

1 ELWOOD

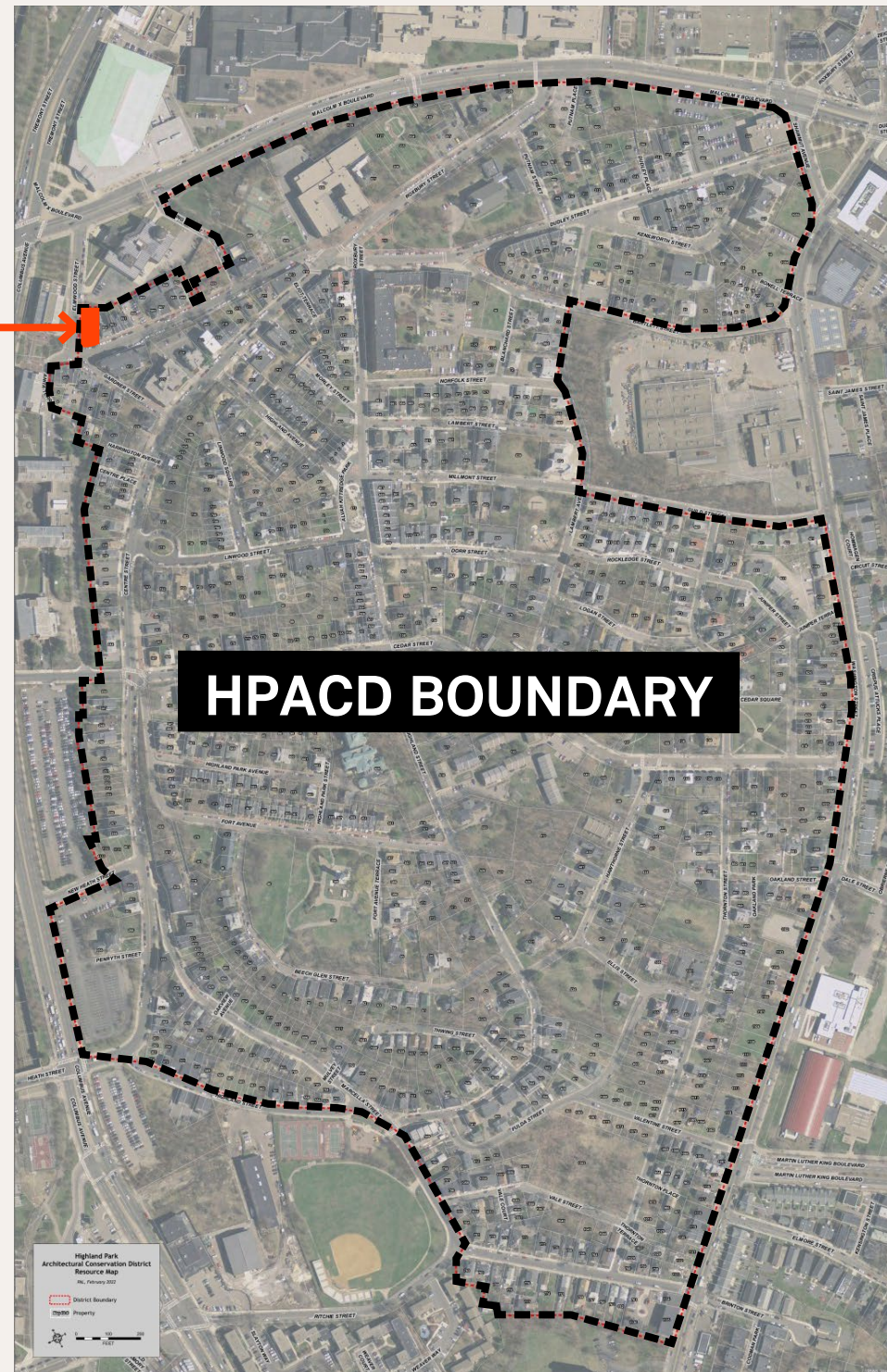
HIGHLAND PARK ARCHITECTURE CONSERVATION DISTRICT (HPACD)

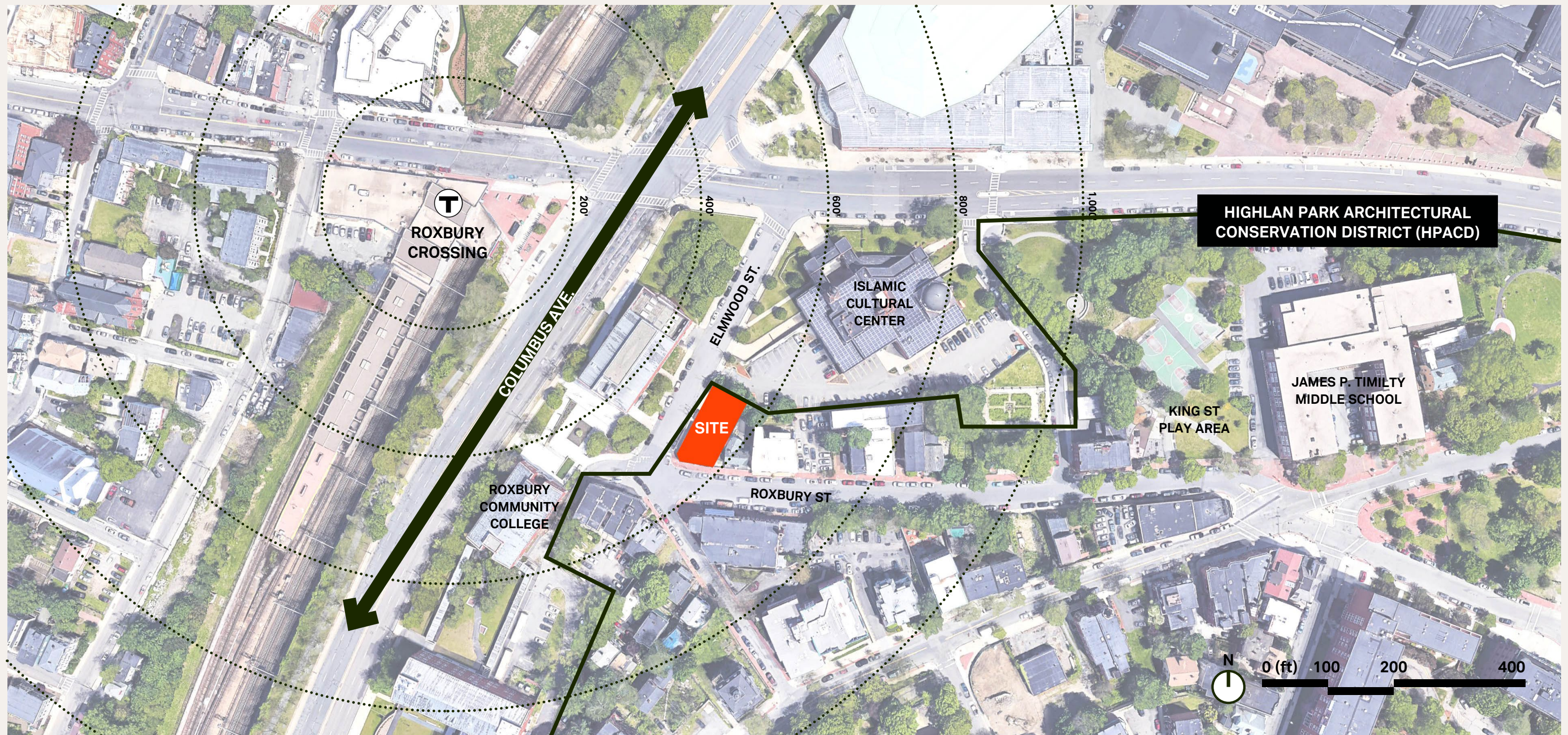
05/23/2024



- 1 CONTEXT + HISTORY
- 2 HPACD RESEARCH FINDINGS
- 3 PROPOSAL

1 ELMWOOD ST.





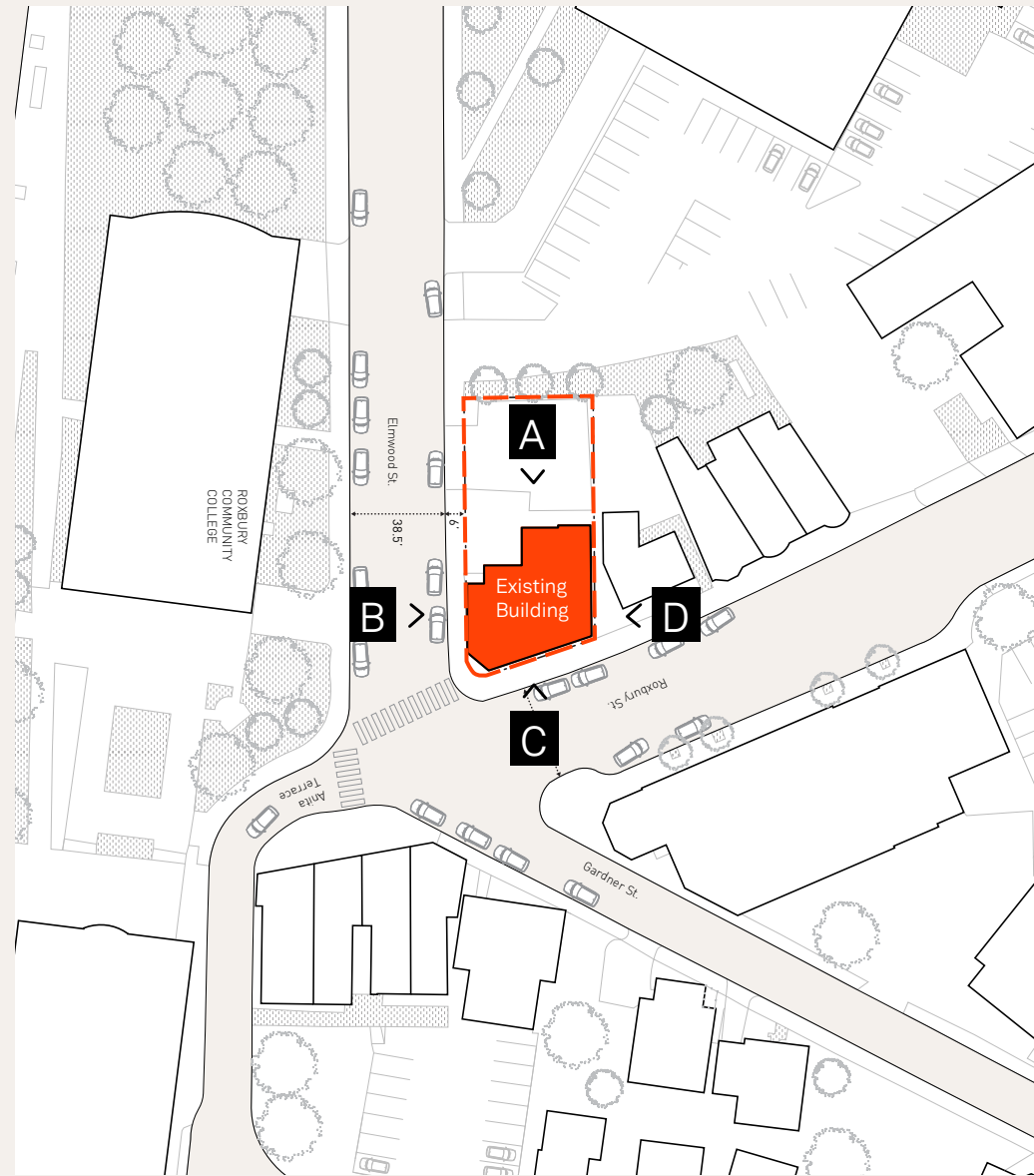
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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LOCATION

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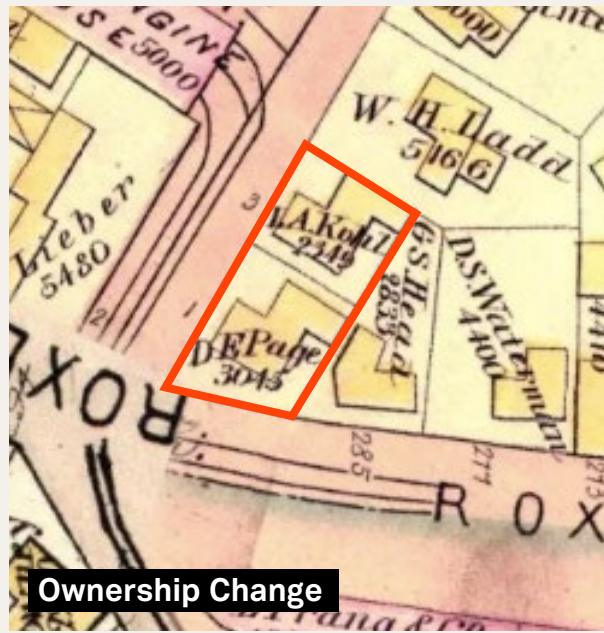


