

# Albany Street Residences

615 Albany Street, Boston, MA 02118

## CODE ANALYSIS:

- APPLICABLE CODES:  
BUILDING CODE :  
IBC 2015 (780 CMR)  
IEBC 2015  
IECC 2018  
IFC 2015 (527 CMR)  
8TH EDITION AMENDMENTS
  - ZONING DISTRICT - IS (INSTITUTIONAL)  
SETBACKS:  
FRONT: ALLOWED: 0.0' EXISTING CONFORMITY: 0.0' PROPOSED CONFORMITY: NO CHANGE  
RIGHT: 0.0' 0.0' NO CHANGE  
LEFT: 0.0' 0.0' NO CHANGE  
REAR: 20' 20' NO CHANGE  
HEIGHT: 120' -73'-6' 78'-10'
  - USABLE OPEN SPACE REQUIREMENTS: 200 SF PER UNIT  
TOTAL REQUIRED: 4,800SF  
PROPOSED: 6315SF  
GROUND LEVEL: 334SF  
ROOF DECK (25% OF TOTAL 1,188SF): 297SF
  - CHAPTER 2 - DEFINITIONS  
HIGH RISE BUILDING: A BUILDING WITH AN OCCUPIED FLOOR MORE THAN 75' ABOVE THE LOWEST LEVEL OF FIRE DEPT VEHICLE ACCESS. THE HIGHEST OCCUPIED FLOOR AT 615 ALBANY ST IS 69'-0".
  - CHAPTER 3 - USE GROUP CLASSIFICATION :  
SECTION 310.0 - R2
  - CHAPTER 5 - BUILDING HEIGHT  
TABLE 504.3 - MAX HGT = 85' (TYPE 2A SPRINKLED)  
TABLE 504.4 - MAX STORIES = 5 (TYPE 2A SPRINKLED)  
TABLE 508.2 - MAX FLOOR AREA = 72,000 GSF (TYPE 2A SPRINKLED)
  - CHAPTER 6 - CONSTRUCTION CLASSIFICATION  
TABLE 601 - FLOOR SEPERATION - 1HR  
SECTION 602.2 - TYPE 2A CONSTRUCTION
  - CHAPTER 7 - FIRE PARTITIONS  
SECTION 708.3 - UNIT SEPERATION: 1 HOUR MIN  
SECTION 711.2.4.3 - FLOOR SEPARATION: 1 HOUR MIN
  - CHAPTER 10 - MEANS OF EGRESS:  
TABLE 1006.3.(1) - TWO EXITS OR EXIT ACCESS REQUIRED
- 521 CMR MAAB**  
9.4 MULTIPLE DEWLLINGS THAT CONATIN 20 OR MOR UNITS A MINIMUM 5% SHALL BE GROUP 2A.  
615 ALBANY STREET RESIDENCES: 29 UNITS = 1.45 GROUP 2A UNITS REQUIRED.  
TWO GROUP 2A UNITS ARE PROPOSED.  
UNIT #8 AND UNIT #12 COMPLY WITH:  
9.5 DWELLING UNIT INTERIORS  
44.00 BATHROOMS  
45.00 KITCHENS  
47.00 BEDROOMS

## SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- Room name
- ROOM TAG
- SHEET #
- ELEVATION TAG
- VIEW #
- VIEW #
- SECTION TAG
- 1HR RATED PARTITION (UL DESIGN U309)
- EGRESS LIGHTING
- EXIT SIGNAGE
- EGRESS PATH
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

## DRAWING LIST

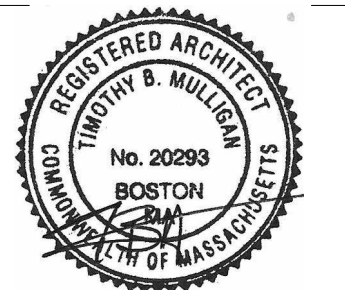
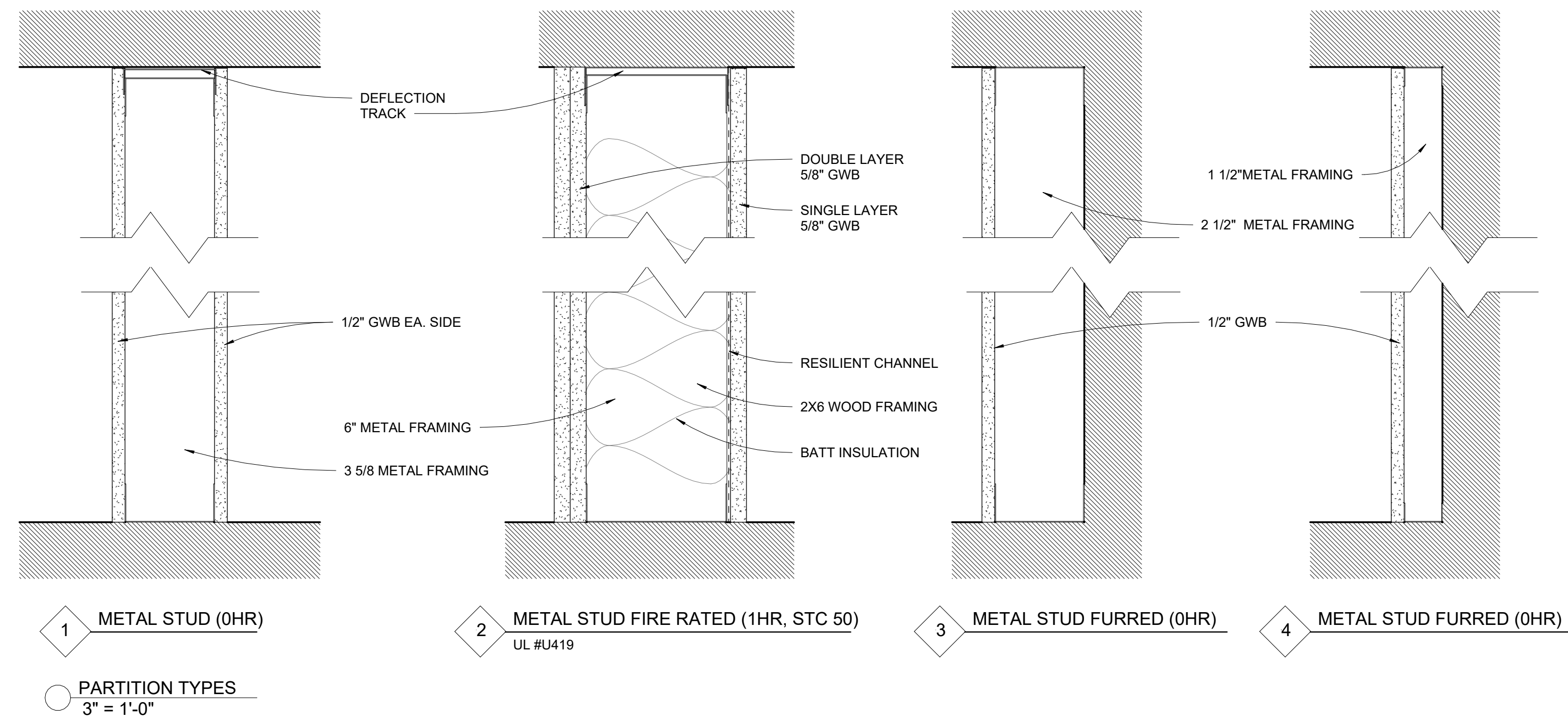
SHEET #	SHEET NAME
A000	TITLE SHEET
A100	DEMO BASEMENT & 1ST FLOOR PLANS
A101	DEMO 2ND & 3RD FLOOR PLANS
A102	DEMO 4TH & 5TH FLOOR PLANS
A103	BASEMENT & 1ST FLOOR PLANS
A104	2ND & 3RD FLOOR PLANS
A105	4TH & 5TH FLOOR PLANS
A106	HEAD HOUSE & ROOF PLAN
A107	SITE PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A202	EXISTING ELEVATIONS
A203	EXISTING ELEVATIONS
A204	PREVIOUS RAMP OPTION
A210	STREET ELEVATIONS
A213	SIDING INFO

## GENERAL NOTES:

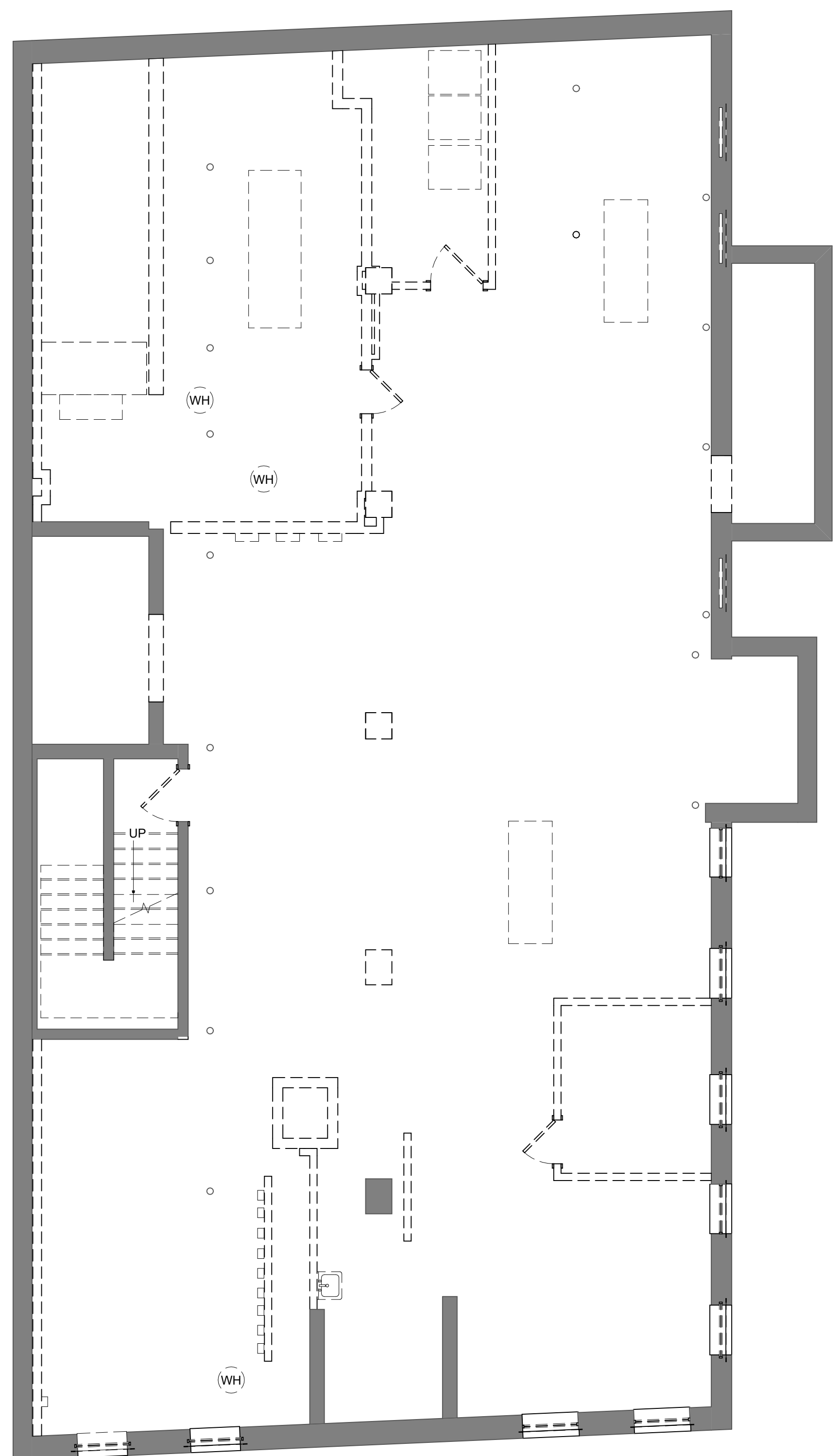
- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILINGS (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL.
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

