum replacement window units that meet the standards and criteria for window replacement.

SECTION D 1.f:

...where the building is viewed by the commission to be of a style warranting additional consideration, the installation of aluminum windows may be considered. This determination is made on a case-by-case basis, and in general excludes the typical South End rowhouse so prevalent in the district.

144 WORCESTER STREET
WINDOWS



149 THROUGH 139 WORCESTER STREET
'2OVER 2' PRECEDENT IN CONTEXT ACROSS THE STREET



THANK YOU