ELEVATIONS OF EXISTING BUILDING

1873 Roxbury Hopkins Atlas

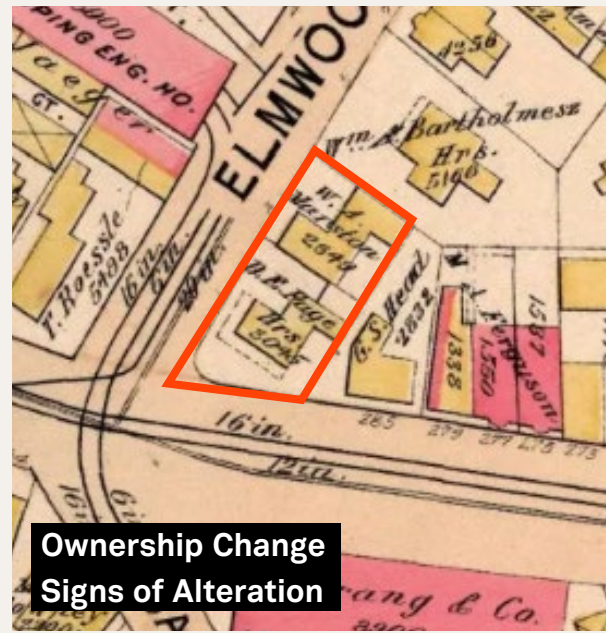


1884 Roxbury Bromley Atlas



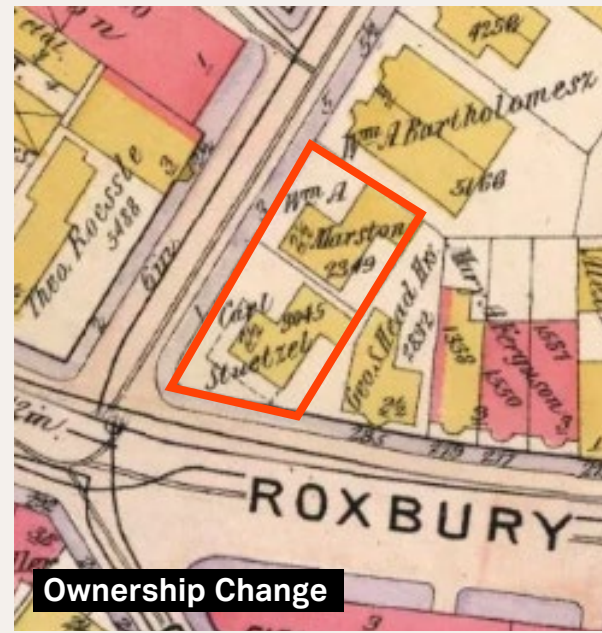
Ownership Change

1895 Roxbury Bromley Atlas



Ownership Change
Signs of Alteration

1906 Roxbury Bromley Atlas



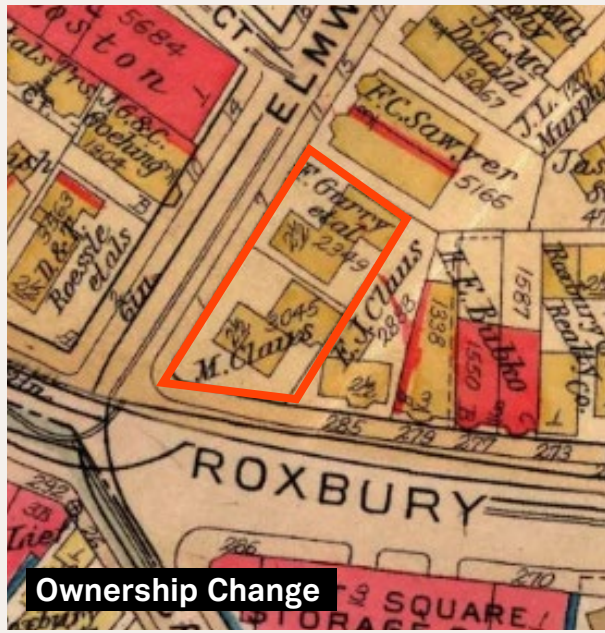
Ownership Change

1915 Roxbury Bromley Atlas



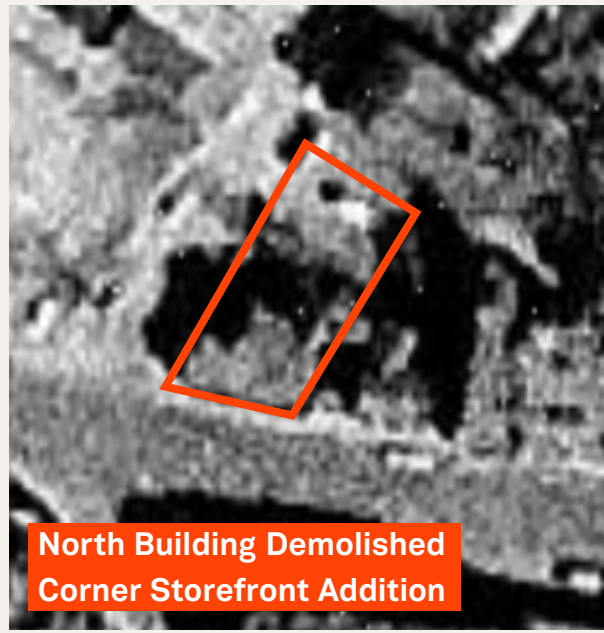
Ownership Change
Signs of Alteration

1935 Roxbury Bromley Atlas



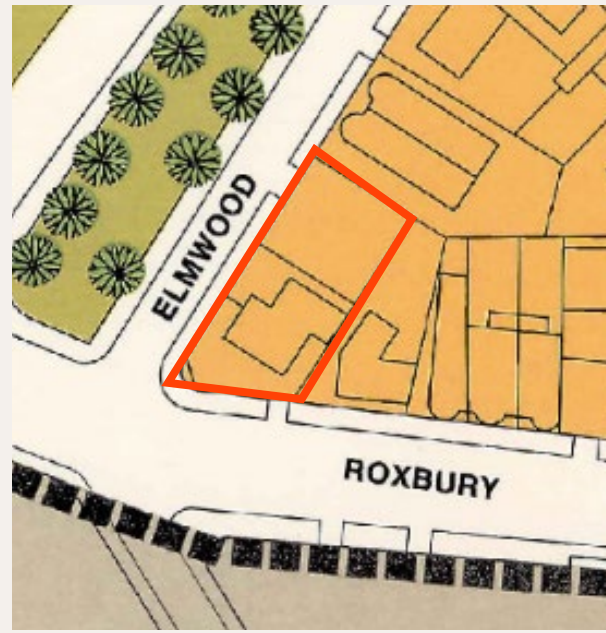
Ownership Change

1969 Metro Boston Aerial



North Building Demolished
Corner Storefront Addition

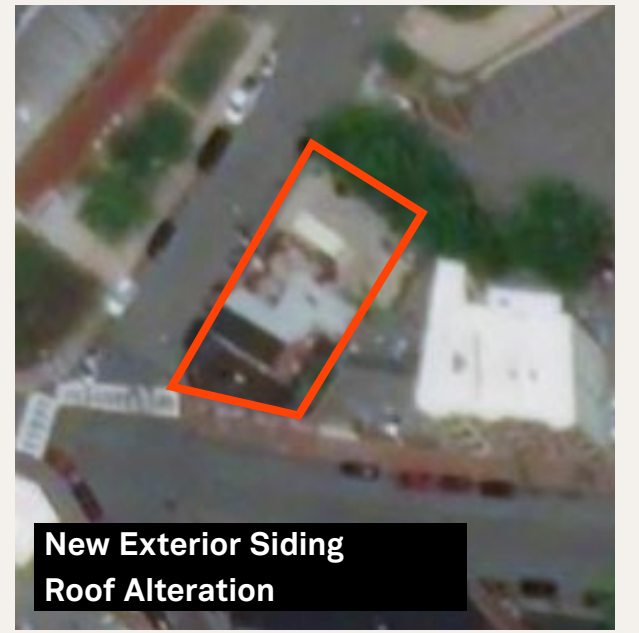
1971 Boston Campus Site Plan



1995 Boston BWSC map



2011 Statewide MA Aerial



New Exterior Siding
Roof Alteration

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WEST WORK

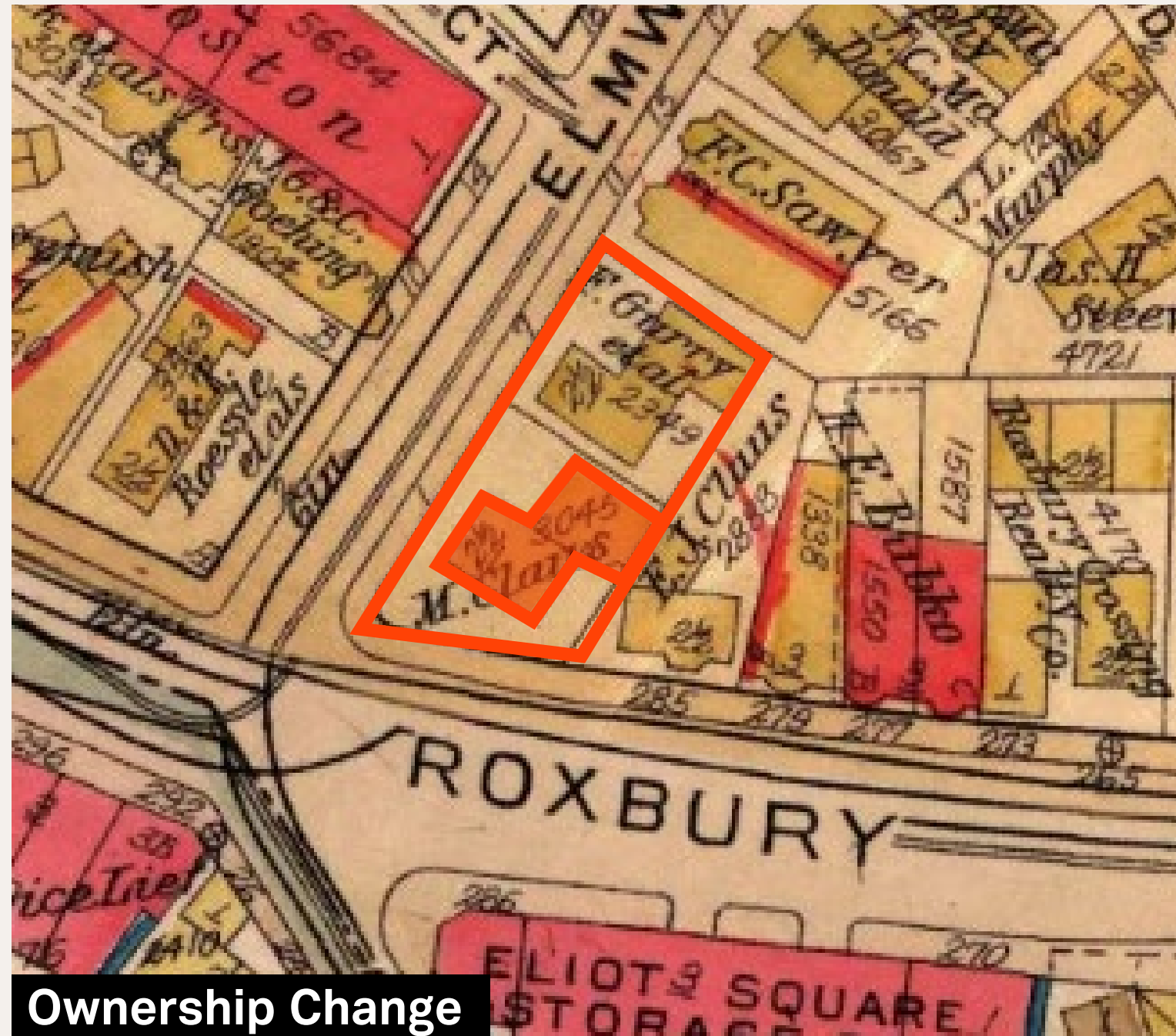
1 ELMWOOD ST

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HISTORIC MAPS

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1935 Roxbury Bromley Atlas



Ownership Change

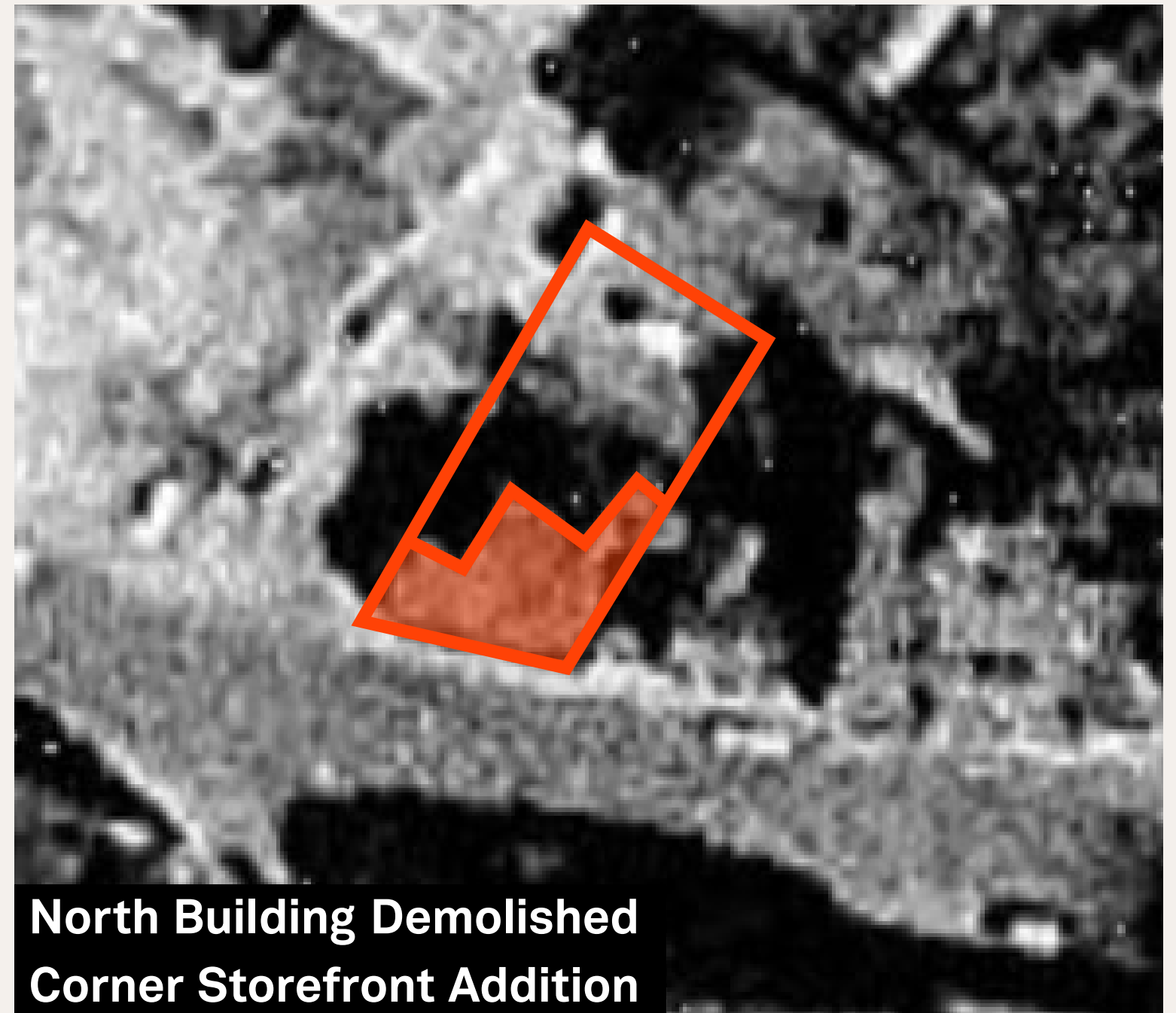
TRIPLE W
DEVELOPMENT
WEST WORK

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1969 Metro Boston Aerial

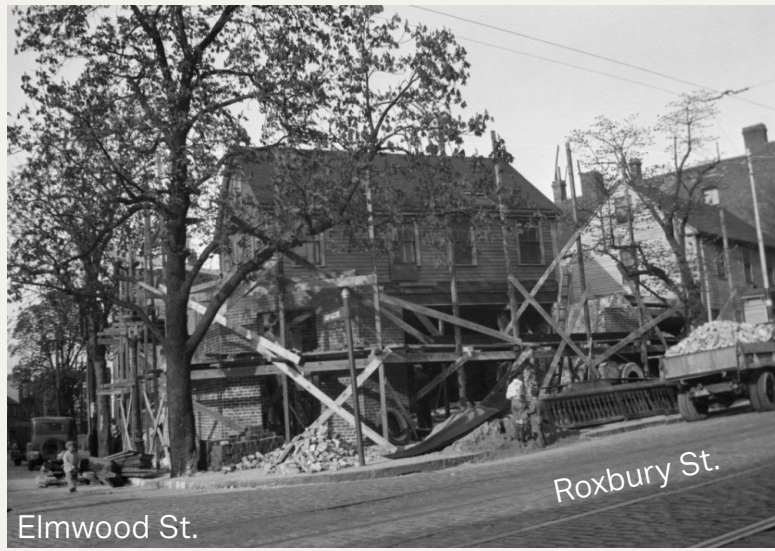


**North Building Demolished
Corner Storefront Addition**

BUILDING FOOTPRINT WAS HEAVILY ALTERED IN 1937

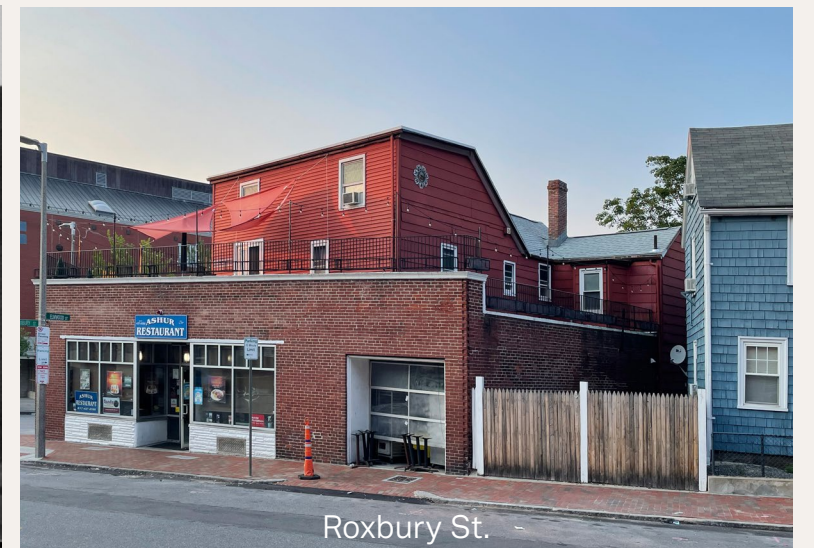
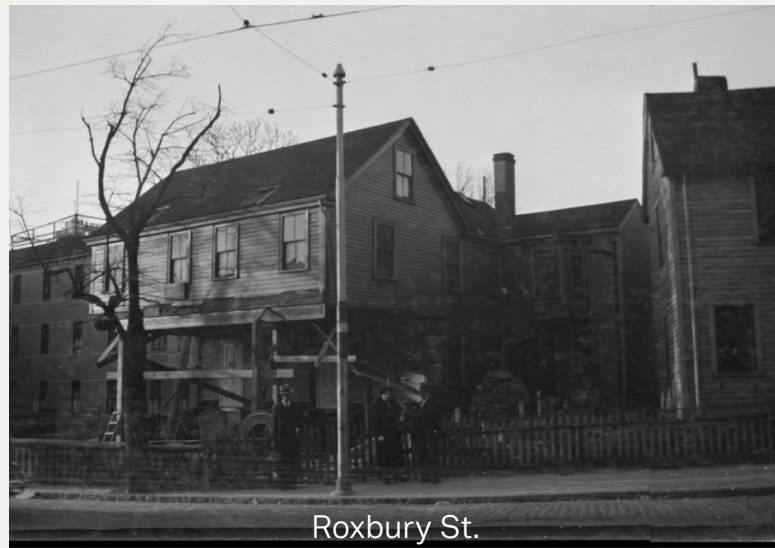
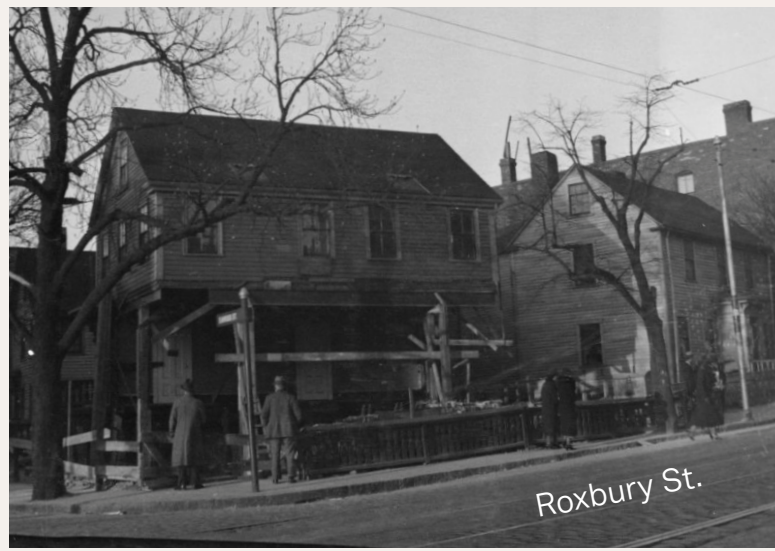
1937

2024



1937

2024



The current building does not resemble the original structure from the 1800s—part of the brick wall built in 1937 remains.