## ABBREVIATIONS:

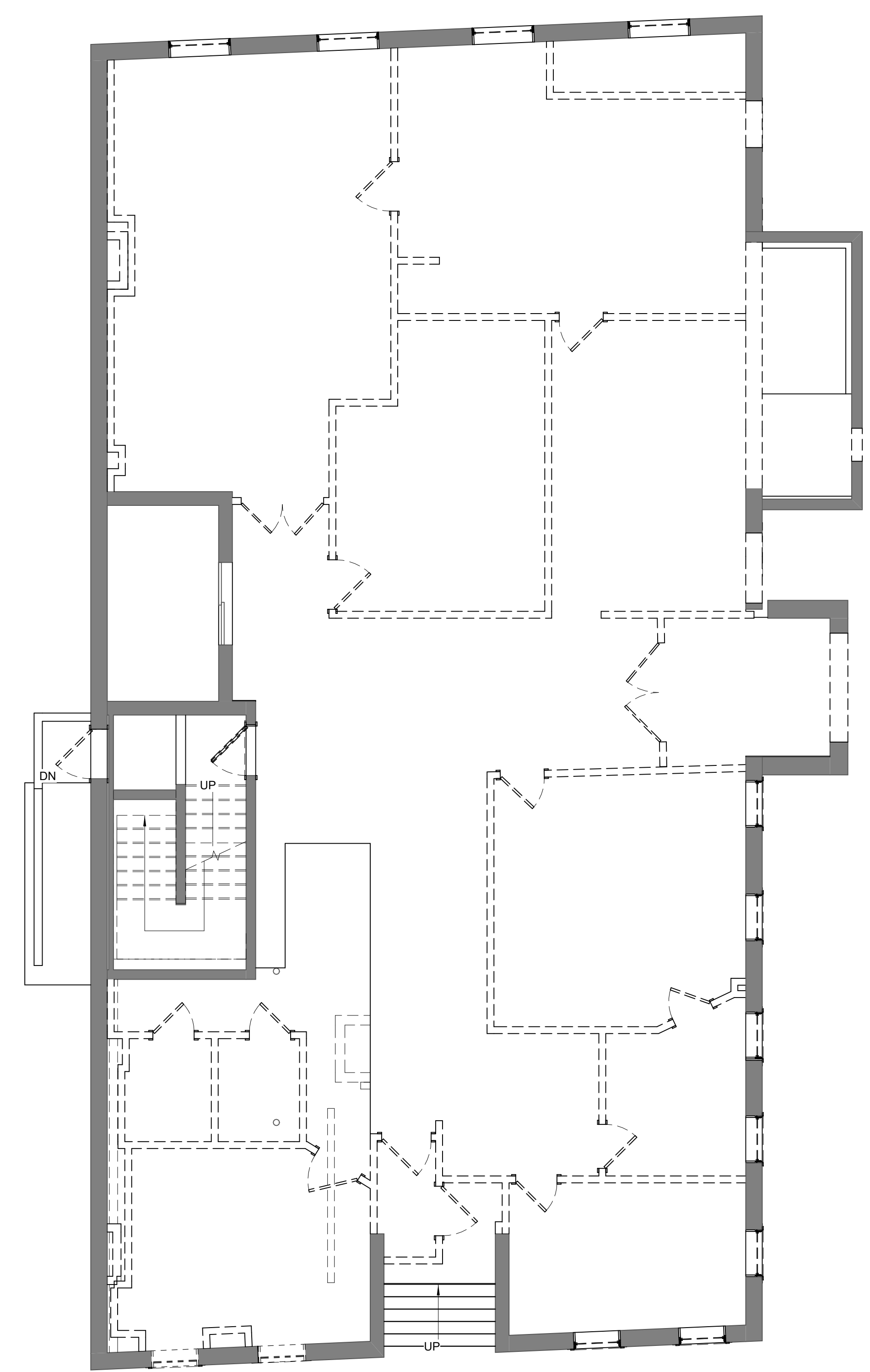
ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MECH	MECHANICAL
AWS	AMERICAN WELDING SOCIETY	MEMB	MEMBRANE
AB	ANCHOR BOLT	MEP	MECHANICAL EQUIPMENT PAD
& OR	AND	MID	MIDDLE
APPROX	APPROXIMATELY	MID-PT	MID-POINT
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
@	AT	MR	MOISTURE RESISTANT
BAL	BALANCE	NFPA	NATIONAL FOREST PRODUCTS ASSOCIATION
BETW	BETWEEN	NOM	NOMINAL
BM	BEAM	NWC	NORMAL WEIGHT CONCRETE
BRG	BEARING	N	NORTH
BLK	BLOCK	NIC	NOT IN CONTRACT
B OR BOT	BOTTOM	NTS	NOT TO SCALE
BEW	BOTTOM EACH WAY	NO OR #	NUMBER
BRKT	BRACKET	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
CIP	CAST-IN-PLACE	OPP	OPPOSITE
CTRD	CENTERED	OD	OUTSIDE DIAMETER
CL	CENTERLINE	OF	OUTSIDE FACE
CLR	CLEAR	P.T.	PRESSURE TREATED
COL	COLUMN	POINT	POINT
CONC	CONCRETE	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	PTB	POST-TENSIONED BAR
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONSTJ OR J	CONSTRUCTION JOINT	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CJ	CONTROL JOINT	P/C	PRECAST CONCRETE
DET	DETAIL	R	RADIUS
DIA OR Ø	DIAMETER	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
DN	DOWN	REQD	REQUIRED
DWG	DRAWING	RD	ROOF DRAIN
EA	EACH	Ⓢ	SEALANT
ELECT	ELECTRICAL	SCH OR SCHED	SCHEDULE
EL OR ⊕	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SH	SHEET
EMBED	EMBEDMENT	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	S	SOUTH
EXIST	EXISTING	SPECS	SPECIFICATIONS
EXP BOLT	EXPANSION BOLT	SPKR	SPRINKLER
EJ OR EXP JT	EXPANSION JOINT	SQ	SQUARE
EXT	EXTERIOR	STN STL	STAINLESS STEEL
FF	FINISH FACE	STD	STANDARD
FT	FEET OR FOOT	STL	STEEL
FIN	FINISH	ST STL	STAINLESS STEEL
FIN FL	FINISHED FLOOR	STRUCT	STRUCTURAL
FPRF	FIREPROOF	SYM	SYMMETRICAL
FL	FLOOR	TEMP	TEMPERATURE OR TEMPORARY
FD	FLOOR DRAIN	THK	THICK OR THICKNESS
FTG	FOOTING	x	TIMES OR BY
FDN	FOUNDATION	TO	TOP OF
GA	GAGE OR GAUGE	T & B	TOP AND BOTTOM
GALV	GALVANIZED	TOC	TOP OF CURB or CONCRETE
GWB or GYP	GYPSUM WALL BOARD	TOS	TOP OF STEEL
HGT	HEIGHT	TOW	TOP OF WALL
H OR HORIZ	HORIZONTAL	TYP	TYPICAL
HDR	HEADER	U.N.O.	UNLESS NOTED OTHERWISE
INFO	INFORMATION	V OR VERT	VERTICAL
INCL	INCLUDING OR INCLUSIVE	VIF	VERIFY IN FIELD
ID	INSIDE DIAMETER	W	WEST
IF	INSIDE FACE	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INV	INVERT	WP	WORKING POINT
JT	JOINT		
LWC	LIGHT WEIGHT CONCRETE		
LBS	POUNDS		



PLANET/DOCUMENT/DESIGN/3/16/2024/12:15 PM



1 DEMO - BASEMENT  
3/16" = 1'-0"



2 DEMO - 1ST FLOOR  
3/16" = 1'-0"

DEMO/NOTES:

1. ALL EXISTING CEILING, FLOOR AND WALL FINISHES TO BE REMOVED AND EXISTING FRAMING EXPOSED.
2. ALL EXISTING DOORS AND WINDOWS TO BE REMOVED
3. ALL EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED
4. ALL EXISTING ELECTRICAL WIRING AND FIXTURES TO BE REMOVED
5. ALL EXISTING EXTERIOR MASONRY VENEER TO REMAIN AND REPAIRED AS REQUIRED.
6. EXISTING INTERIOR FRAMING TO BE REMOVED AS INDICATED.
7. ALL STRUCTURAL ELEMENTS TO REMAIN.

SYMBOL LEGEND

	EXISTING WALL		SHEET #
	PROPOSED WALL		ELEVATION TAG
	EXISTING WALL TO BE REMOVED		VIEW #
	1HR RATED PARTITION (UL DESIGN U305)		VIEW #
	EXISTING DOOR		SECTION TAG
	PROPOSED DOOR		SHEET #
	EXISTING DOOR TO BE REMOVED		EGRESS LIGHTING
			EXIT SIGNAGE
			EGRESS PATH
			COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
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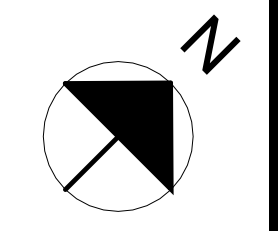
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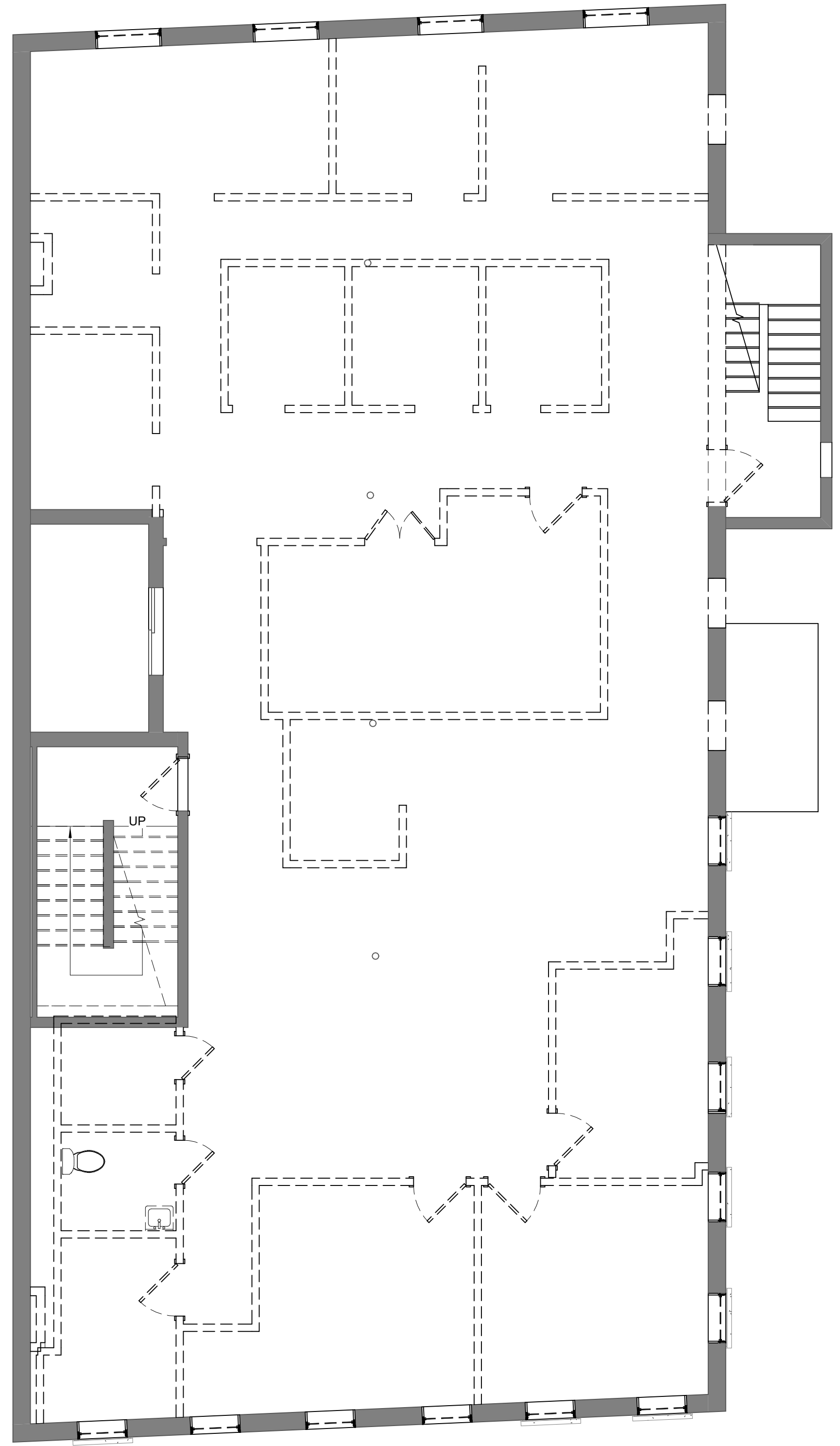
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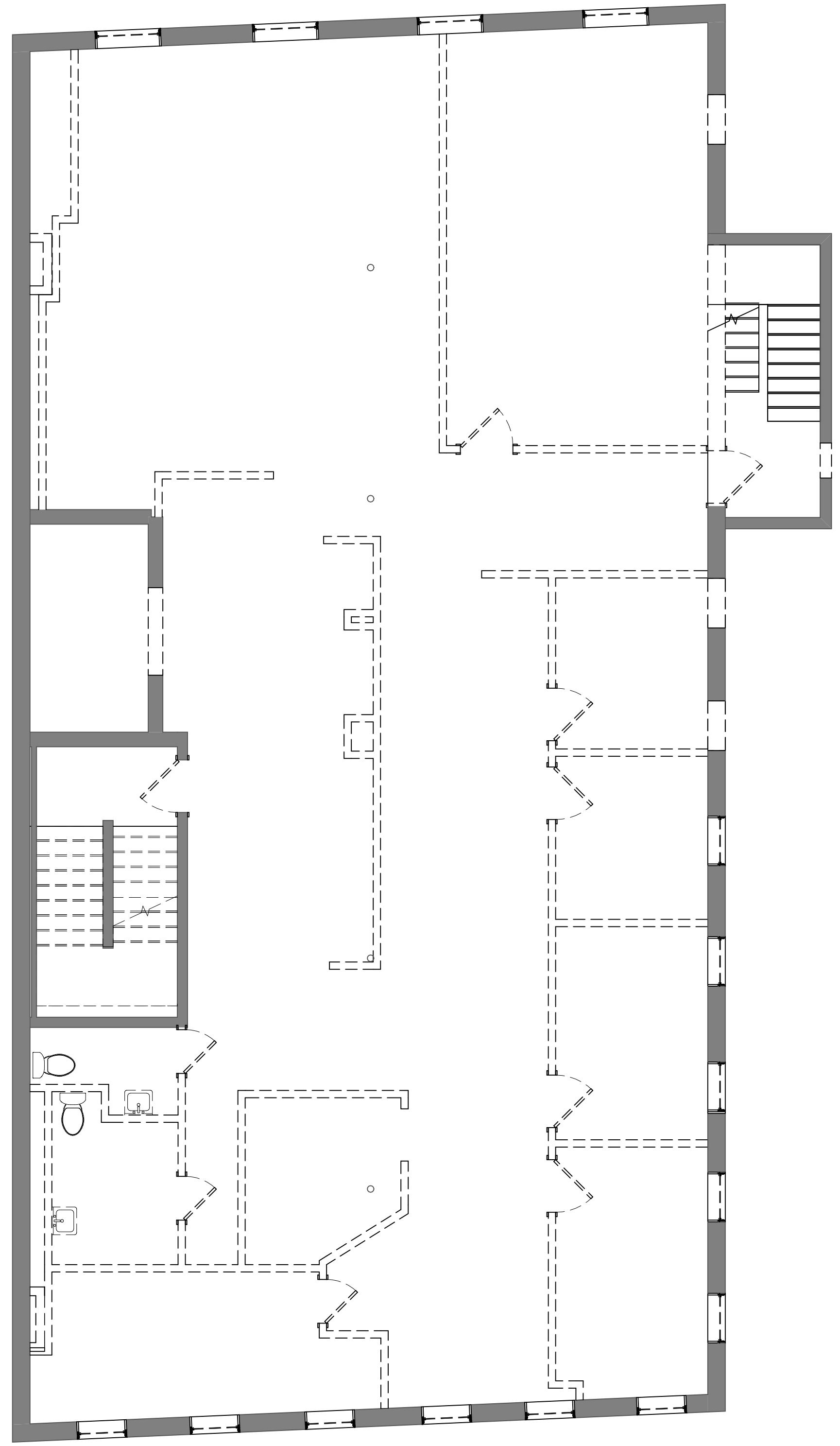