The overall shape, cladding material, and windows were all changed.

Source:
 Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store" https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W DEVELOPMENT WEST WORK 1 ELMWOOD ST 08 — 49

*Please see the Disclosure Statement at the end of document

1937 VS 2023 PHOTO COMPARISON

1937



2024



Source:
 Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store"
https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W 1 ELMWOOD ST 09
 DEVELOPMENT —
 WEST WORK 49

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**1937 VS 2023
 PHOTO COMPARISON**

1937



2024



Source:
 Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store"
https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W 1 ELMWOOD ST 10
 DEVELOPMENT —
 WEST WORK 49

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**1937 VS 2023
 PHOTO COMPARISON**

1937



2024



Source:
 Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store"
https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W	1 ELMWOOD ST	11
DEVELOPMENT		—
WEST WORK		49

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**1937 VS 2023
 PHOTO COMPARISON**

1937



2024



Source:
 Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store"
https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W 1 ELMWOOD ST 12
 DEVELOPMENT —
 WEST WORK 49

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**1937 VS 2023
 PHOTO COMPARISON**

1937



Elmwood St.

2024



Elmwood St.

Source:
 Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store"
https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W	1 ELMWOOD ST	13
DEVELOPMENT		—
WEST WORK		49

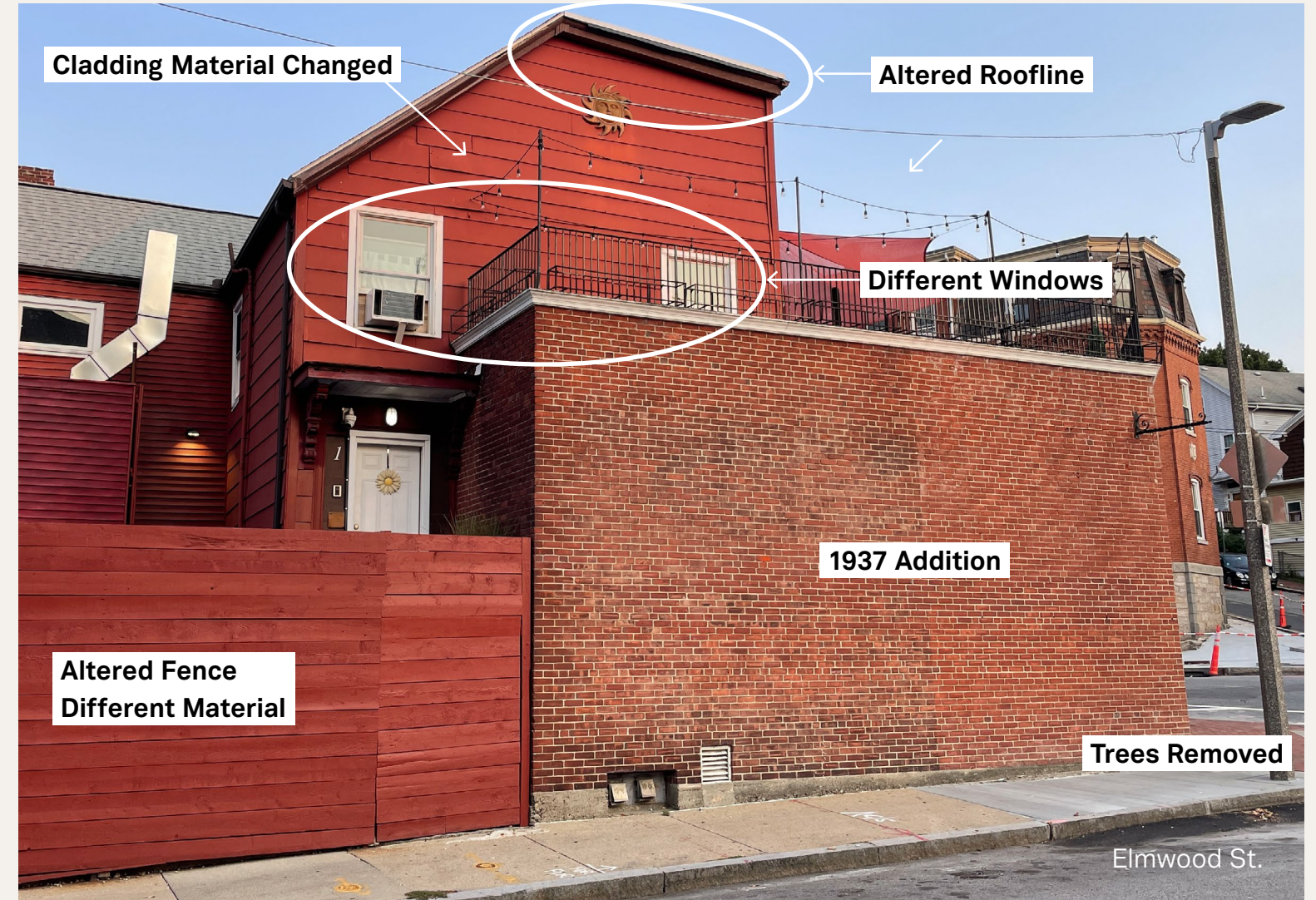
*Please see the Disclosure Statement at the end of document

**1937 VS 2023
 PHOTO COMPARISON**

1937



2024



Source:
 Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store"
https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W	1 ELMWOOD ST	14
DEVELOPMENT		—
WEST WORK		49

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**1937 VS 2023
 PHOTO COMPARISON**

1937



2024



Source:

Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store"

https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W	1 ELMWOOD ST	15
DEVELOPMENT		—
WEST WORK		49

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**1937 VS 2023
PHOTO COMPARISON**

1937



2024



Source:

Ellen F. O'Connor Collection; "Home of the Claus family, corner of Roxbury and Elmwood St. remodeling for the Pioneer grocery store"

https://www.digitalcommonwealth.org/search?f%5Bsubject_geographic_sim%5D%5B%5D=Former+site+of+the+Claus+residence+and+the+Pioneer+grocery+store%2C+Roxbury%2C+Mass.

TRIPLE W	1 ELMWOOD ST	16
DEVELOPMENT		—
WEST WORK		49

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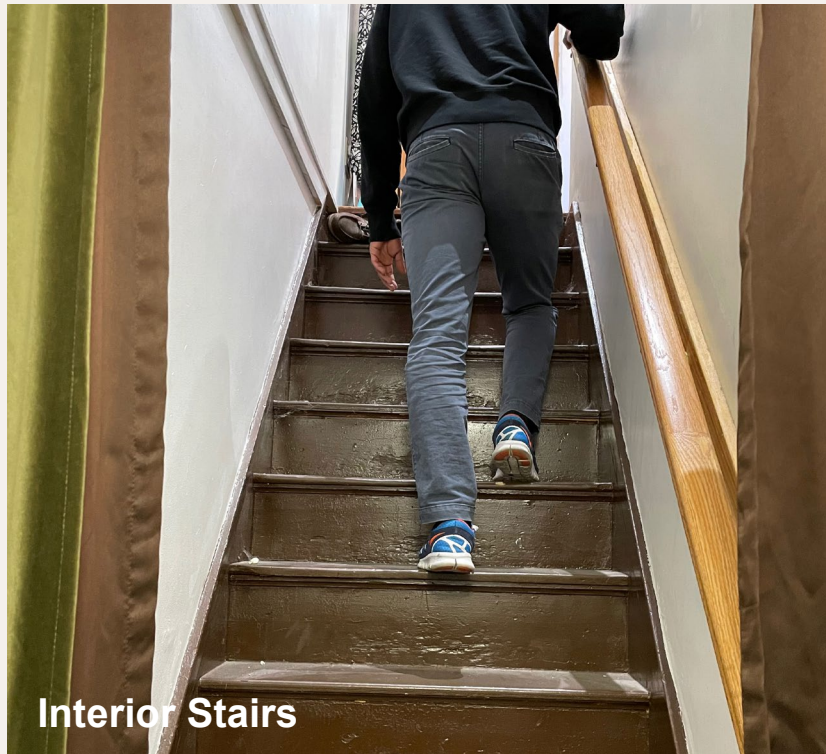
1937 VS 2023
PHOTO COMPARISON



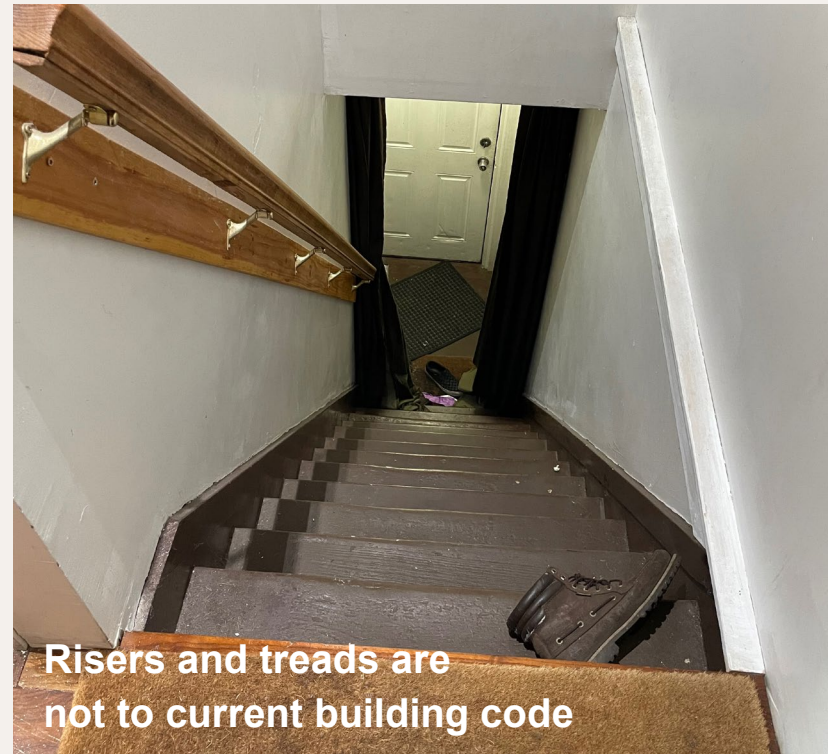
Outdated Exterior Condition

The building's exterior conditions exhibit failing materials: outdated siding, soffits, and trim damages.





Interior Stairs



Risers and treads are not to current building code



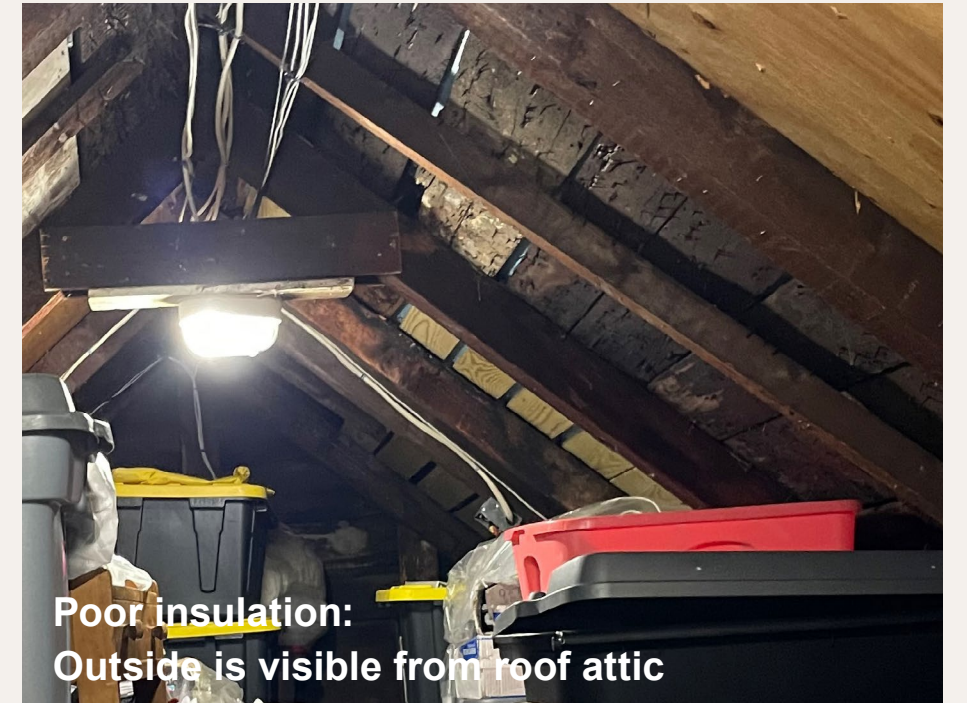
Interior water damage



Under-sized structural members



Under-sized structural members



Poor insulation: Outside is visible from roof attic

Q. What can we learn?

TRIPLE W	1 ELMWOOD ST	19
DEVELOPMENT		—
WEST WORK		49

ELEMENTS TO PRESERVE

*Please see the Disclosure Statement at the end of document

- 1 CONTEXT + HISTORY
- 2 HPACD RESEARCH FINDINGS
- 3 PROPOSAL

TRIPLE W	1 ELMWOOD ST	20
DEVELOPMENT		—
WEST WORK		49

MEETING AGENDA

*Please see the Disclosure Statement at the end of document

HIGHLAND PARK

ARCHITECTURAL CONSERVATION DISTRICT

BOSTON LANDMARKS COMMISSION
STUDY REPORT



Petition #38
Boston Landmarks Commission
Environment Department
City of Boston
www.boston.gov/landmarks

3.4 Architectural Significance

The Highland Park ACD is significant as a collection of architectural styles and types that demonstrate the development of Roxbury from an agricultural settlement to a fashionable nineteenth-century streetcar suburb of Boston, and finally a dense, urban neighborhood. Taken as a whole, the buildings in the district provide a nearly comprehensive cross-section of architectural styles and types found in Boston. The district is distinctive, with integrity of location and setting; it is an unusually well-preserved, clearly bounded, and interesting collection of many styles and periods mostly free from obscuring alteration. In this respect, it serves as a valuable illustration of the trajectory of both architecture history and urban development in the region.

As noted by Gail Sullivan Associates in their 1999 report on the district:

The stylistic and historic variety present in such close proximity results in a unique experience as one walks through the district. Where setbacks are deep and large lots are still preserved the landscape is surprisingly pastoral. Within a block the view may change to an urban streetscape with rowhouses providing a strong, consistent rhythm of bow or bay fronts and repetitive entries tight to the sidewalk.¹³³

The juxtaposition of a variety of building types, architectural styles, and landscapes gives Highland Park a unique contemporary character. Highland Park is one of the oldest developed areas of the City of Boston. Due to its trajectory as a farming settlement, a military stronghold, a suburb of luxury estates, a streetcar suburb, a working-class family neighborhood, and a neighbor to urban renewal, the Highland Park district provides a valuable record of Boston's physical, social, cultural, and economic development.

1. 50 - 70 Highland Street
(ACD Historically Significant)



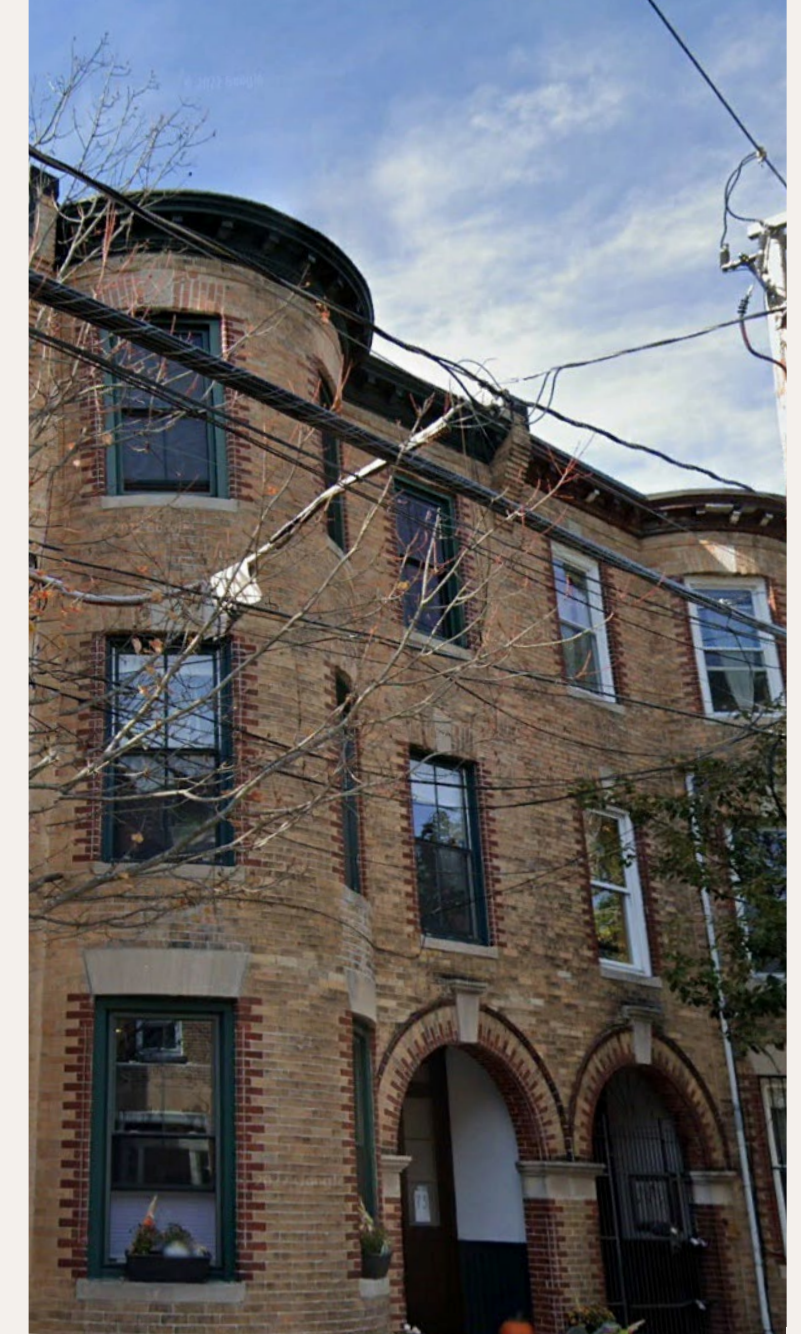
2. 288-300 Roxbury Street
(ACD Historically Significant)



3. 286 Roxbury Street
(Adjacent Building)



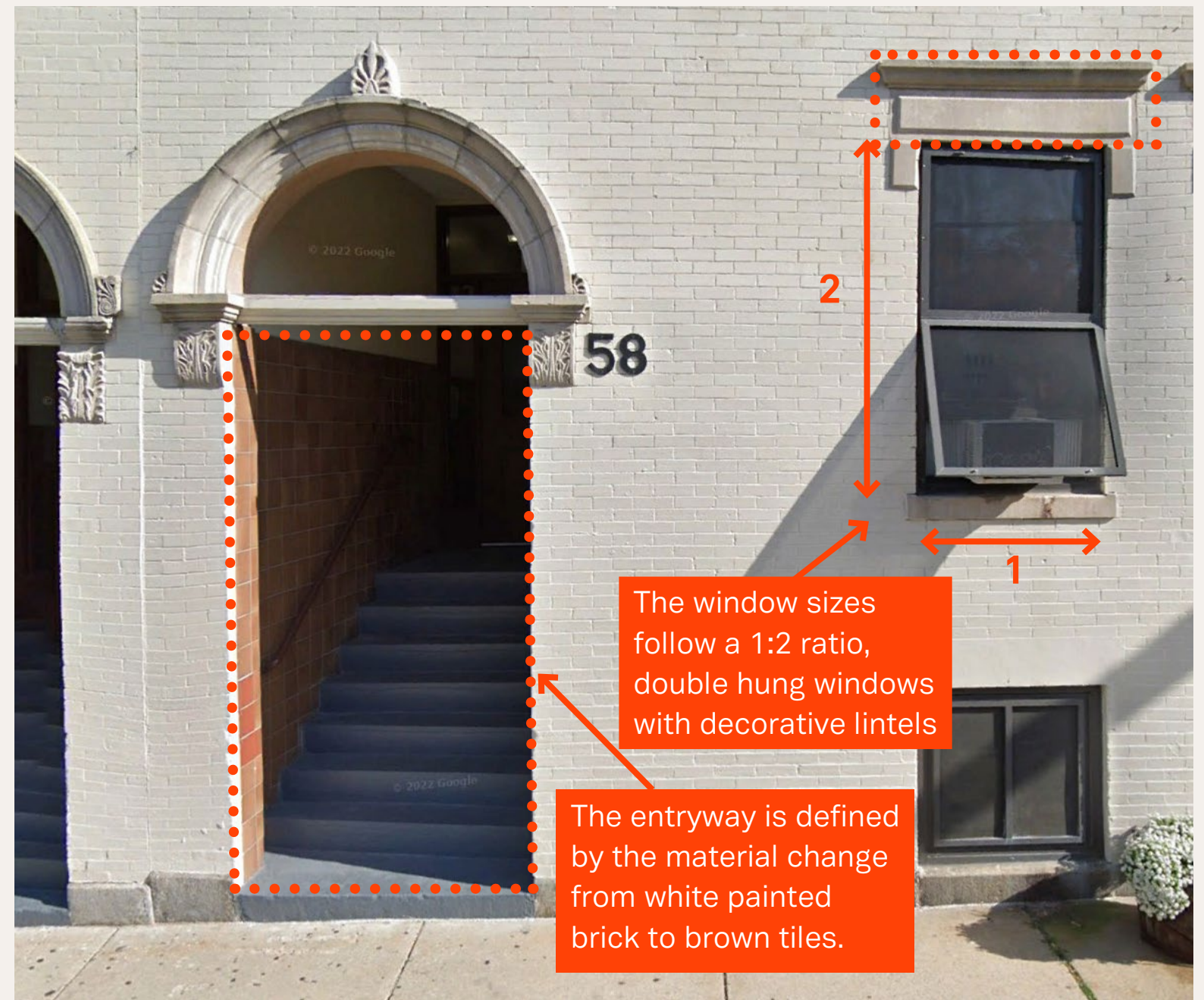
4. 67 - 77 Highland Street
(ACD Historically Significant)



1. BASE - MIDDLE - TOP & CORNICE

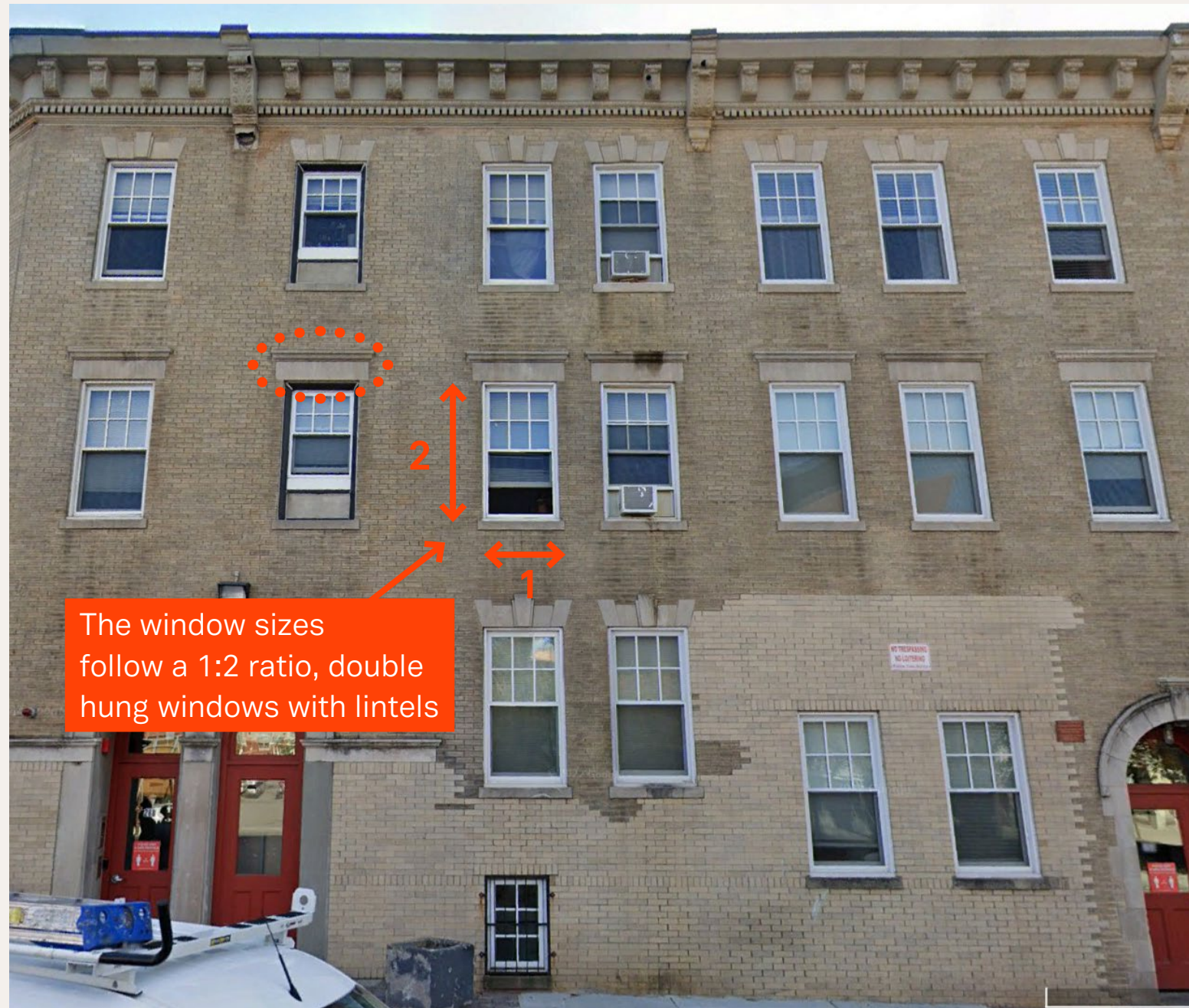


2. MATERIAL & COLOR CHANGE + WINDOWS

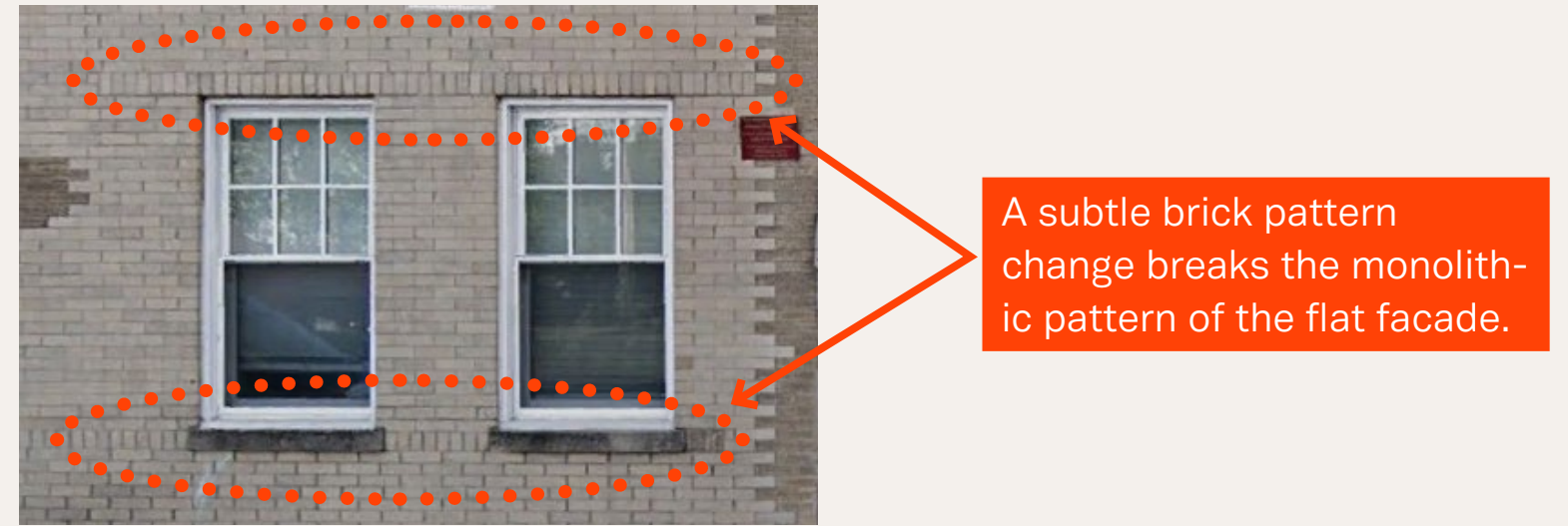


NOTE: This building is listed as architecturally significant in the HPNC study report under "3.4.4. Apartment Houses"