A100

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1 DEMO - 2ND FLOOR  
3/16" = 1'-0"



2 DEMO - 3RD FLOOR  
3/16" = 1'-0"

DEMO/NOTES:

1. ALL EXISTING CEILING, FLOOR AND WALL FINISHES TO BE REMOVED AND EXISTING FRAMING EXPOSED.
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SYMBOL LEGEND

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	PROPOSED WALL		ELEVATION TAG
	EXISTING WALL TO BE REMOVED		VIEW #
	1HR RATED PARTITION (UL DESIGN U305)		VIEW #
	EXISTING DOOR		SECTION TAG
	PROPOSED DOOR		SHEET #
	EXISTING DOOR TO BE REMOVED		EGRESS LIGHTING
			EXIT SIGNAGE
			EGRESS PATH
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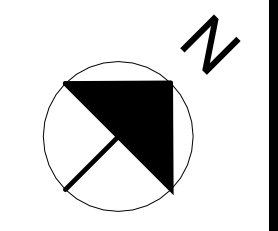
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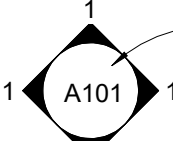
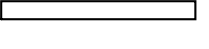
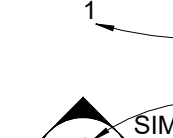
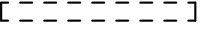
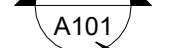

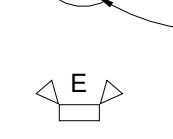
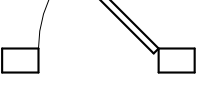
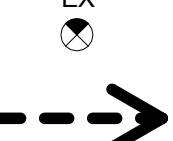







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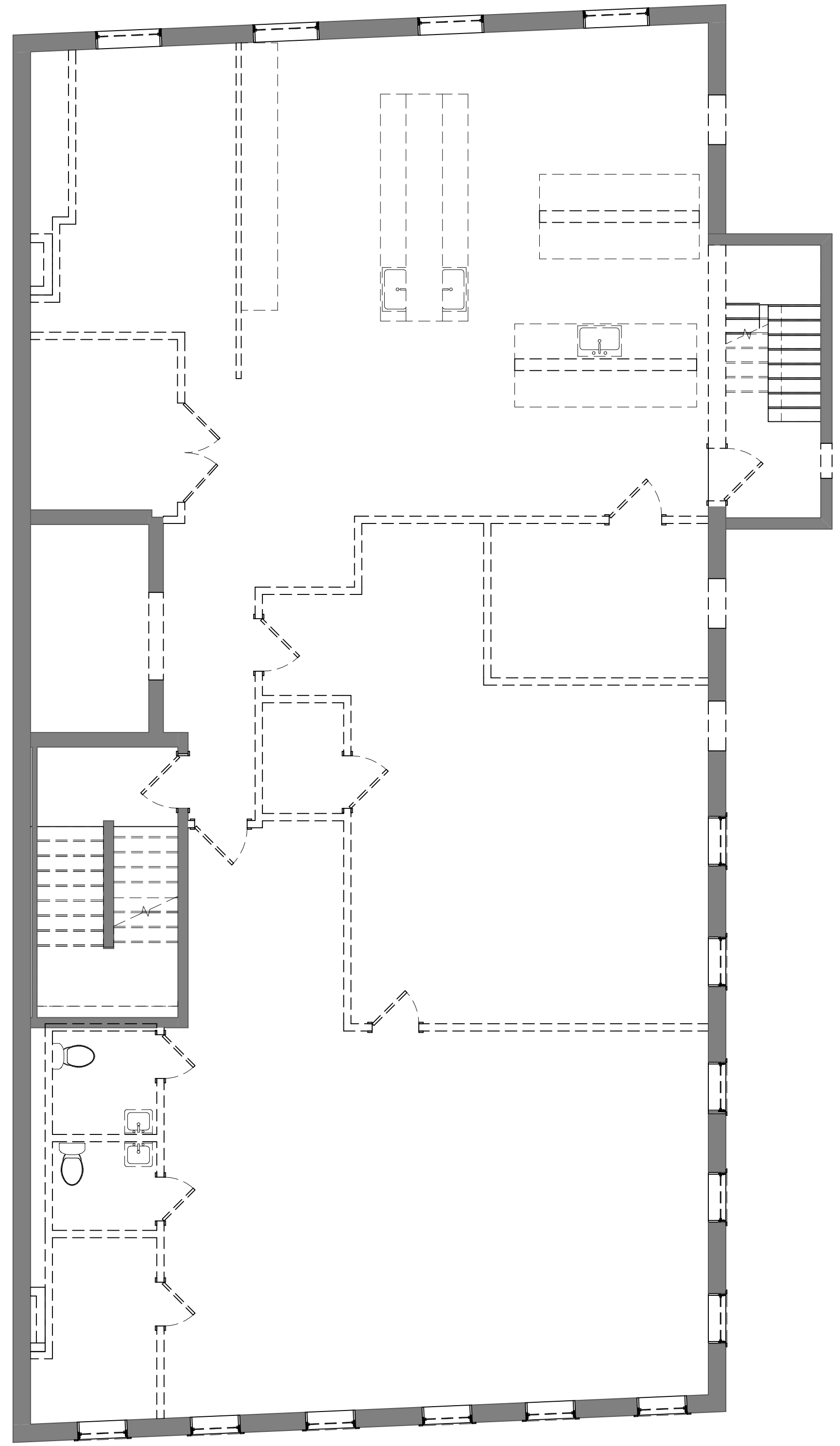


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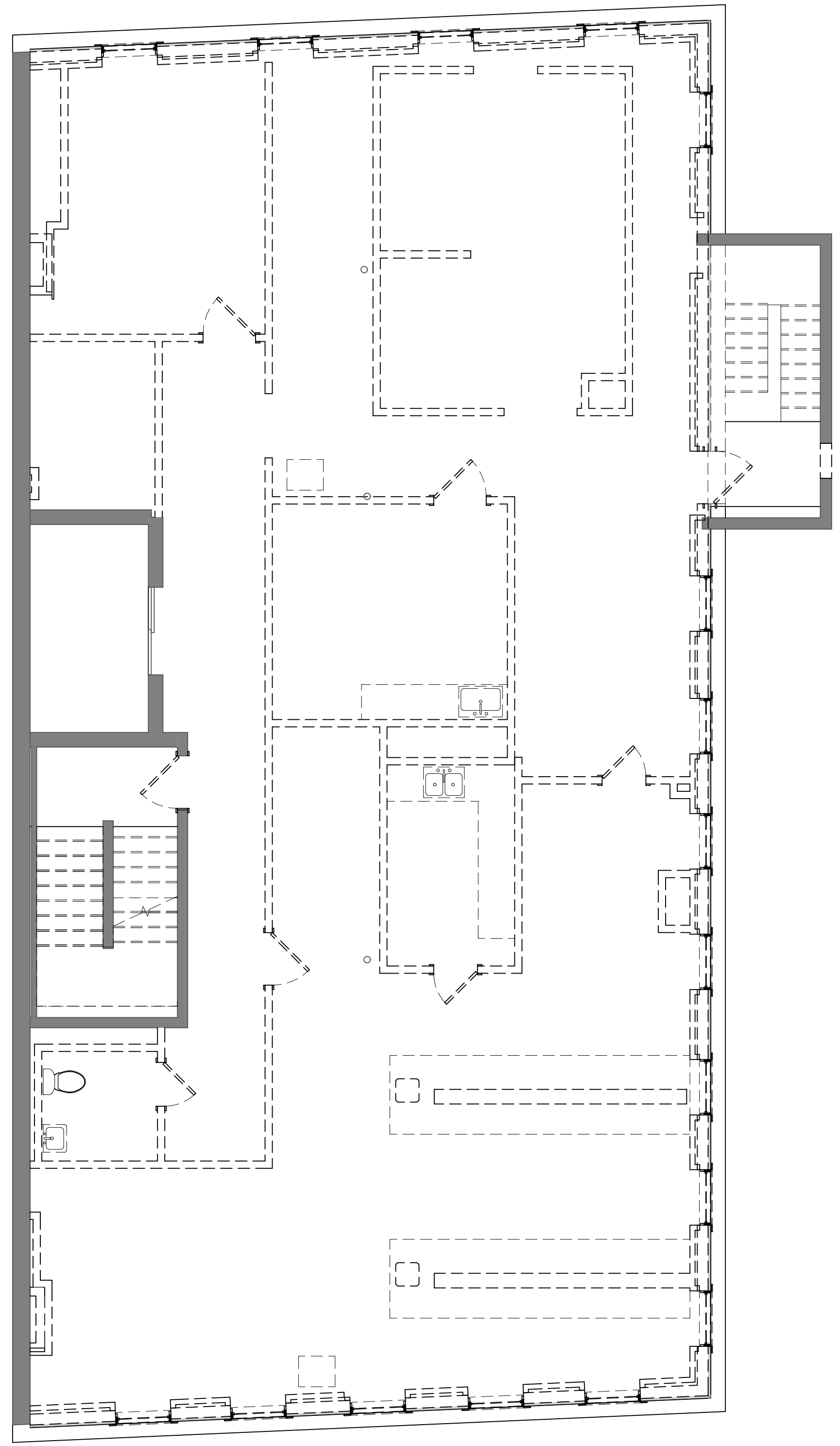
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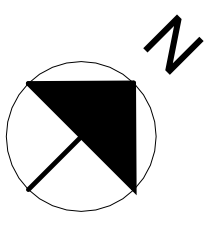
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	EXISTING WALL TO BE REMOVED		VIEW #
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	PROPOSED DOOR		EGRESS LIGHTING
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① DEMO - 4TH FLOOR  
 3/16" = 1'-0"

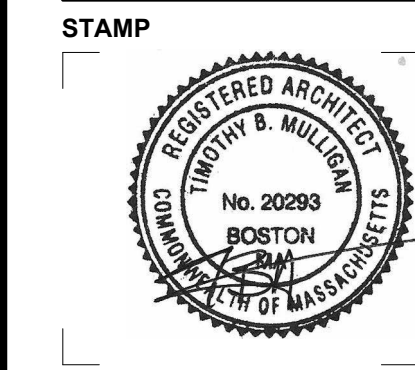


② DEMO - 5TH FLOOR  
 3/16" = 1'-0"



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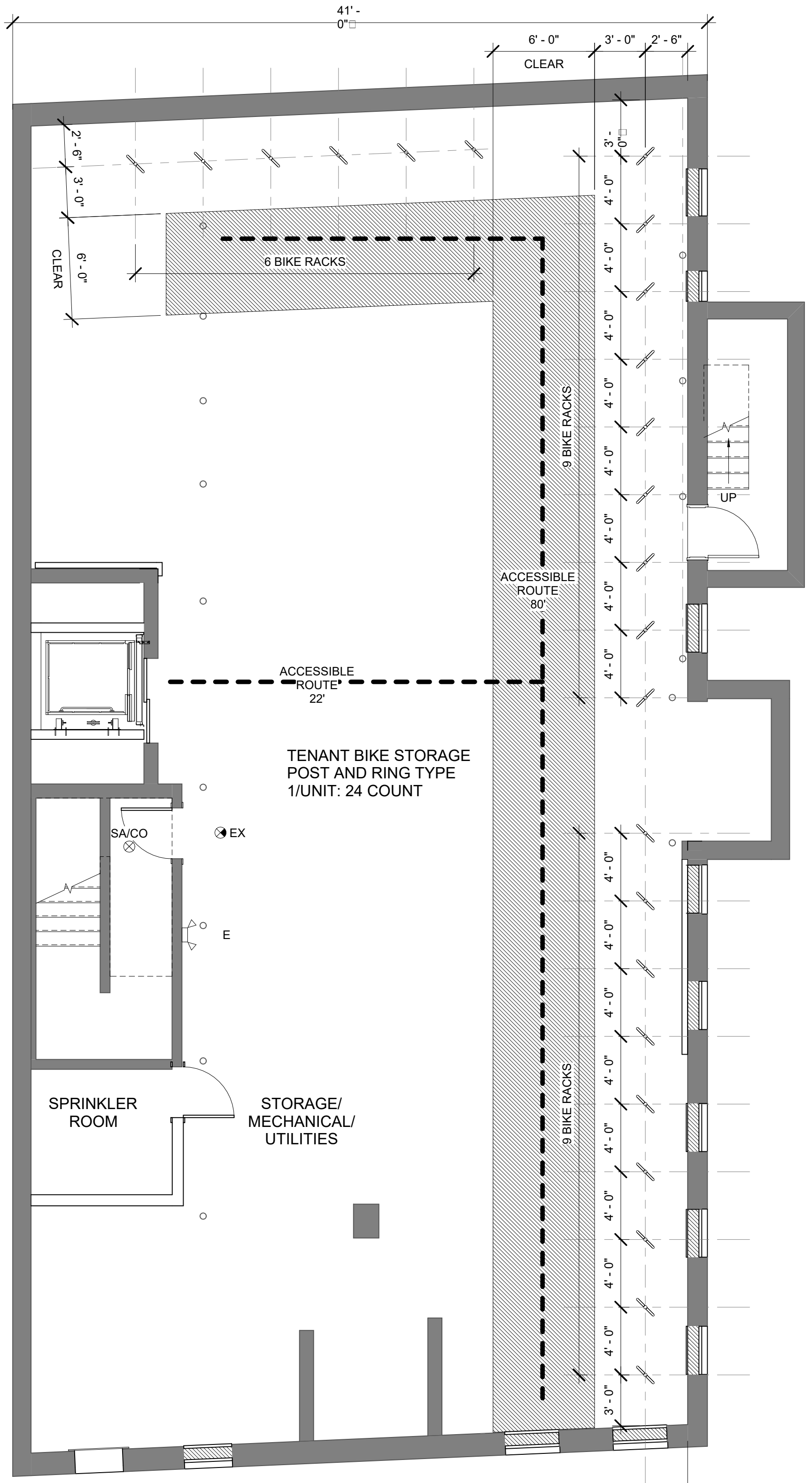

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**BASEMENT & 1ST FLOOR PLANS**



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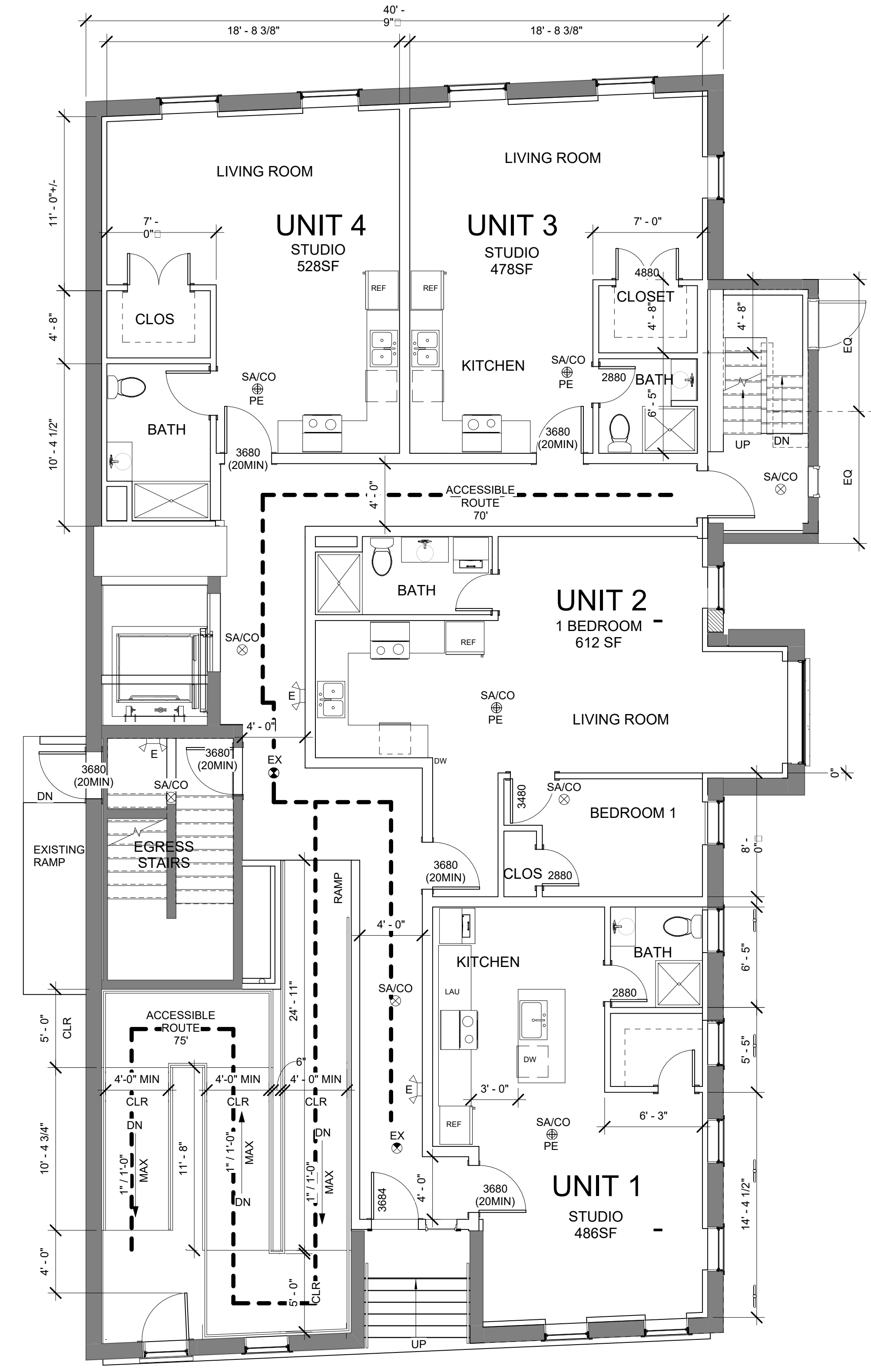
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**A103**



1 BASEMENT  
 3/16" = 1'-0"

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #1	1ST FLOOR	486 SF	STUDIO/1BATH	
UNIT #2	1ST FLOOR	612 SF	1BED/1BATH	
UNIT #3	1ST FLOOR	490 SF	STUDIO/1BATH	
UNIT #4	1ST FLOOR	512 SF	STUDIO/1BATH	
UNIT #5	2ND FLOOR	952 SF	3BED/2BATH	
UNIT #6	2ND FLOOR	752 SF	2BED/1BATH	X
UNIT #7	2ND FLOOR	490 SF	STUDIO/1BATH	
UNIT #8	2ND FLOOR	512 SF	STUDIO/1BATH	
UNIT #9	3RD FLOOR	952 SF	3BED/2BATH	
UNIT #10	3RD FLOOR	752 SF	2BED/1BATH	
UNIT #11	3RD FLOOR	490 SF	STUDIO/1BATH	
UNIT #12	3RD FLOOR	512 SF	STUDIO/1BATH	X
UNIT #13	4TH FLOOR	952 SF	3BED/2BATH	
UNIT #14	4TH FLOOR	752 SF	2BED/1BATH	
UNIT #15	4TH FLOOR	490 SF	STUDIO/1BATH	
UNIT #16	4TH FLOOR	512 SF	STUDIO/1BATH	