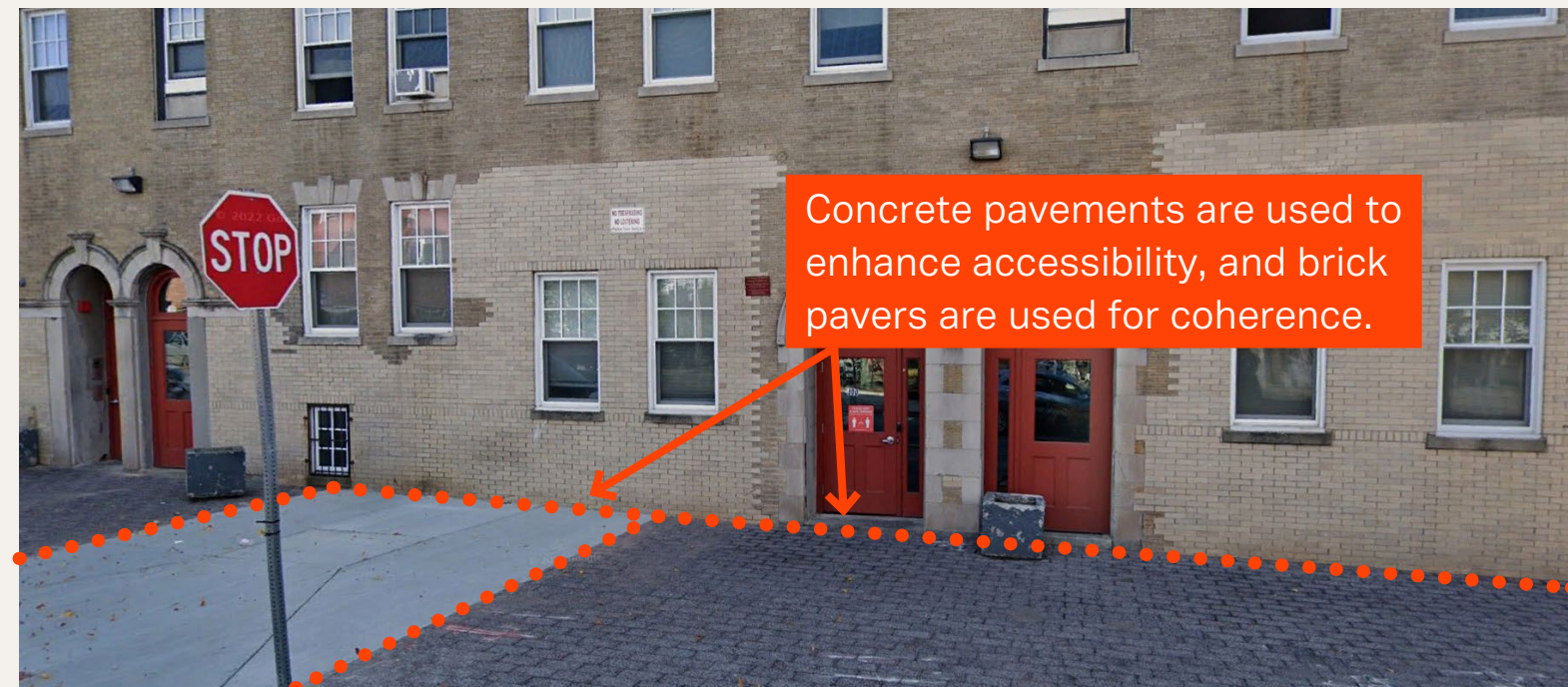
3. NEUTRAL TONE BRICK



4. BRICK PATTERN CHANGE



5. SIDEWALK PAVEMENT MATERIAL



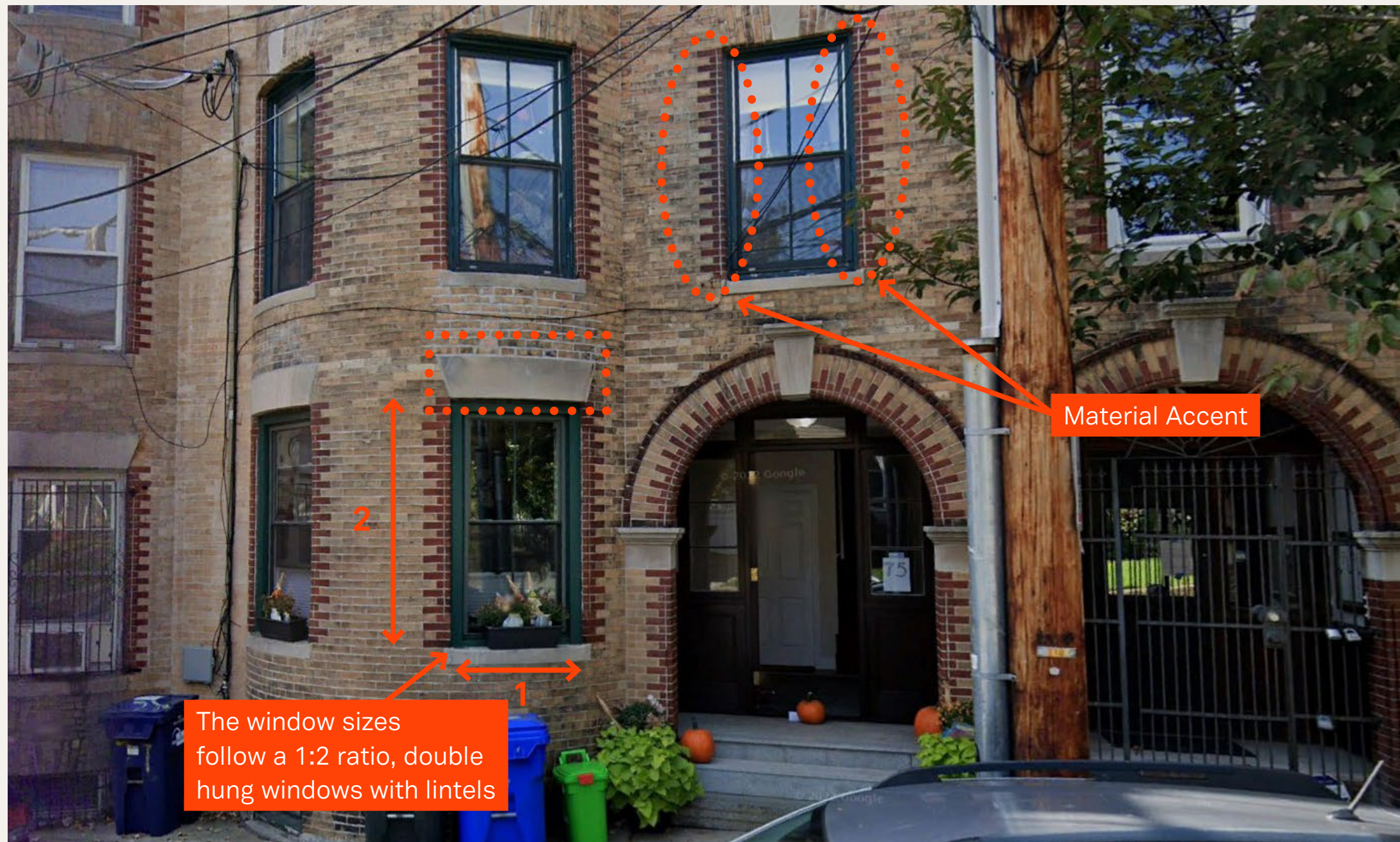
NOTE: This building is directly across the Roxbury Street, and listed as architecturally significant in the HPNC study report.

6. CORNER FACADE MATERIAL CHANGE + HORIZONTAL DIVIDERS



NOTE: This building is directly across the Roxbury Street from the project site.

7. CORNER BRICKWORK + WINDOWS



NOTE: This building is listed as architecturally significant in the HPNC study report under "3.4.4. Apartment Houses"

A. What did we learn?

- > Importance of Preserving the Active Streets
- > Bring Back the Trees
- > Strong Reading of the Base Middle and Top
- > Material Characteristic
- > Preserving the Window Characteristics

- 1 CONTEXT + HISTORY
- 2 HPACD RESEARCH FINDINGS
- 3 PROPOSAL**

TRIPLE W	1 ELMWOOD ST	28
DEVELOPMENT		—
WEST WORK		49

MEETING AGENDA




TRIPLE W	1 ELMWOOD ST	29
DEVELOPMENT		—
WEST WORK		49

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TRIPLE W
DEVELOPMENT

+



WEST WORK

+

**HEALTHY
NEIGHBORHOODS**
EQUITY FUND II LP



**A LOCAL BASED TEAM WITH
STRONG ROOTS WITHIN THE COMMUNITY**



Program

- **7 Stories + Basement**
- **35,000 SF**
- **Compact Living + Standard Size**
- **Corner Retail Space**
- **Additional Tenant Amenities**
(Bike storage, co-working, gym, flex rooms, roof deck)



Community Benefits

- **Increased Affordability**
(Proposed: 7 IDP units (18%) @ 70-100% AMI
Required: 5 IDP units (13%) @ 70% AMI)
- **Public Realm Improvement**
(Sidewalk expansion, 4 new trees, landscape, bike parking, street furniture, improved accessibility)
- **Sustainability Commitment**
(Designed to Passive-House standards, using low carbon materials such as Cross Laminated Timber (CLT))
- **Bluebikes Bike Share Contribution**



Program

- **6 Stories (1 Floor + Basement Removed)**
- **26,000 SF (Approx. 30% Reduction)**
- **Compact Living + Standard Size**
- **Corner Retail Space**
- **Additional Tenant Amenities**
(Bike storage, co-working, roof deck)



Community Benefits

- **Increased Affordability**
(Proposed: 7 IDP units (18%) @ 70-100% AMI
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(Designed to Passive-House standards, using low carbon materials such as Cross Laminated Timber (CLT))
- **Bluebikes Bike Share Contribution**



PREVIOUS PROPOSAL

7 Floors + Basement
35,000 SF

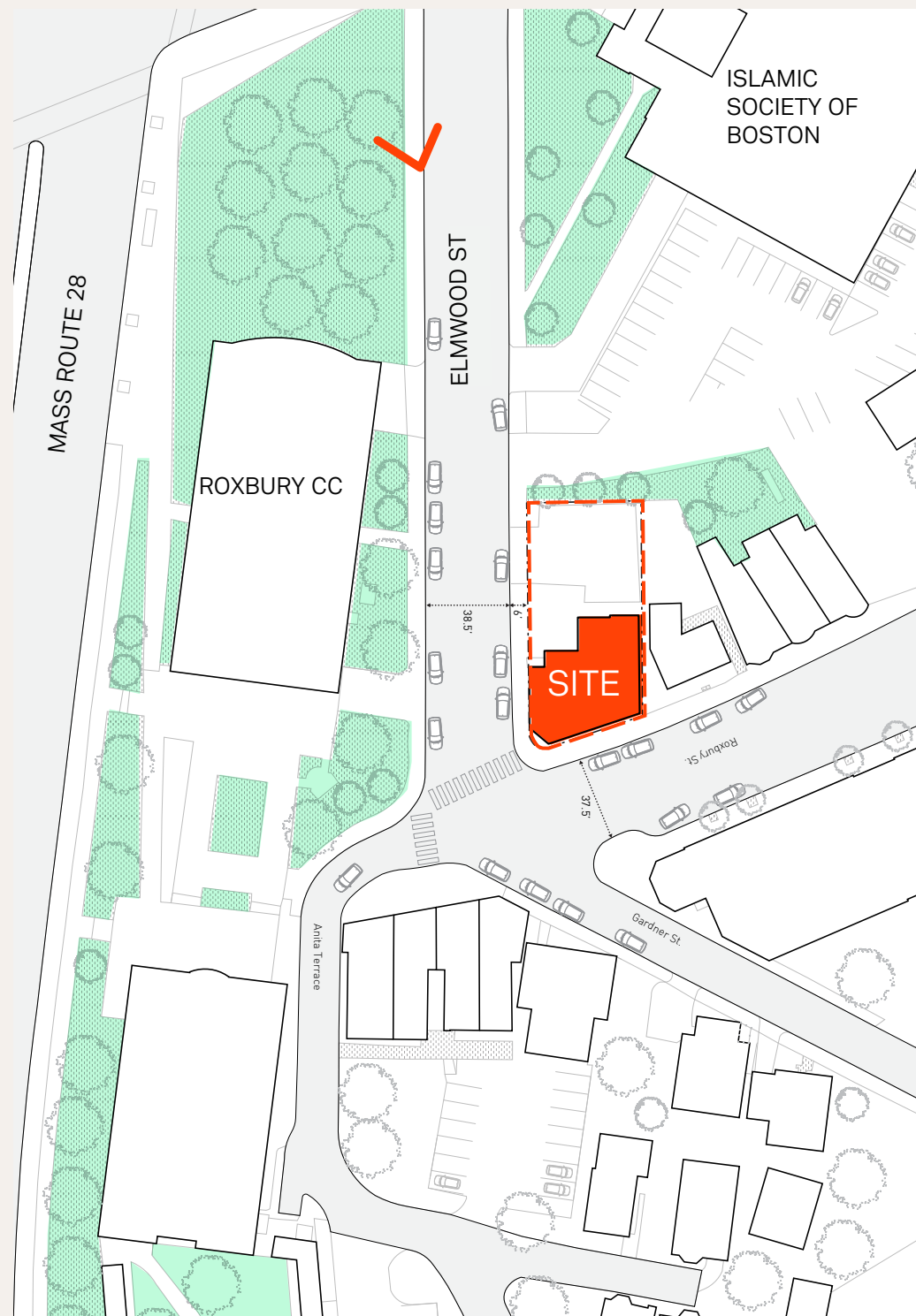
- Corner Retail Store
- Passive House
- Cross Laminated Timber
- Public Realm Improvement
- Increased Affordability (18%)
- Bluebikes Bike Share Contribution

CURRENT PROPOSAL

6 Floors (Reduced 1 Floor & Basement)
26,000 SF (Approx. 30% Reduction)

- Corner Retail Store
- Passive House
- Cross Laminated Timber
- Public Realm Improvement
- Increased Affordability (18%)
- Bluebikes Bike Share Contribution

REVISED PROPOSAL



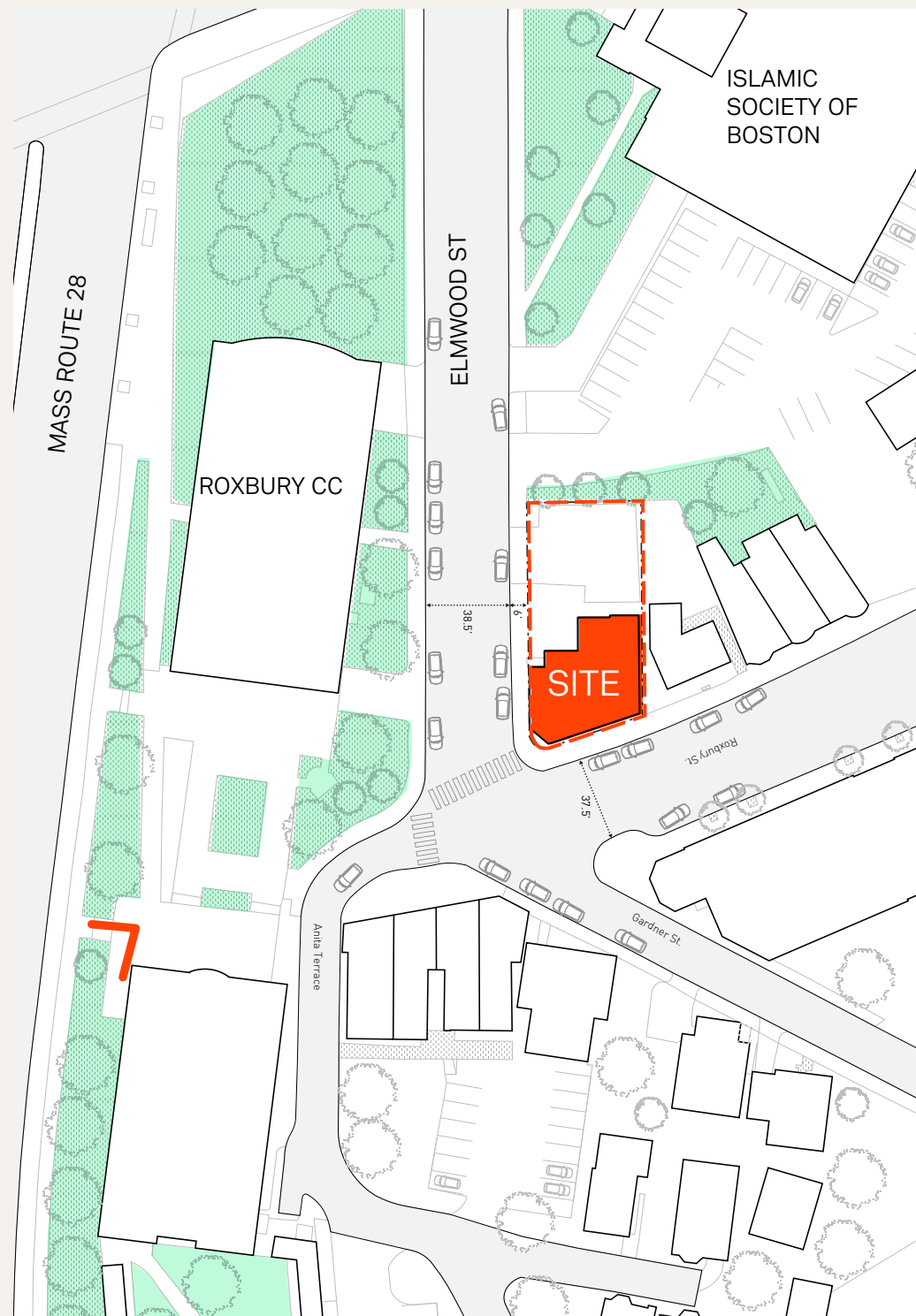
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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FROM ELMWOOD ST