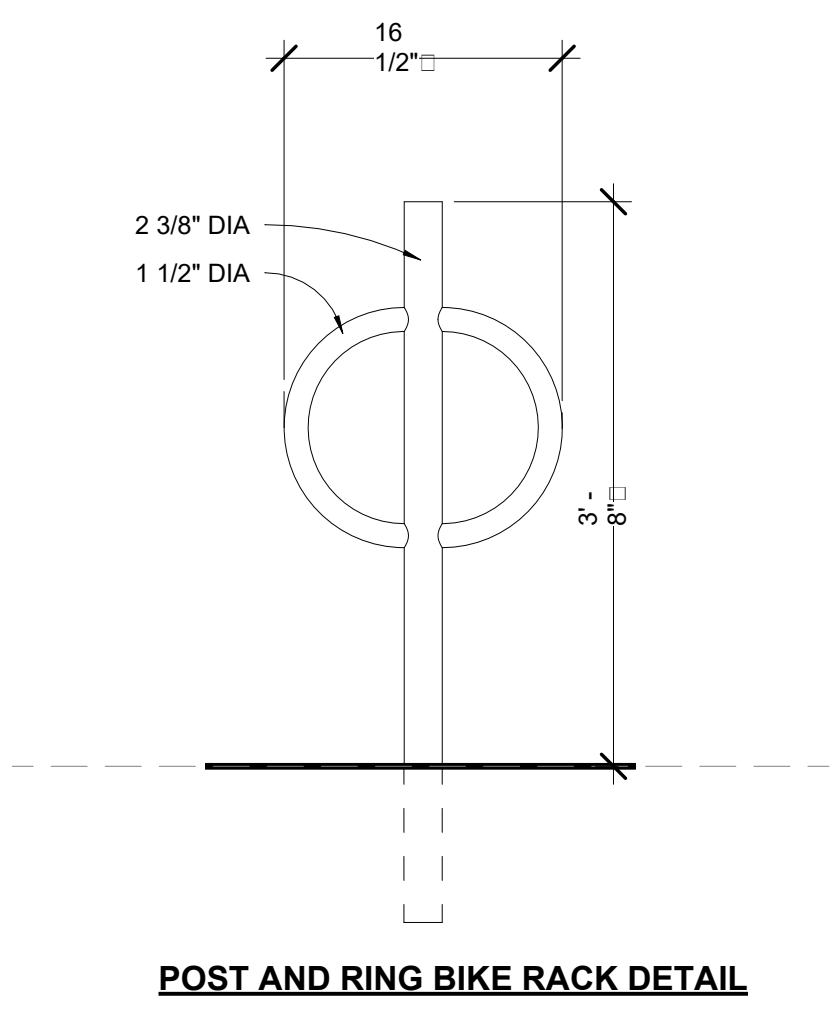


2 1ST FLOOR  
 3/16" = 1'-0"

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #17	5TH FLOOR	954 SF	3BED/2BATH	
UNIT #18	5TH FLOOR	730 SF	1BED/1BATH	
UNIT #19	5TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #20	5TH FLOOR	480SF	STUDIO/1BATH	
UNIT #21	6TH FLOOR	954 SF	3BED/2BATH	
UNIT #22	6TH FLOOR	730 SF	1BED/1BATH	
UNIT #23	6TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #24	6TH FLOOR	480 SF	STUDIO/1BATH	

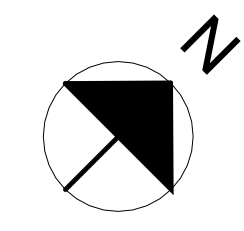
  

MINIMUM UNIT FLOOR AREA				
STUDIO	450 SF			
ONE BEDROOM	600 SF			
TWO BEDROOM	750 SF			
THREE BEDROOM	950 SF			



SYMBOL LEGEND

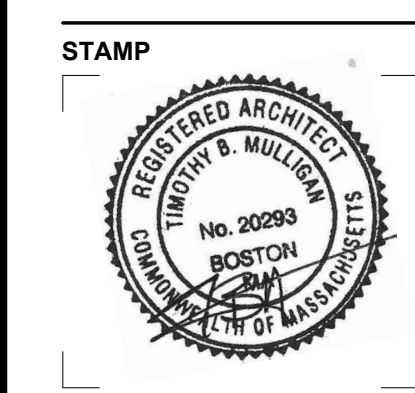
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- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC



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REVISIONS:

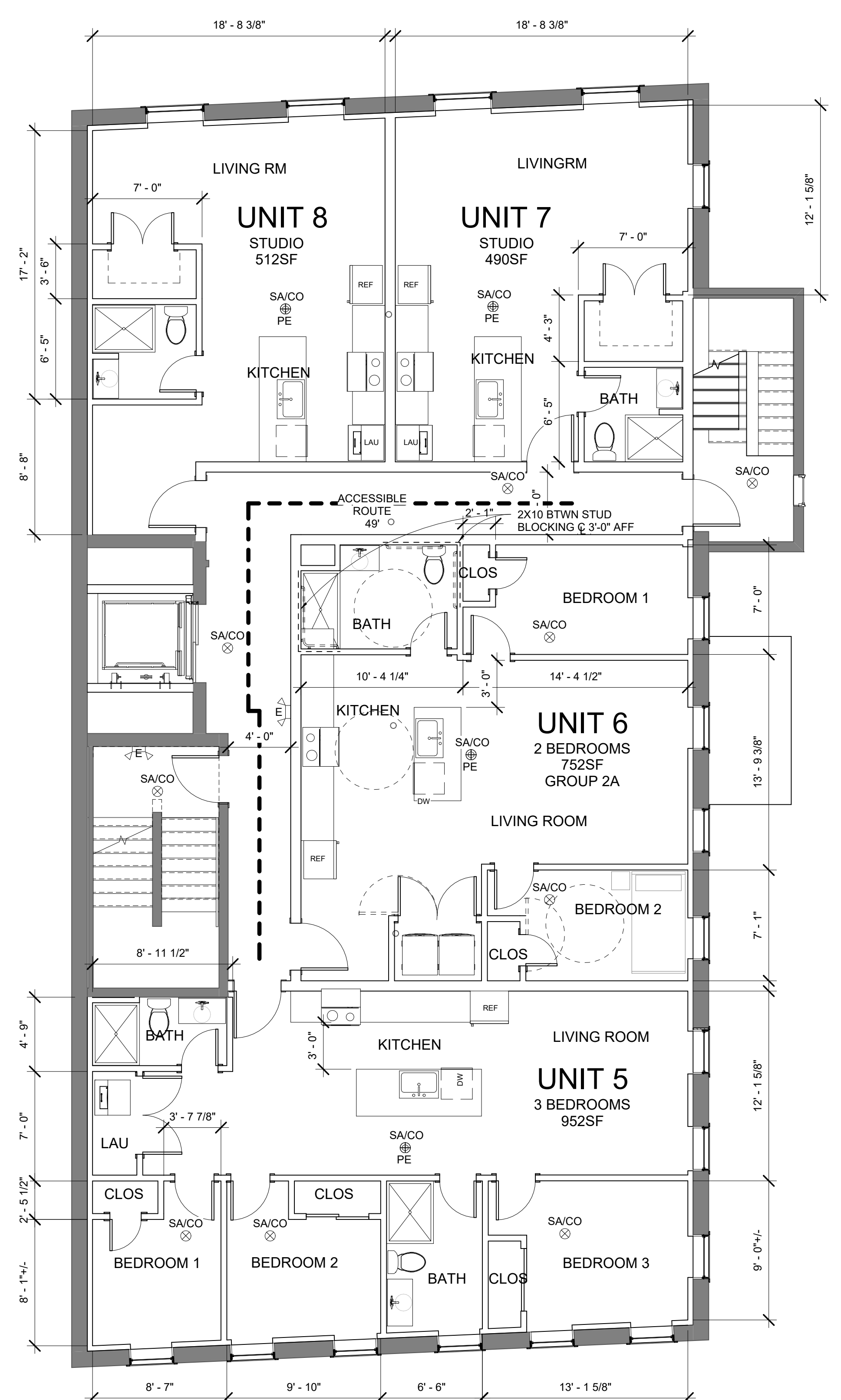

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**2ND & 3RD FLOOR PLANS**



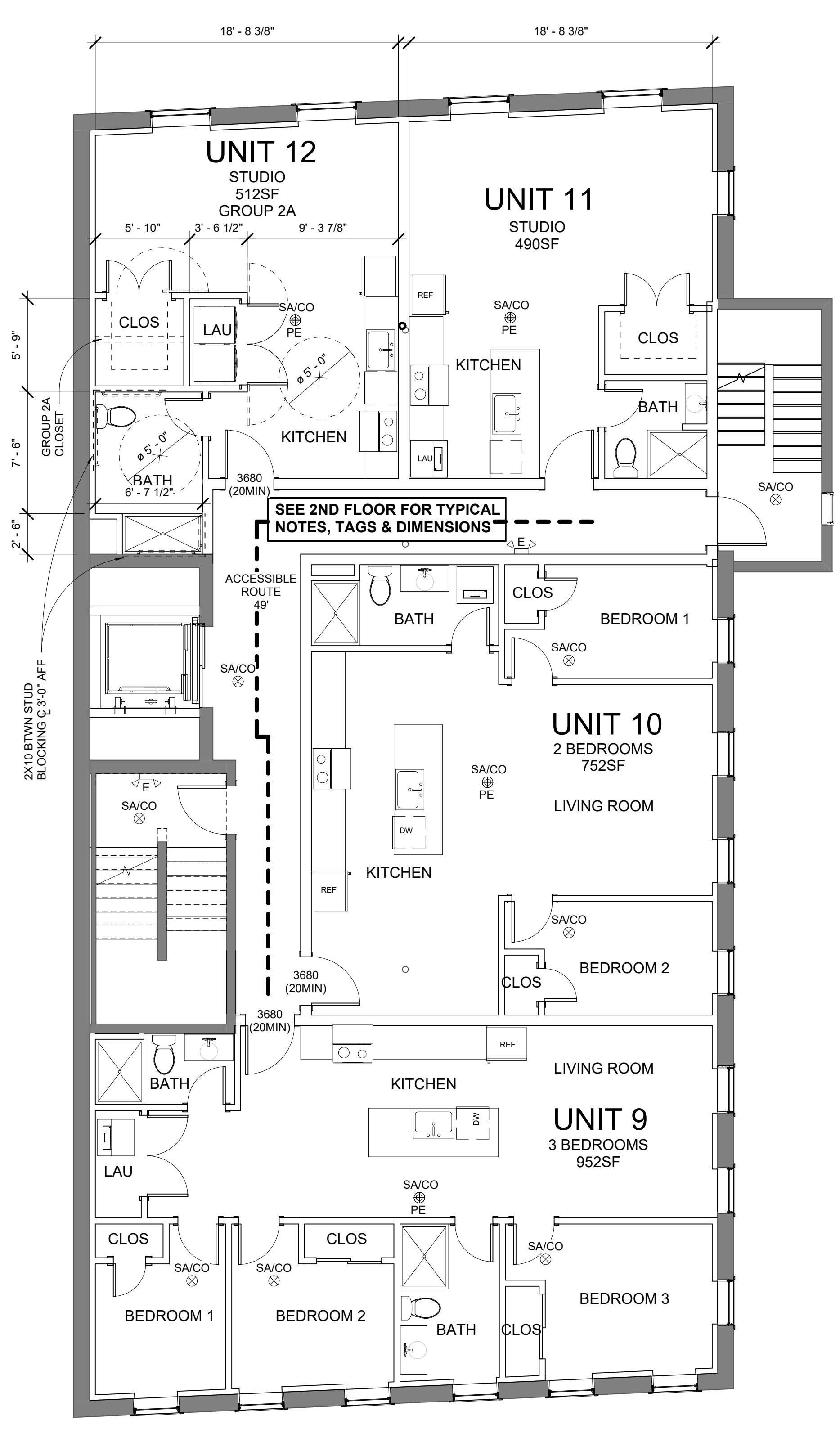
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**A104**



① 2ND FLOOR  
 3/16" = 1'-0"



② 3RD FLOOR  
 3/16" = 1'-0"

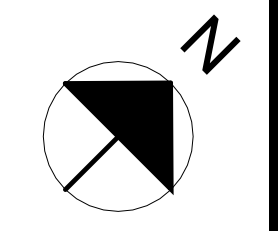
UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #1	1ST FLOOR	486 SF	STUDIO/1BATH	
UNIT #2	1ST FLOOR	612 SF	1BED/1BATH	
UNIT #3	1ST FLOOR	490 SF	STUDIO/1BATH	
UNIT #4	1ST FLOOR	512 SF	STUDIO/1BATH	
UNIT #5	2ND FLOOR	952 SF	3BED/2BATH	
UNIT #6	2ND FLOOR	752 SF	2BED/1BATH	X
UNIT #7	2ND FLOOR	490 SF	STUDIO/1BATH	
UNIT #8	2ND FLOOR	512 SF	STUDIO/1BATH	
UNIT #9	3RD FLOOR	952 SF	3BED/2BATH	
UNIT #10	3RD FLOOR	752 SF	2BED/1BATH	
UNIT #11	3RD FLOOR	490 SF	STUDIO/1BATH	
UNIT #12	3RD FLOOR	512 SF	STUDIO/1BATH	X
UNIT #13	4TH FLOOR	952 SF	3BED/2BATH	
UNIT #14	4TH FLOOR	752 SF	2BED/1BATH	
UNIT #15	4TH FLOOR	490 SF	STUDIO/1BATH	
UNIT #16	4TH FLOOR	512 SF	STUDIO/1BATH	