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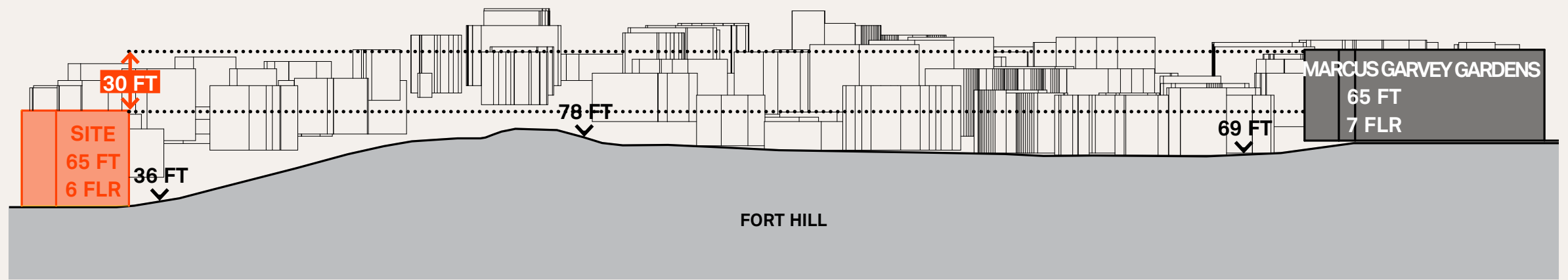
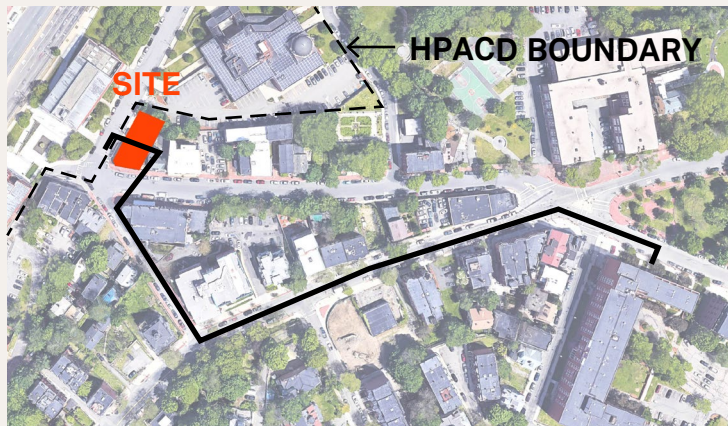
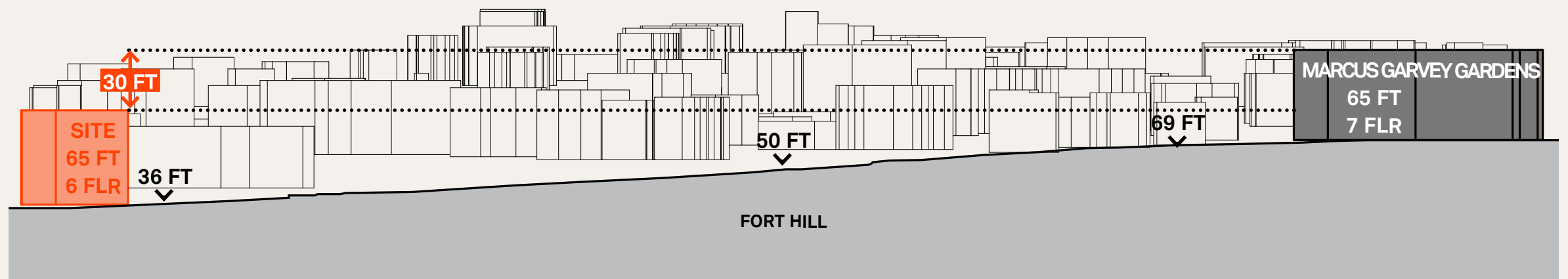
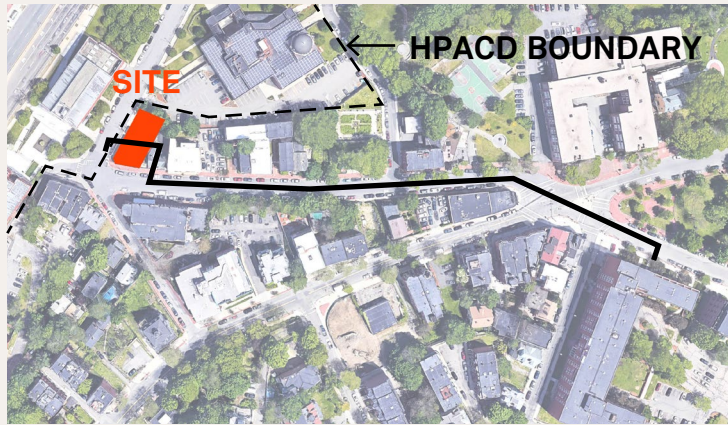
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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FROM ROXBURY COMMUNITY COLLEGE

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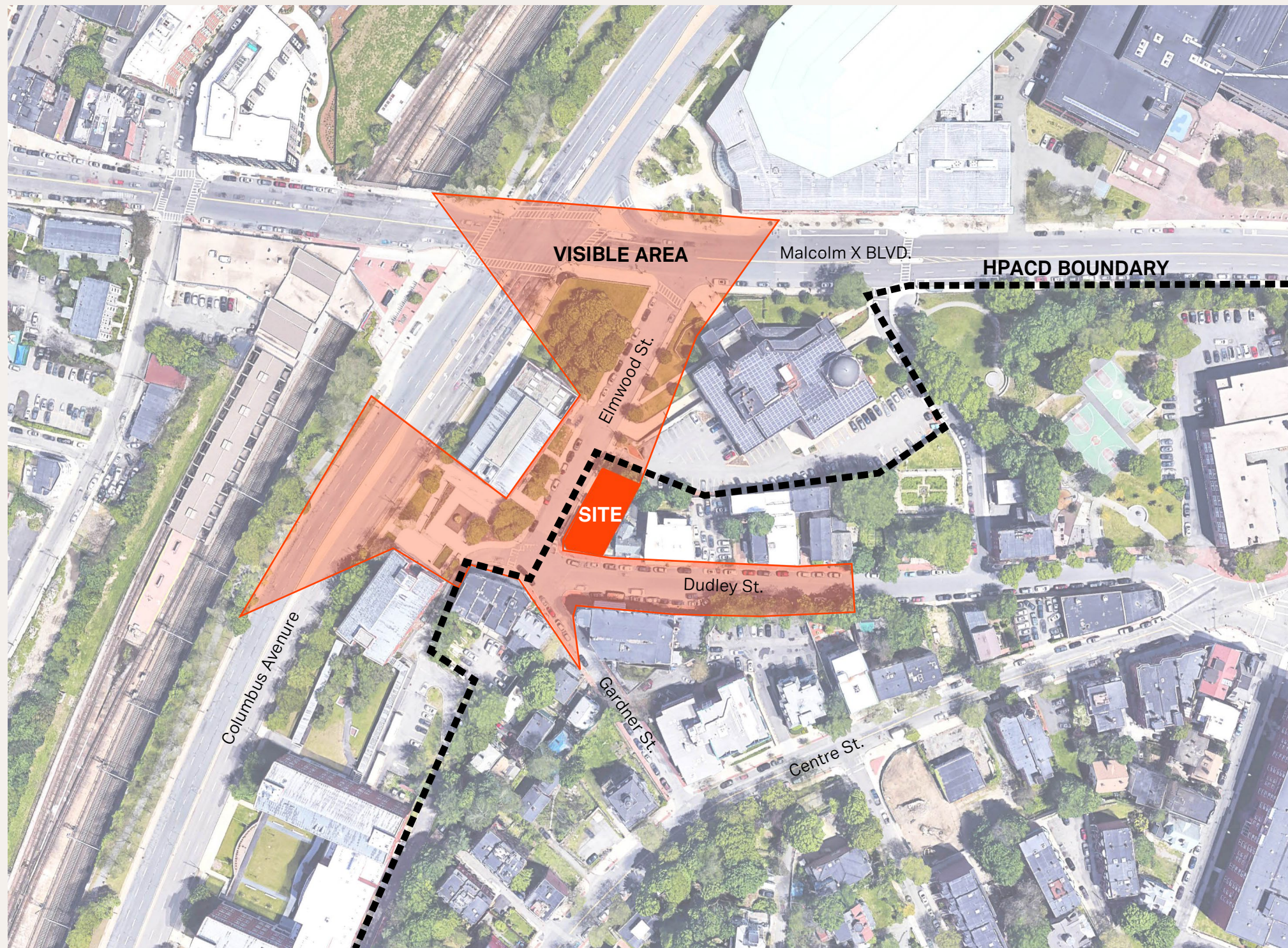
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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FORT HILL ELEVATION

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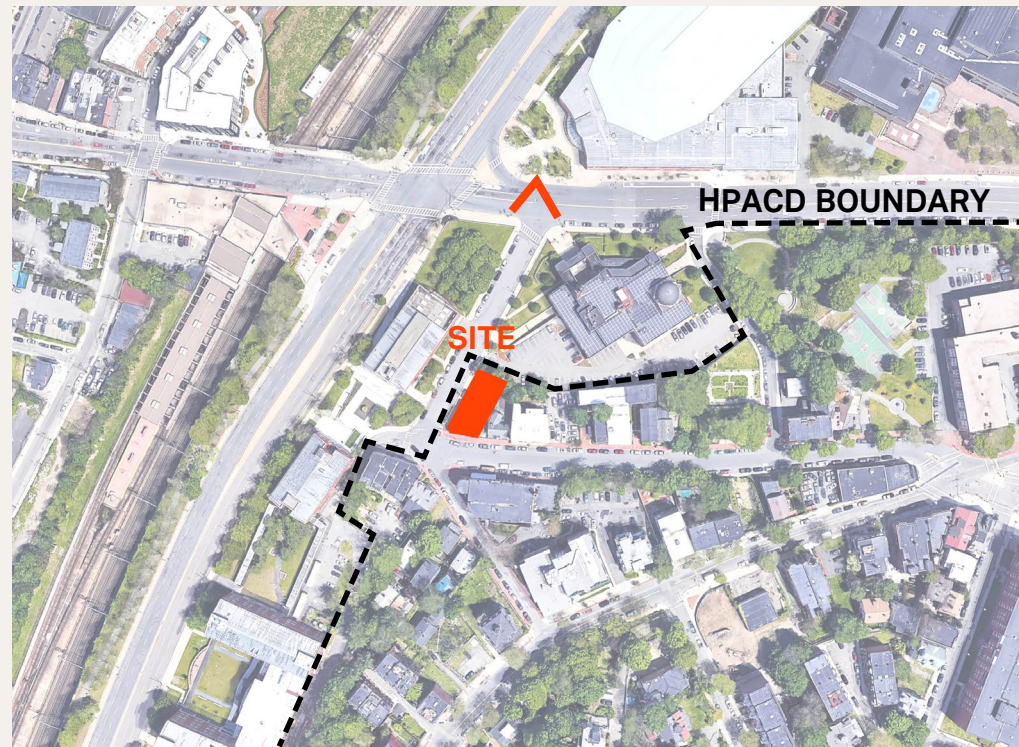
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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LIMITED VISIBILITY FROM THE HIGHLAND PARK NEIGHBORHOOD

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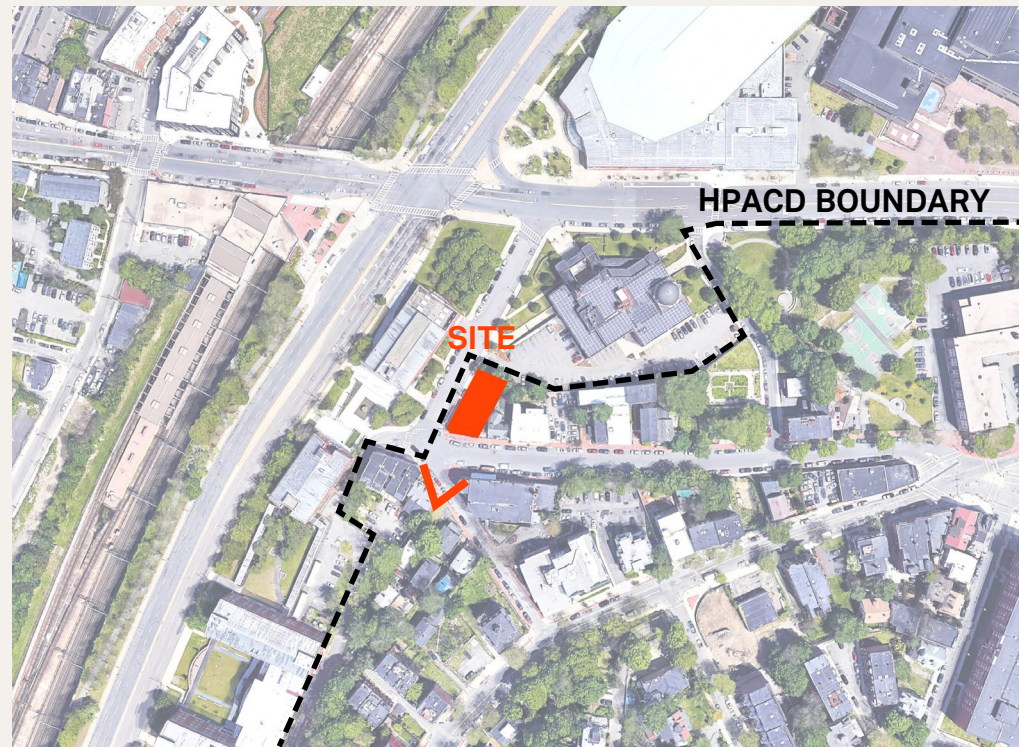
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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49

VIEW FROM MALCOLM X BLVD.

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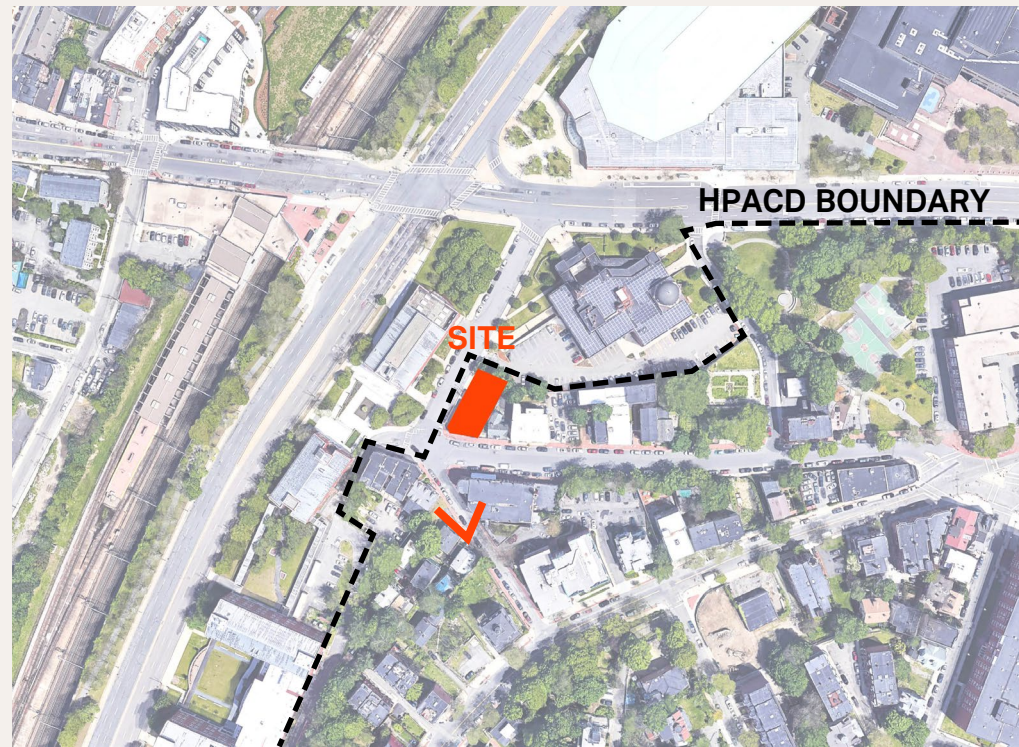
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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**VIEW FROM THE HIGHLAND PARK NEIGHBORHOOD
PHOTO TAKEN ON 8/15/2023**

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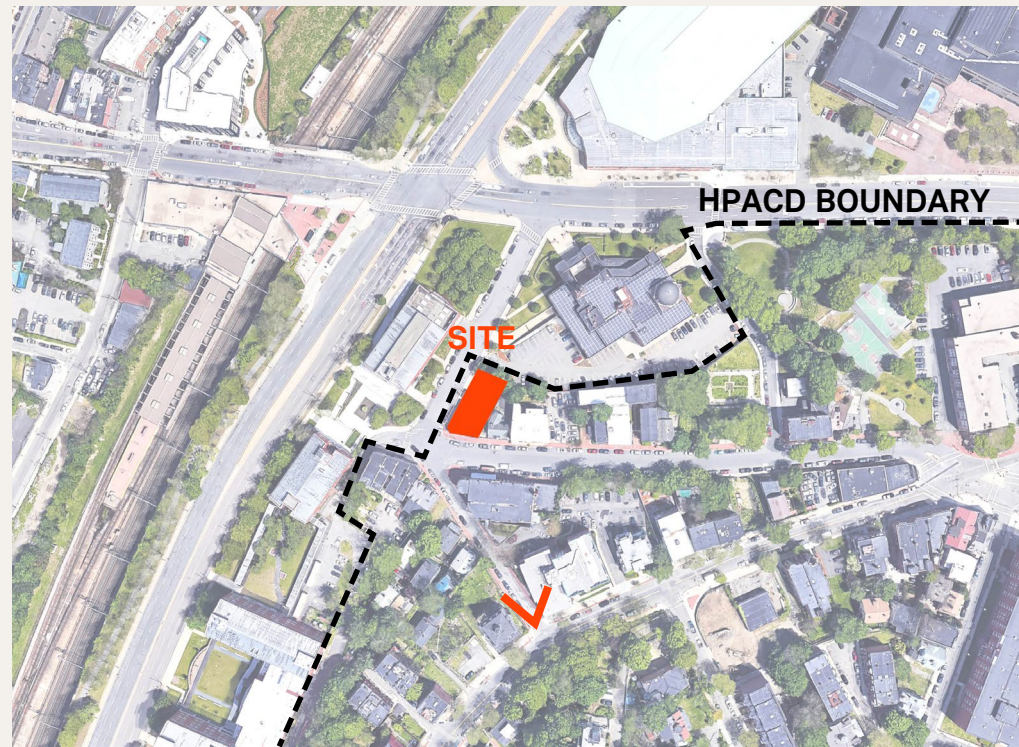
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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**VIEW FROM THE HIGHLAND PARK NEIGHBORHOOD
PHOTO TAKEN ON 8/15/2023**

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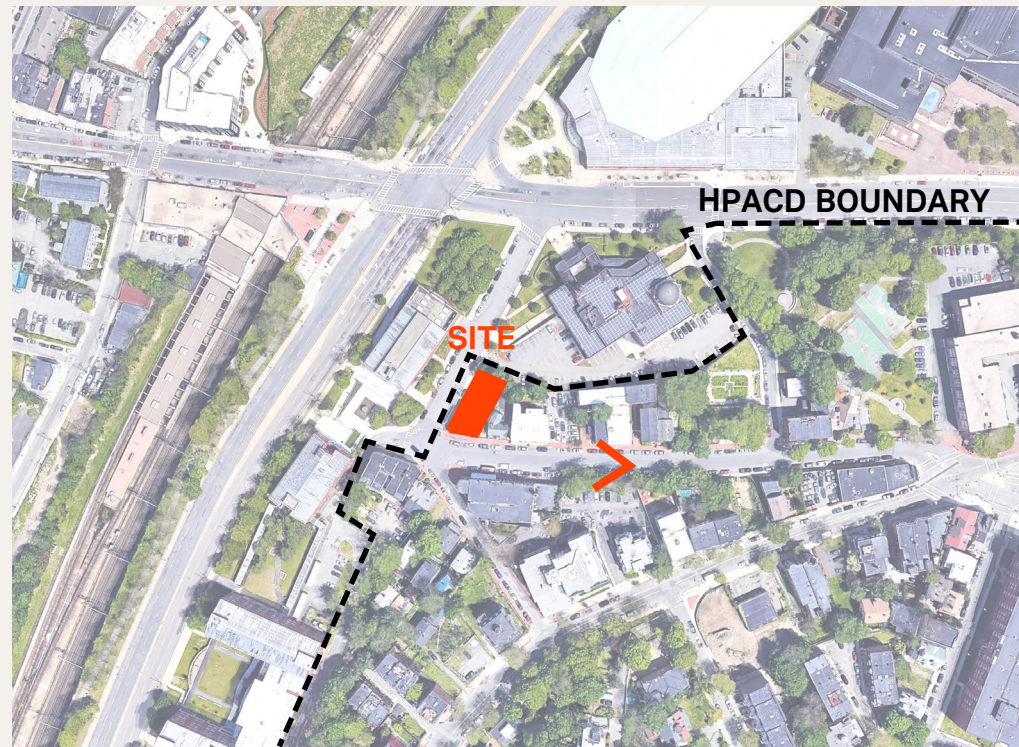
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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VIEW FROM THE HIGHLAND PARK NEIGHBORHOOD
PHOTO TAKEN ON 8/15/2023

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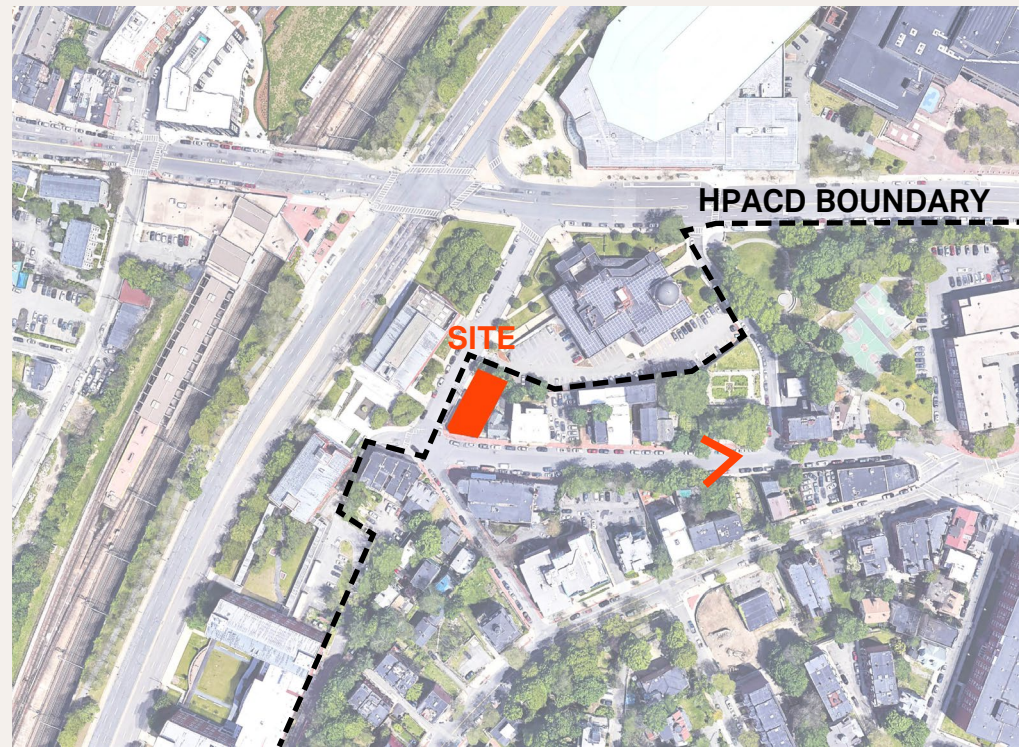
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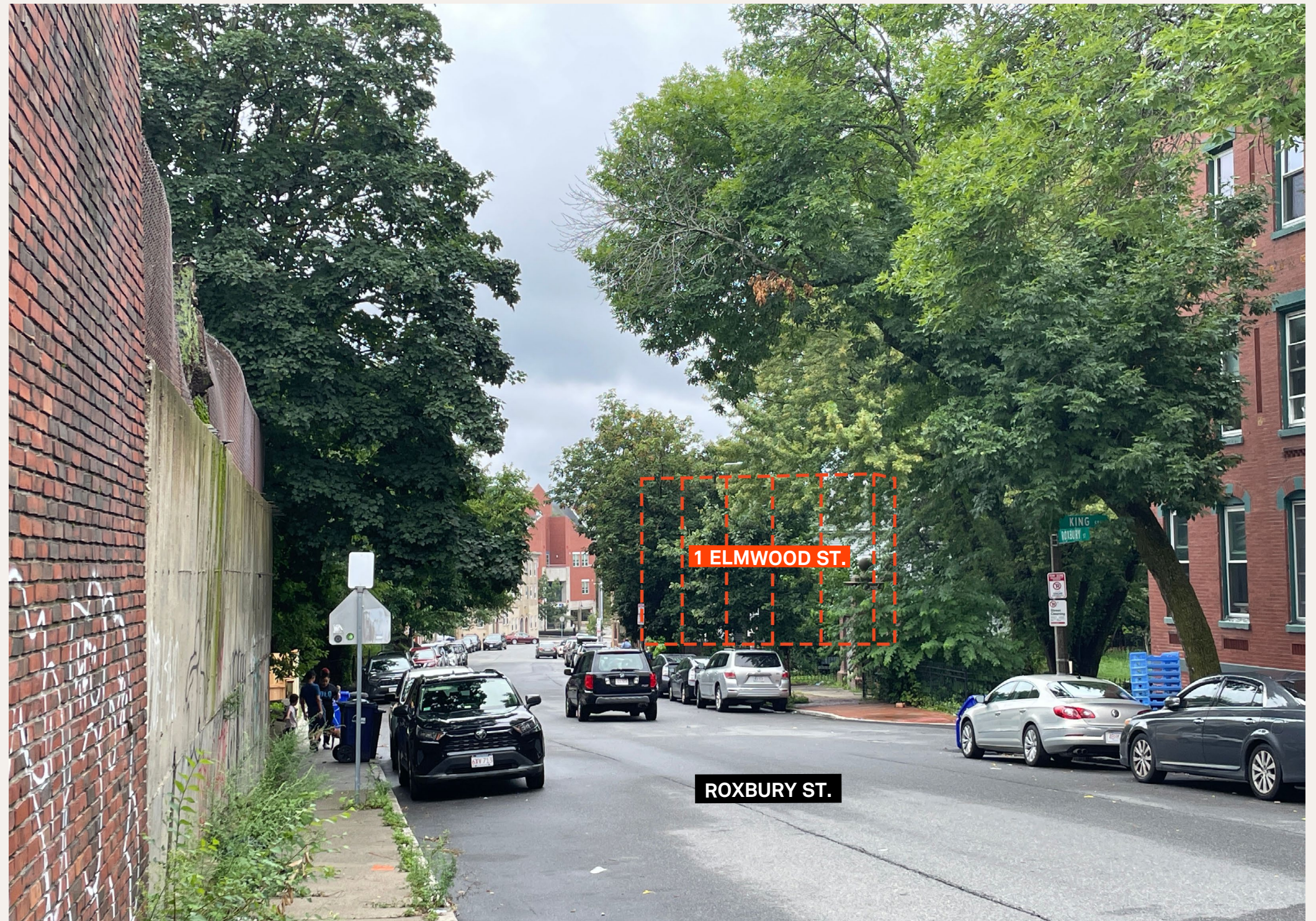
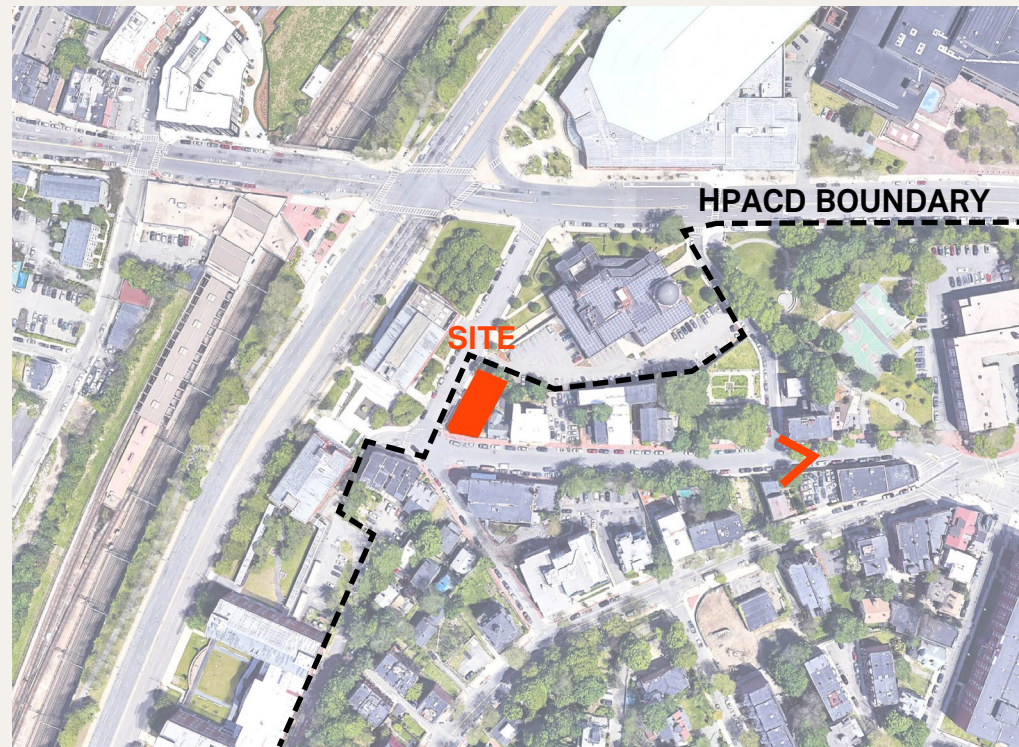
1 ELMWOOD ST

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**VIEW FROM THE HIGHLAND PARK NEIGHBORHOOD
PHOTO TAKEN ON 8/15/2023**

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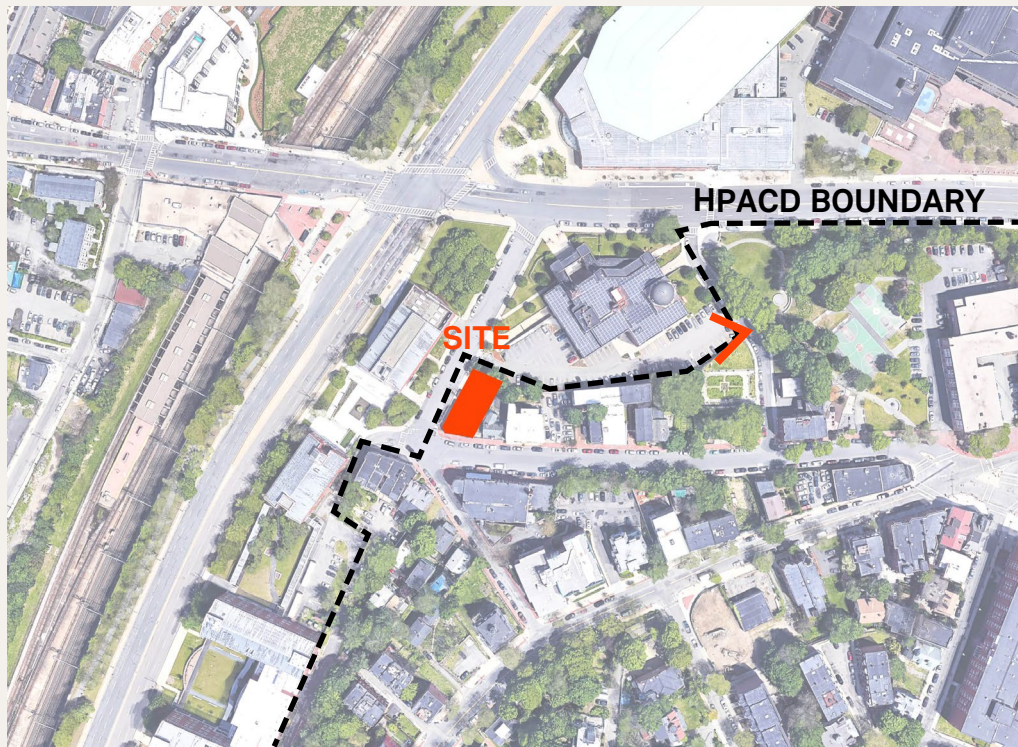
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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**VIEW FROM THE HIGHLAND PARK NEIGHBORHOOD
PHOTO TAKEN ON 8/15/2023**