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #17	5TH FLOOR	954 SF	3BED/2BATH	
UNIT #18	5TH FLOOR	730 SF	1BED/1BATH	
UNIT #19	5TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #20	5TH FLOOR	480 SF	STUDIO/1BATH	
UNIT #21	6TH FLOOR	954 SF	3BED/2BATH	
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UNIT #23	6TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #24	6TH FLOOR	480 SF	STUDIO/1BATH	
<b>MINIMUM UNIT FLOOR AREA</b>				
STUDIO		450 SF		
ONE BEDROOM		600 SF		
TWO BEDROOM		750 SF		
THREE BEDROOM		950 SF		

**SYMBOL LEGEND**

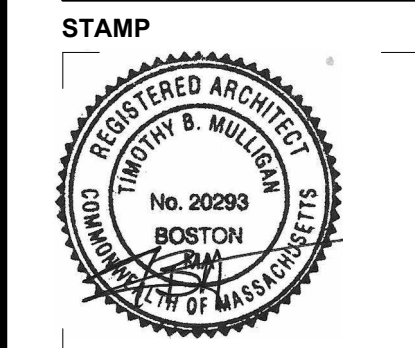
- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED

- SHEET #
- ELEVATION TAG
- VIEW #
- SECTION TAG
- SHEET #
- EGRESS LIGHTING
- EXIT SIGNAGE
- EGRESS PATH
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC



REVISIONS:

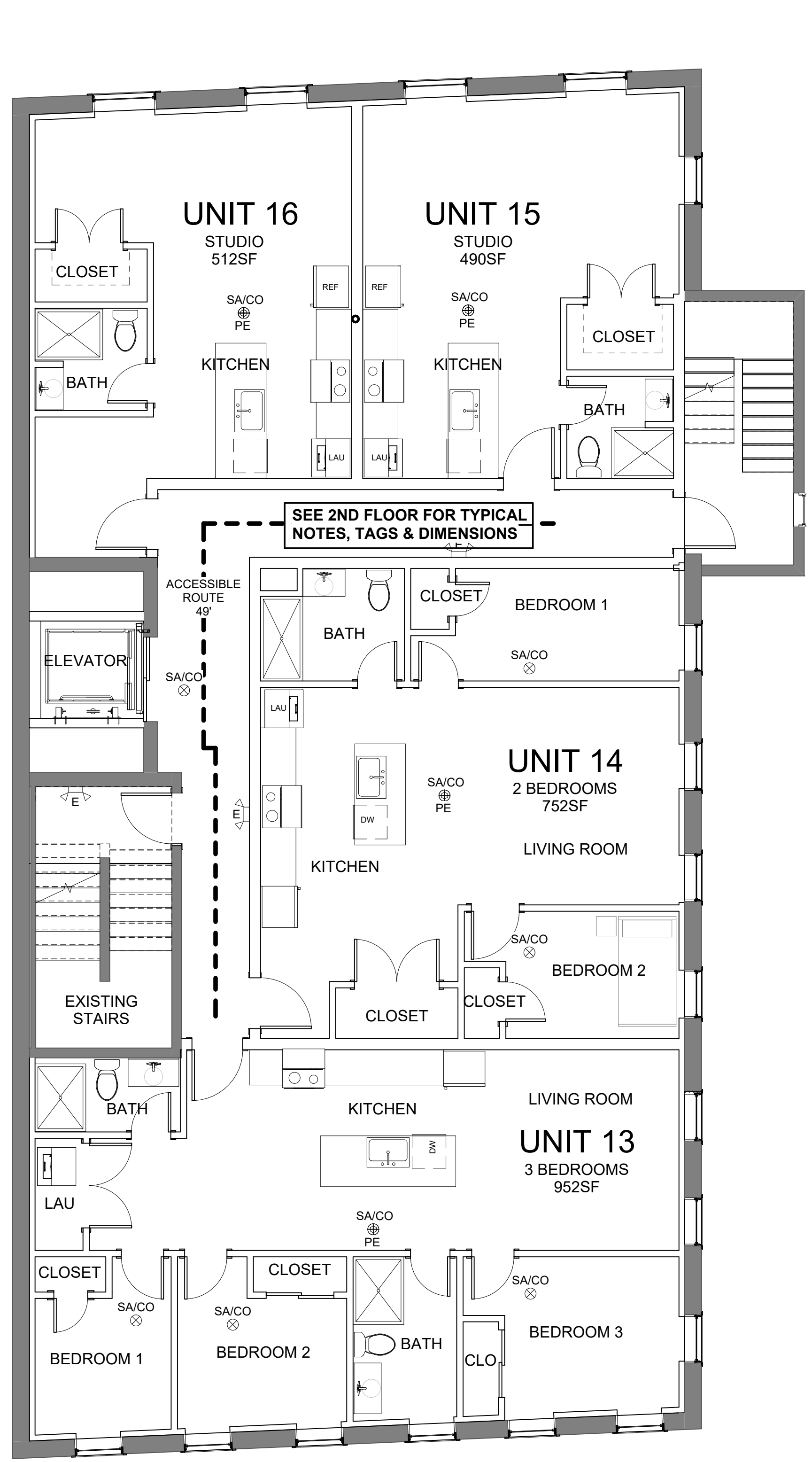

DRAWING TITLE:  
**4TH & 5TH FLOOR PLANS**



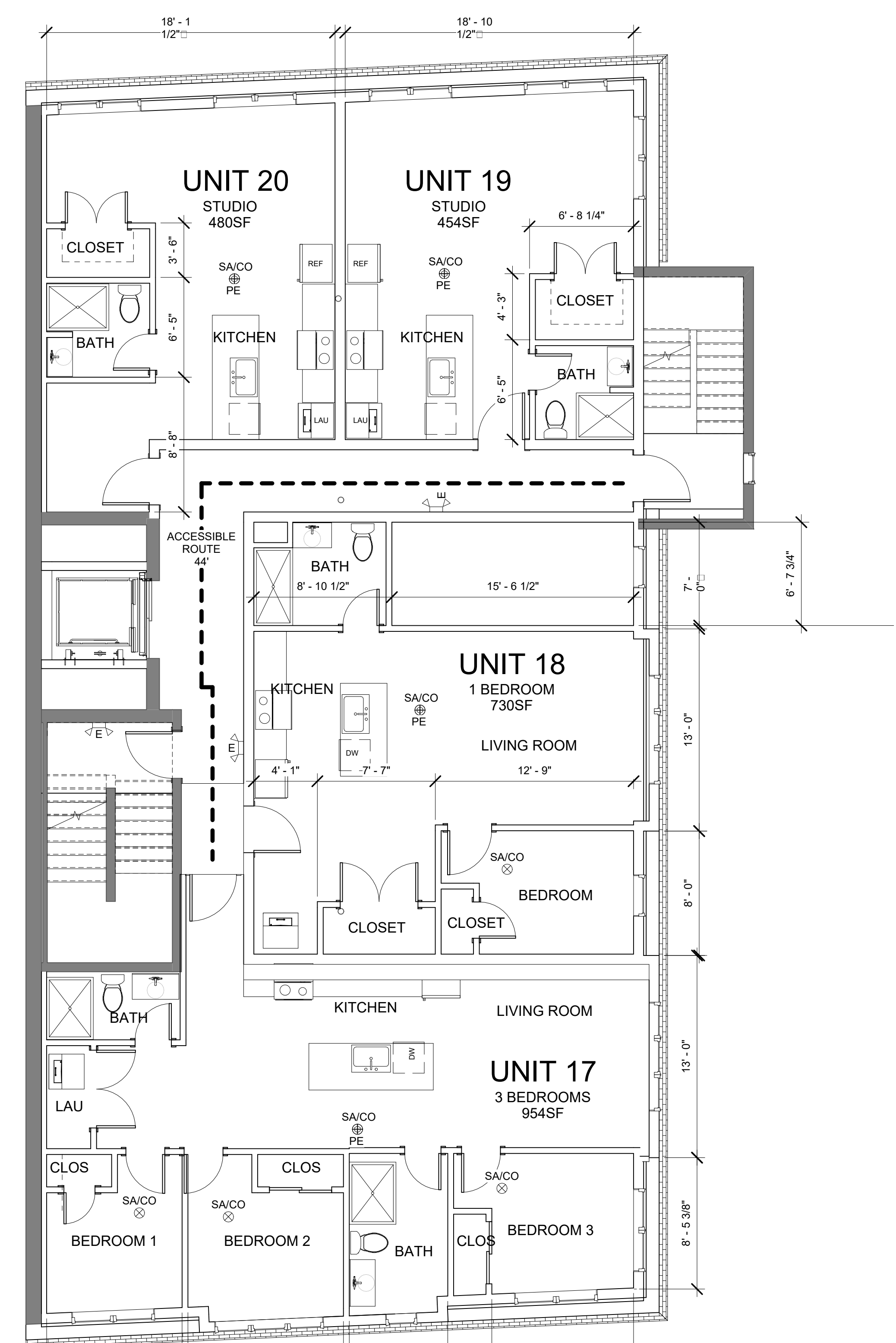
January 29, 2024  
 DATE OF ISSUE  
 DESIGN  
 DOCUMENT PHASE  
 As indicated  
 SCALE  
 2310.00  
 PROJECT #

DRAWING NUMBER:

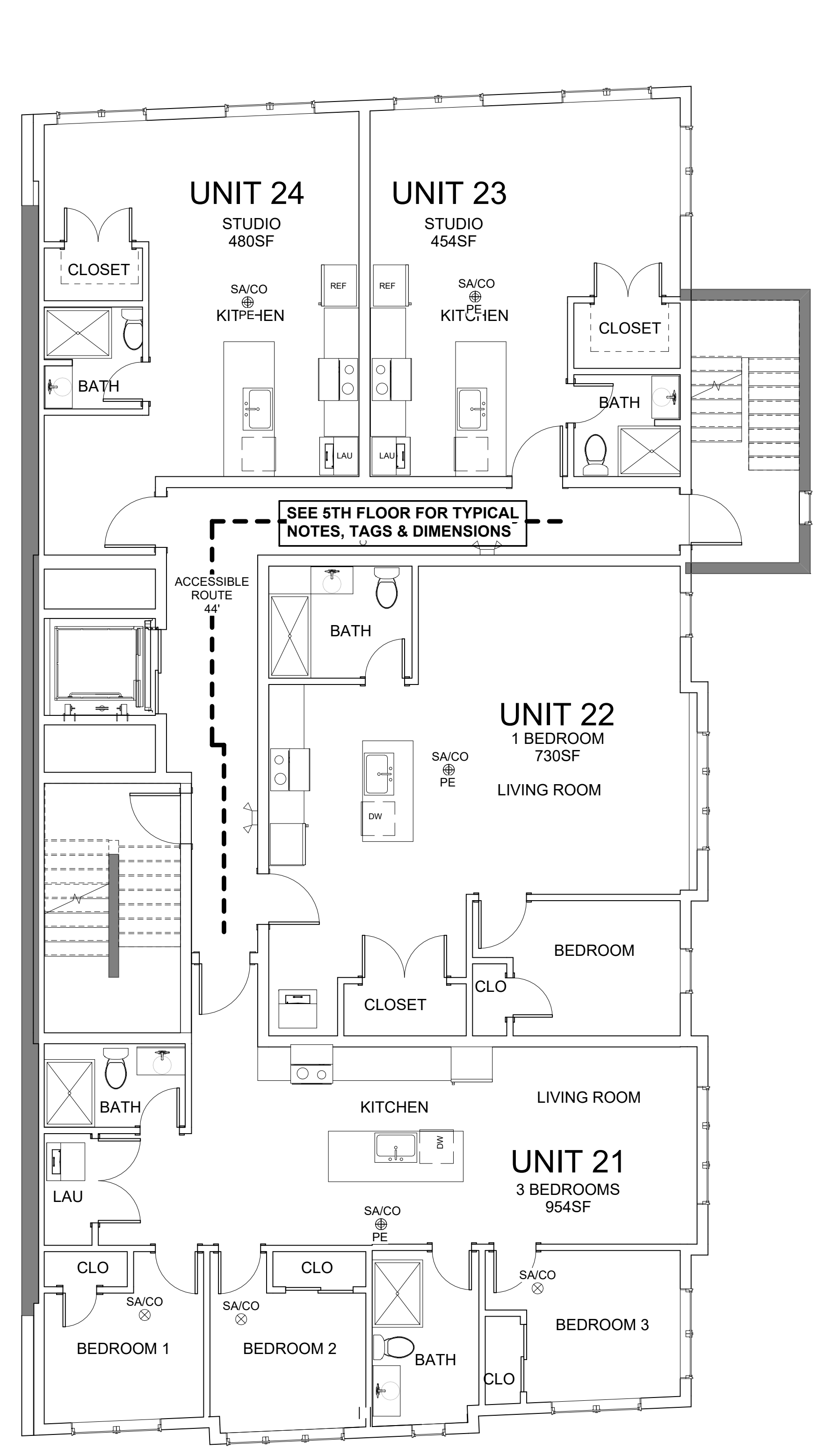
**A105**



1 4TH FLOOR  
 3/16" = 1'-0"