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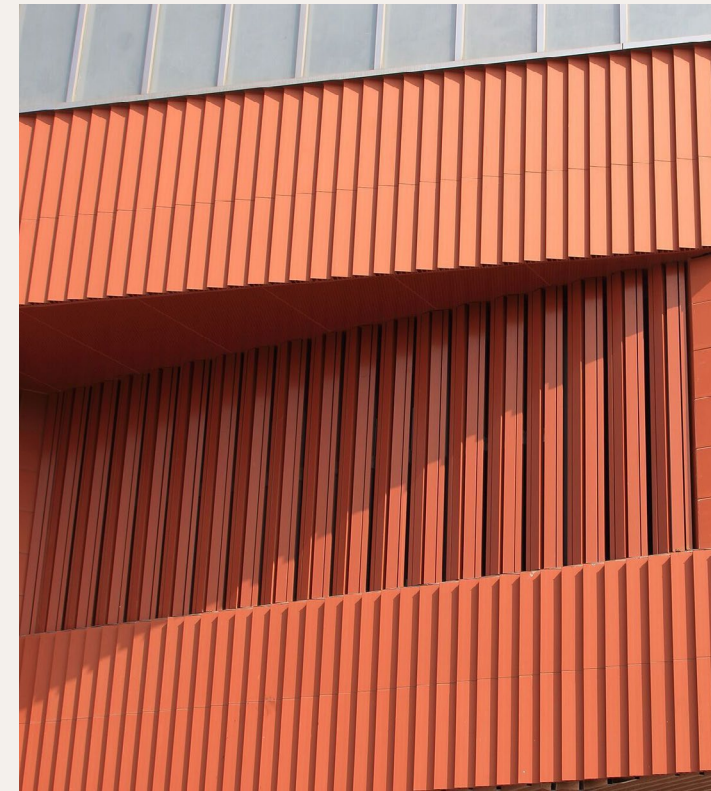
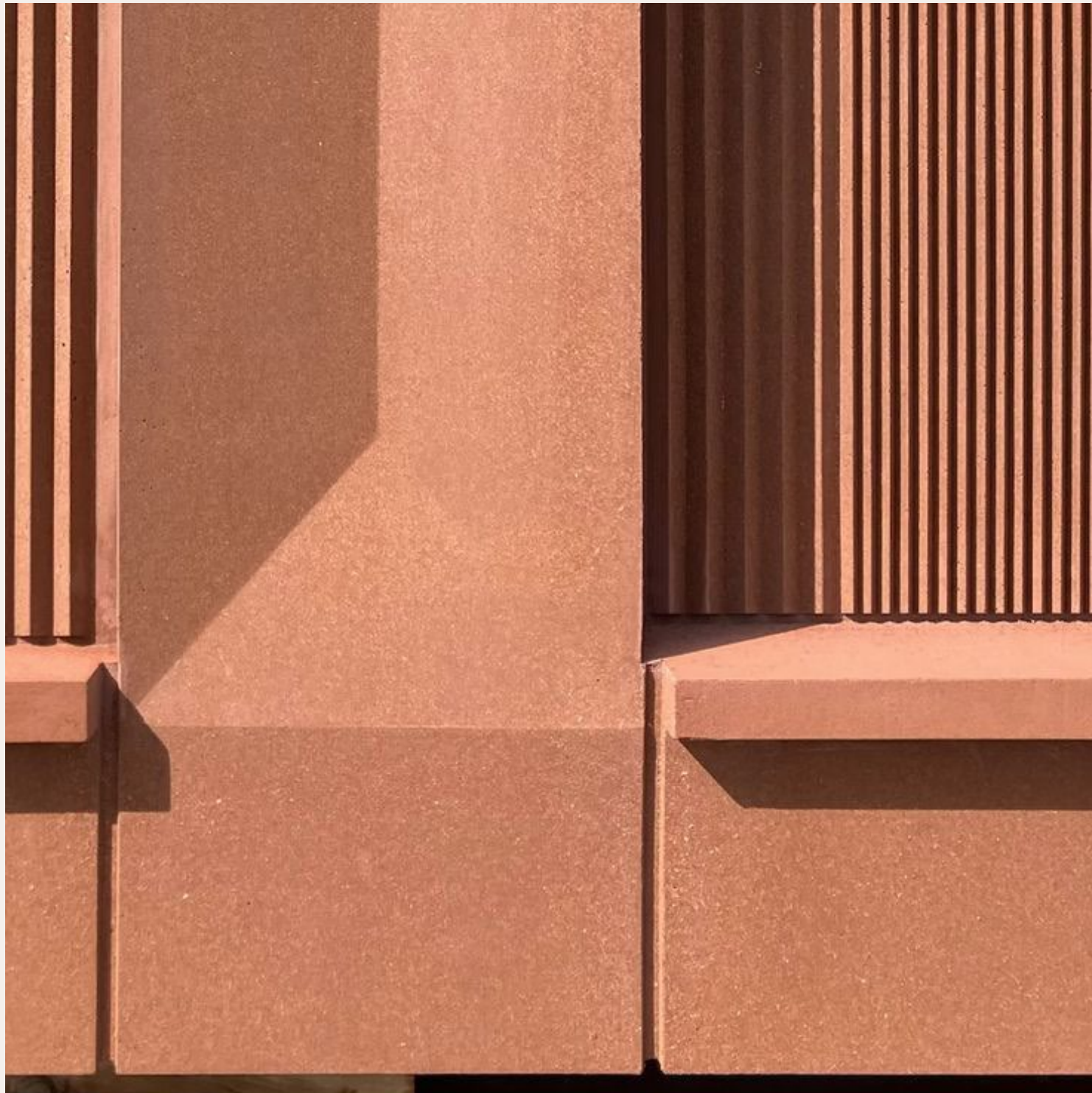
TRIPLE W
DEVELOPMENT
WEST WORK

1 ELMWOOD ST

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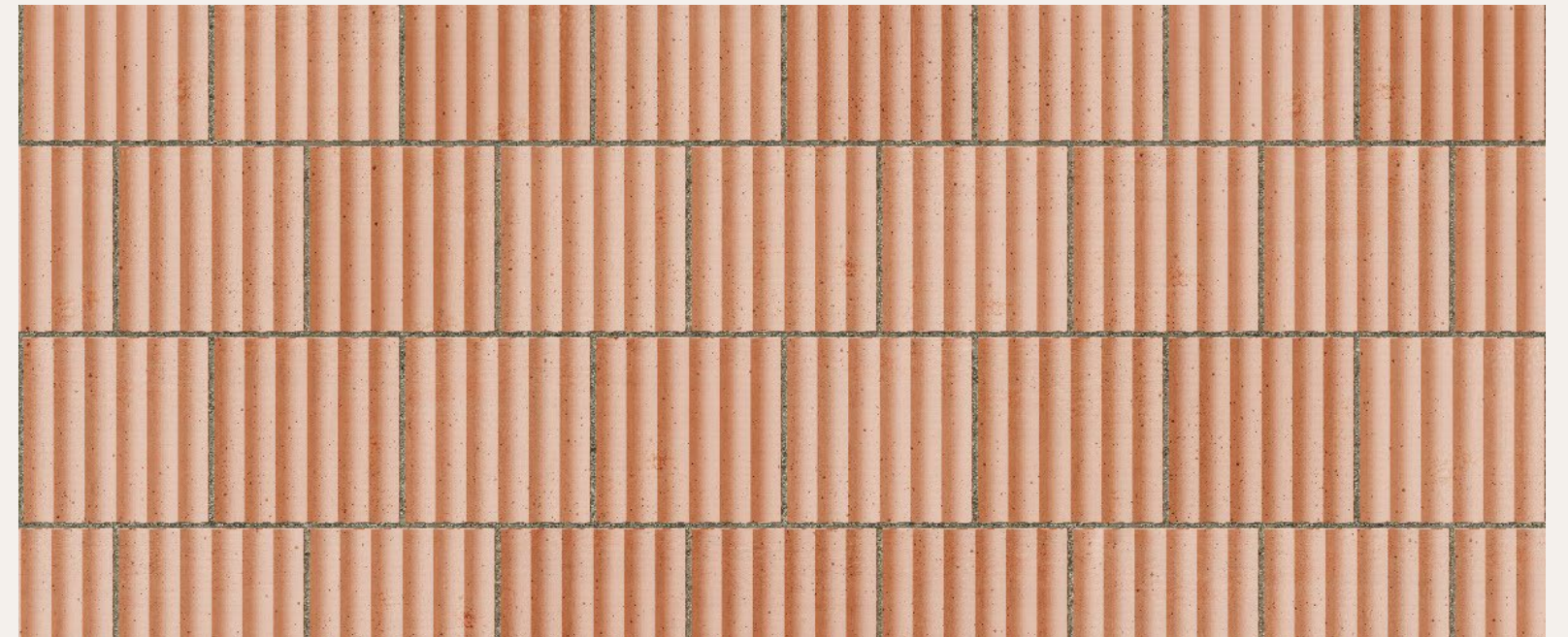
**VIEW FROM THE HIGHLAND PARK NEIGHBORHOOD
PHOTO TAKEN ON 8/15/2023**

*Please see the Disclosure Statement at the end of document



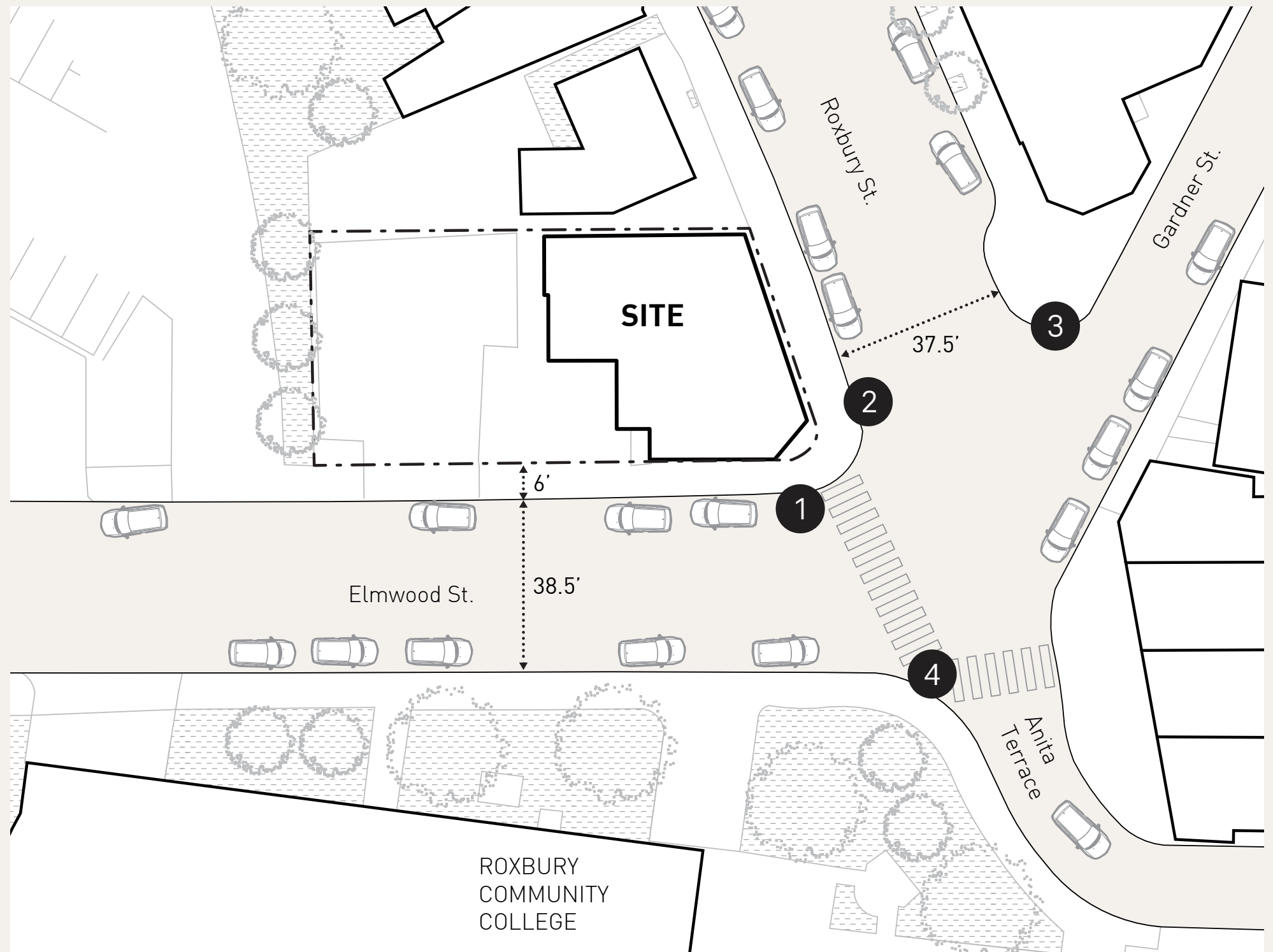
A **terracotta rainscreen system** is proposed to continue the neighborhood's strong character of stone and masonry buildings.

The material is highly sustainable. It is a natural material that has benefits of providing sufficient space for necessary insulation to meet the passive-house requirements.



Existing Conditions

The existing intersection has been redone recently. However, there is room for improved safety for cars, bikes, and pedestrians. Crosswalk locations divert pedestrians into high-traffic areas. In addition, during the winter, cars parked on Gardner Street sometimes slide down the hill and cause accidents at our corner.

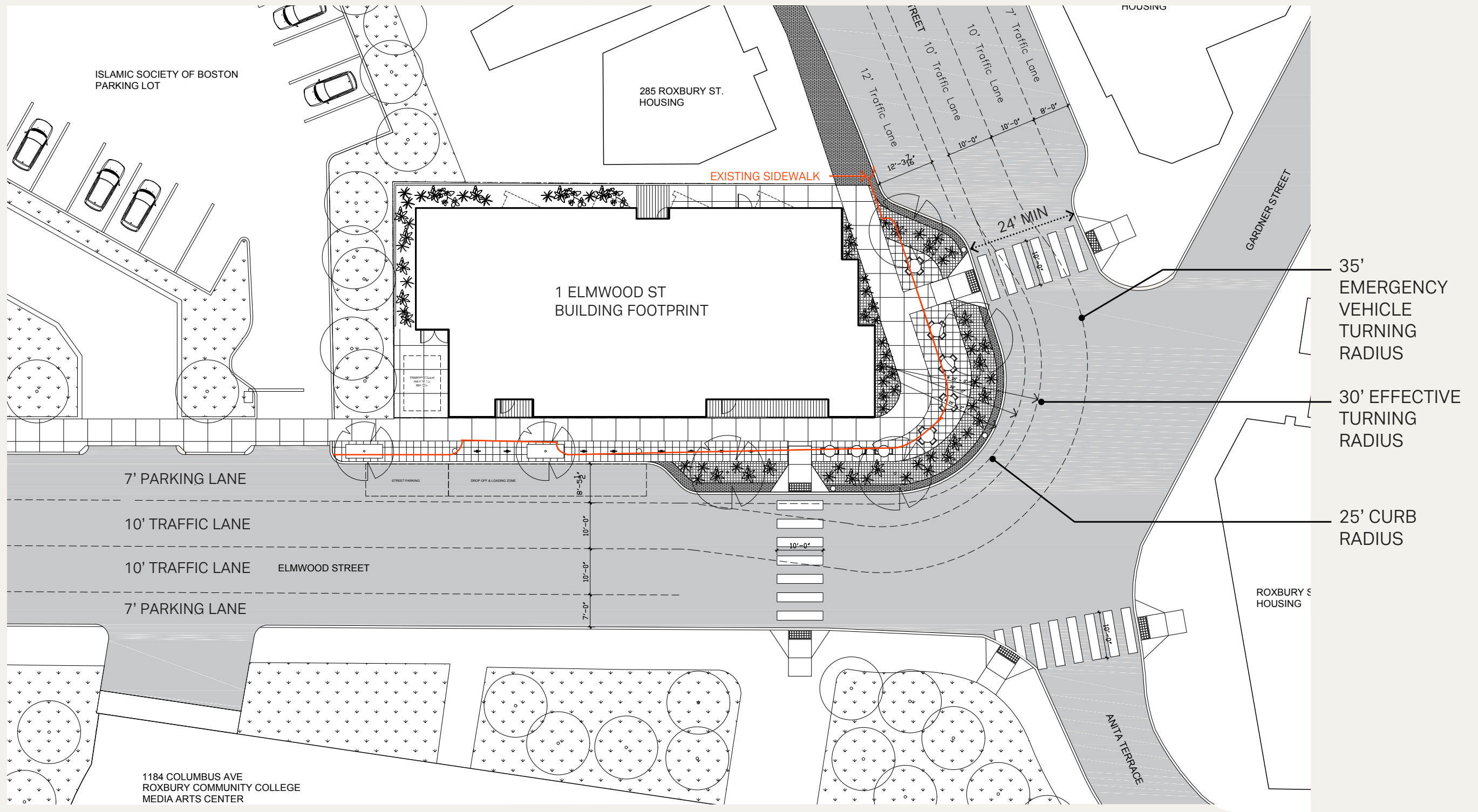


CURRENT CONDITION

Streetscape Design

Working with a PLA, we came up with a preliminary design addressing safety, accessibility, and contextual materials.

Our curb radius ensures ease of turning. The placement of street furniture protects the corner from sliding cars from Gardner St. Crosswalks are now at safer locations with proper ramps. Finally, street trees are placed for optimal setback requirements and to comply with native species guidelines.



TRIPLE W
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SIDEWALK IMPROVEMENT PROPOSAL

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TRIPLE W
DEVELOPMENT
WEST WORK

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**REVISED PLAN
(11/28/2022)**

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Paving Strategy

Examples of pavement combinations to both ensure accessibility and incorporate contextual references.



Understory Plants

- > Native Species
- > Drought tolerant
- > Pollinators



Hackberry (Celtis Occidentalis)

- > Private Property: Yes
- > Street Trees: Yes
- > Reforestration: Yes (Species, not cultivars)

Based on Boston 2022 Urban Forest Plan



Sugar Maple (Acer Saccharum)

- > Private Property: Yes
- > Street Trees: Yes
- > Reforestration: Yes (Species, not cultivars)

Based on Boston 2022 Urban Forest Plan