2 5TH FLOOR  
 3/16" = 1'-0"



3 6TH FLOOR  
 3/16" = 1'-0"

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
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- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

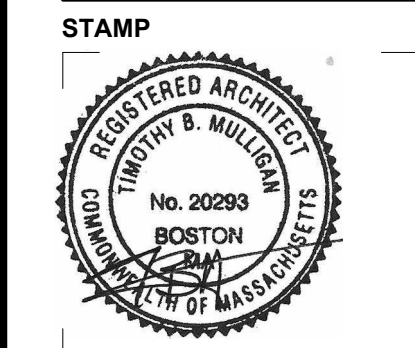
UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #1	1ST FLOOR	486 SF	STUDIO/1BATH	
UNIT #2	1ST FLOOR	612 SF	1BED/1BATH	
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UNIT #8	2ND FLOOR	512 SF	STUDIO/1BATH	
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UNIT #15	4TH FLOOR	490 SF	STUDIO/1BATH	
UNIT #16	4TH FLOOR	512 SF	STUDIO/1BATH	

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #17	5TH FLOOR	954 SF	3BED/2BATH	
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UNIT #22	6TH FLOOR	730 SF	1BED/1BATH	
UNIT #23	6TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #24	6TH FLOOR	480 SF	STUDIO/1BATH	
<b>MINIMUM UNIT FLOOR AREA</b>				
STUDIO		450 SF		
ONE BEDROOM		600 SF		
TWO BEDROOM		750 SF		
THREE BEDROOM		950 SF		

4/28/2024 1:27:28 PM  
 PLANNING/CONSTRUCTION/DESIGN/GENERAL CONTRACTOR

REVISIONS:

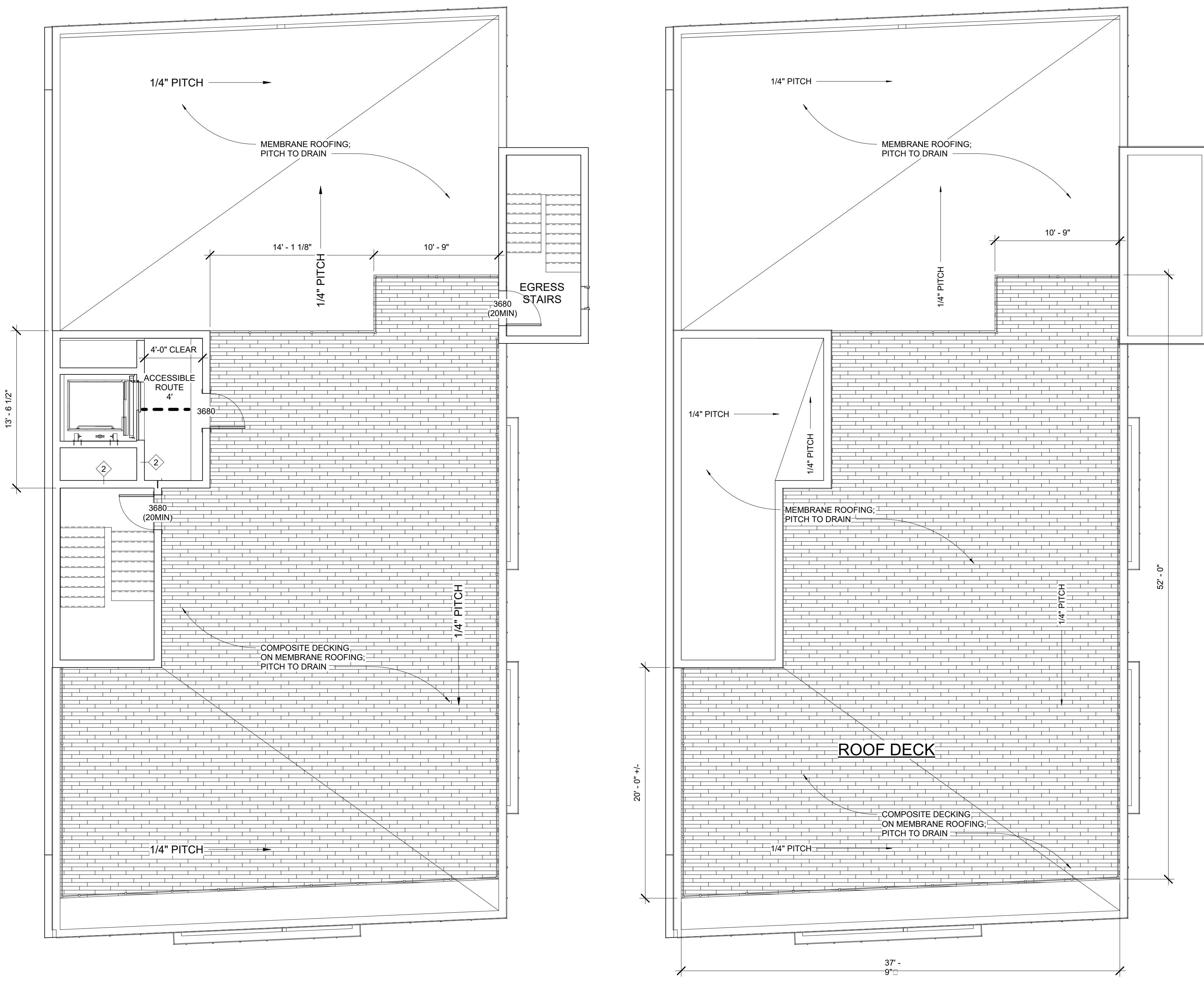

DRAWING TITLE:  
**HEAD HOUSE & ROOF PLAN**



January 29, 2024  
 DATE OF ISSUE  
 DESIGN  
 DOCUMENT PHASE  
 As Indicated  
 SCALE  
 2310.00  
 PROJECT #

DRAWING NUMBER:

**A106**



① ROOF DECK  
 3/16" = 1'-0"

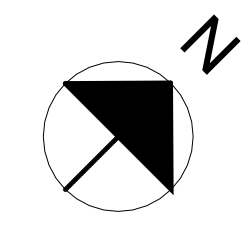
② HEADHOUSE ROOF  
 3/16" = 1'-0"

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #1	1ST FLOOR	486 SF	STUDIO/1BATH	
UNIT #2	1ST FLOOR	612 SF	1BED/1BATH	
UNIT #3	1ST FLOOR	490 SF	STUDIO/1BATH	
UNIT #4	1ST FLOOR	512 SF	STUDIO/1BATH	
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UNIT #6	2ND FLOOR	752 SF	2BED/1BATH	X
UNIT #7	2ND FLOOR	490 SF	STUDIO/1BATH	
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UNIT #23	6TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #24	6TH FLOOR	480 SF	STUDIO/1BATH	
<b>MINIMUM UNIT FLOOR AREA</b>				
STUDIO		450 SF		
ONE BEDROOM		600 SF		
TWO BEDROOM		750 SF		
THREE BEDROOM		950 SF		

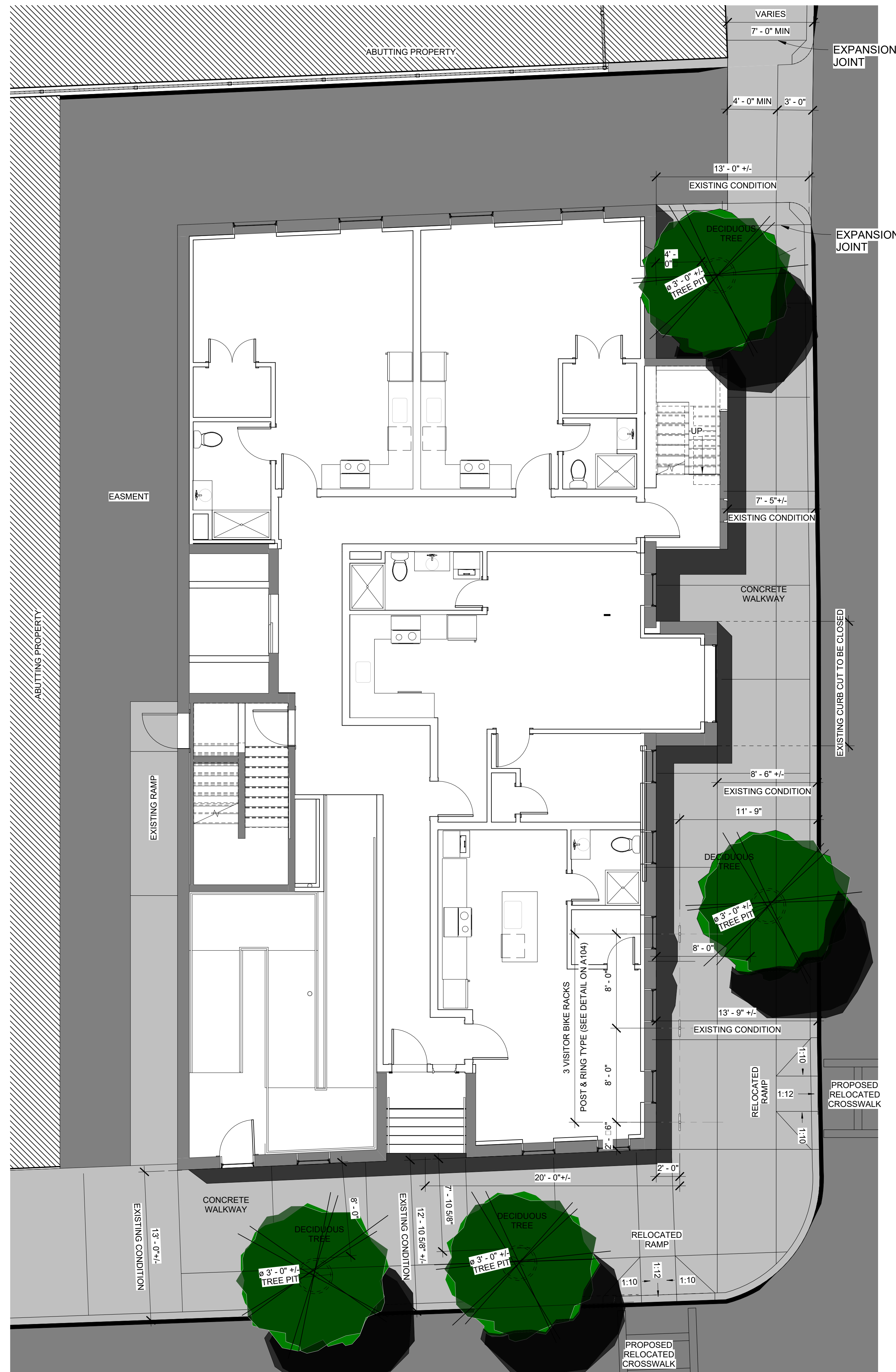
**SYMBOL LEGEND**

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- SHEET #
- ELEVATION TAG
- VIEW #
- SECTION TAG
- SHEET #
- EGRESS LIGHTING
- EXIT SIGNAGE
- EGRESS PATH
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

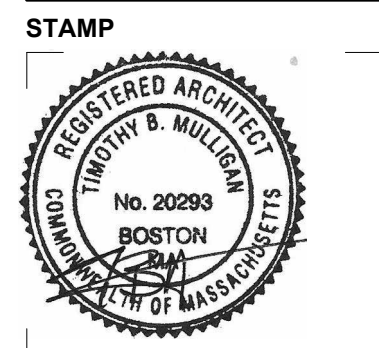


4/29/2024 1:27:30 PM  
 PLANNING/CONSTRUCTION/DESIGN/CONSTRUCTION/DOCUMENTS





REVISIONS:



③ ALBANY STREET ELEVATION  
 3/16" = 1'-0"

② RIGHT ELEVATION  
 3/16" = 1'-0"

PLANETWORKS.COM/PROJECTS/RESIDENTIAL/ALBANY-STREET-RESIDENCES

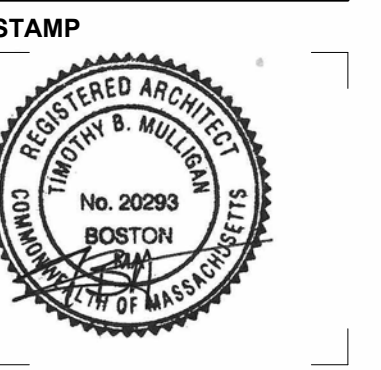
4/26/2024 1:27:54 PM

4/28/2024 12:44 PM

**REVISIONS:**


**DRAWING TITLE:**

**EXTERIOR ELVATIONS**



January 29, 2024  
 DATE OF ISSUE  
 DESIGN  
 DOCUMENT PHASE  
 3/16" = 1'-0"  
 SCALE  
 2310.00  
 PROJECT #

**DRAWING NUMBER:**



**1 REAR ELEVATION**  
 3/16" = 1'-0"

**2 LEFT ELEVATION**  
 3/16" = 1'-0"

PLANET/DOCUMENT/3/16/2024/00/00000000.DWG



① EXISTING FRONT ELEVATION  
 3/16" = 1'-0"



② EXISTING RIGHT ELEVATION  
 3/16" = 1'-0"

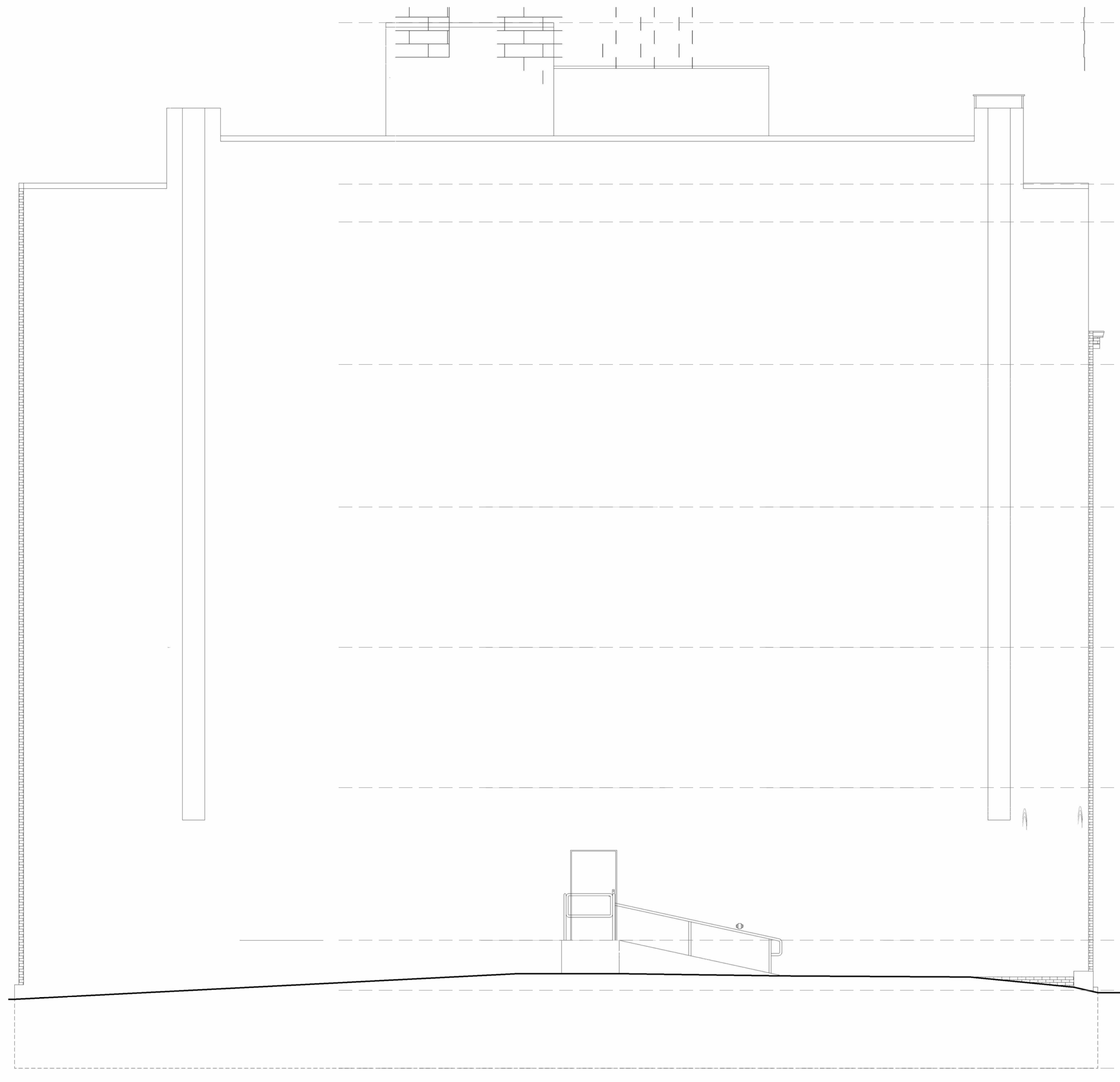
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PLANET/3/16/2024/12:43:00 PM

4/26/2024 12:43:00 PM

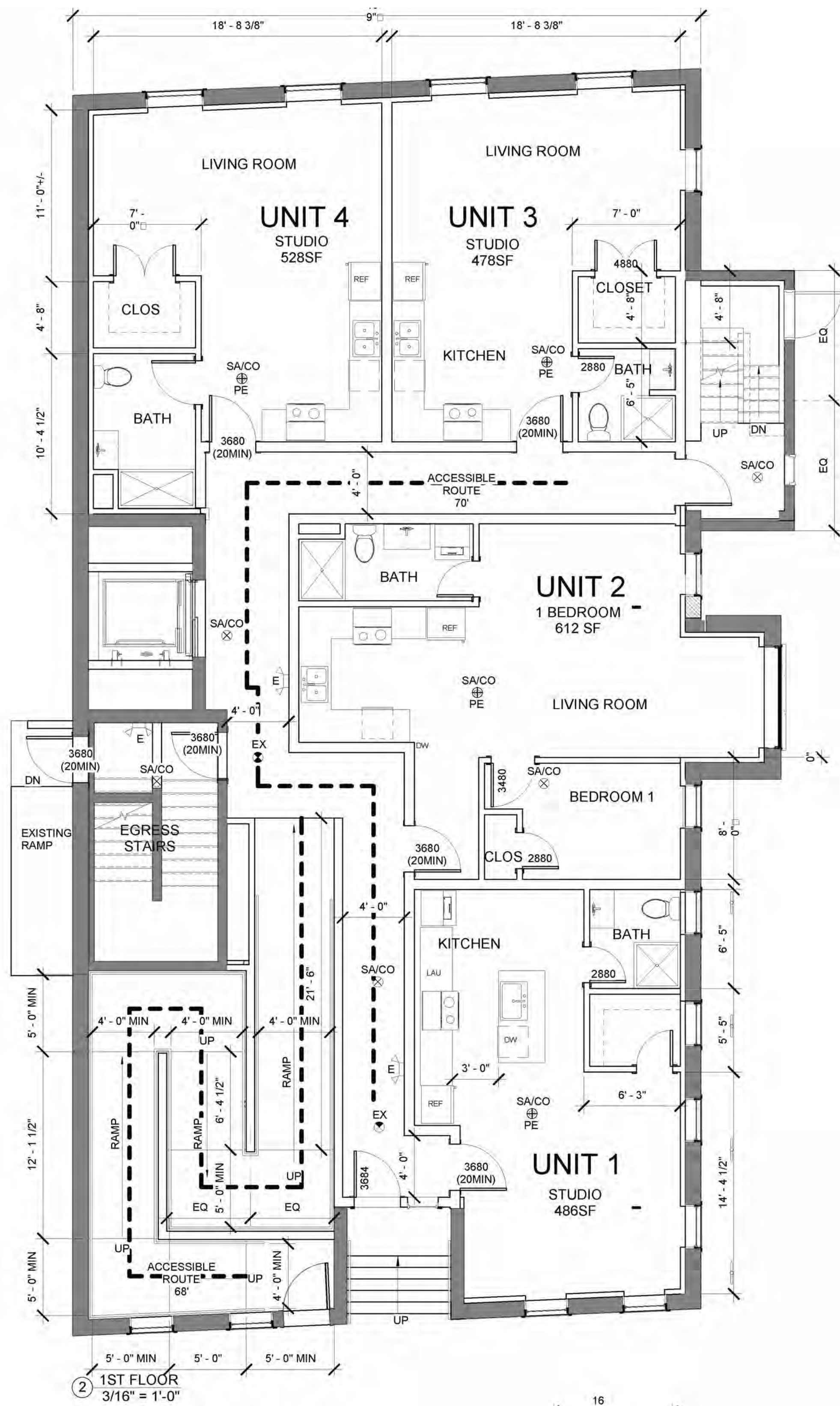


① EXISTING REAR ELEVATION  
3/16" = 1'-0"



② EXISTING LEFT ELEVATION  
3/16" = 1'-0"





4/29/2024 1:24:38 PM  
 PLANNING DOCUMENT/3/16"=1'-0" (3/16"=1'-0")

PLANET/COMMENTS/DESIGN/04/04/2024/04/04/2024



EAST BROOKLINE STREET



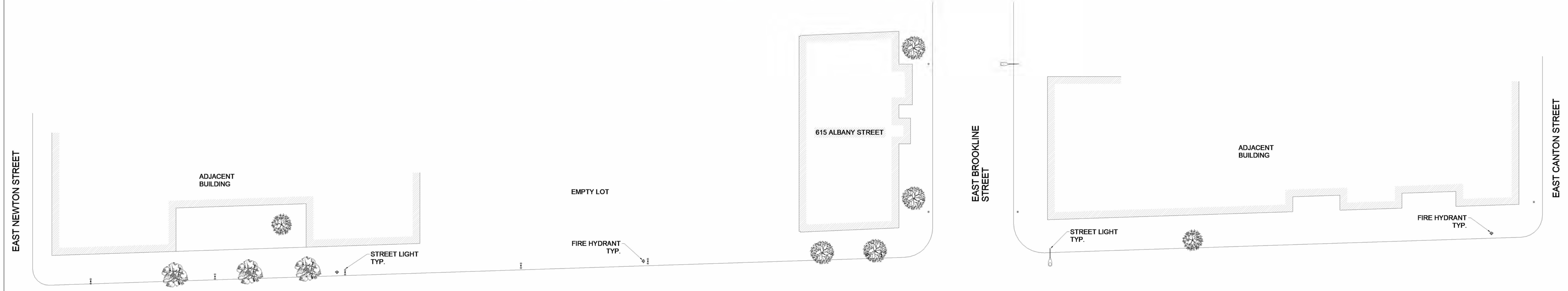
ARCHITECT  
**S47**a  
studios architects, inc.  
517 Boston Post Rd  
Suite #30  
Roslindale, MA 02126  
p: 508.500.4730  
www.s47a.com

PROJECT:  
**Albany Street Residences**  
615 Albany St  
Boston, MA 02118

CLIENT:  
**River Front Realty**  
275 Main St  
Charlestown, MA

PROJECT TEAM:

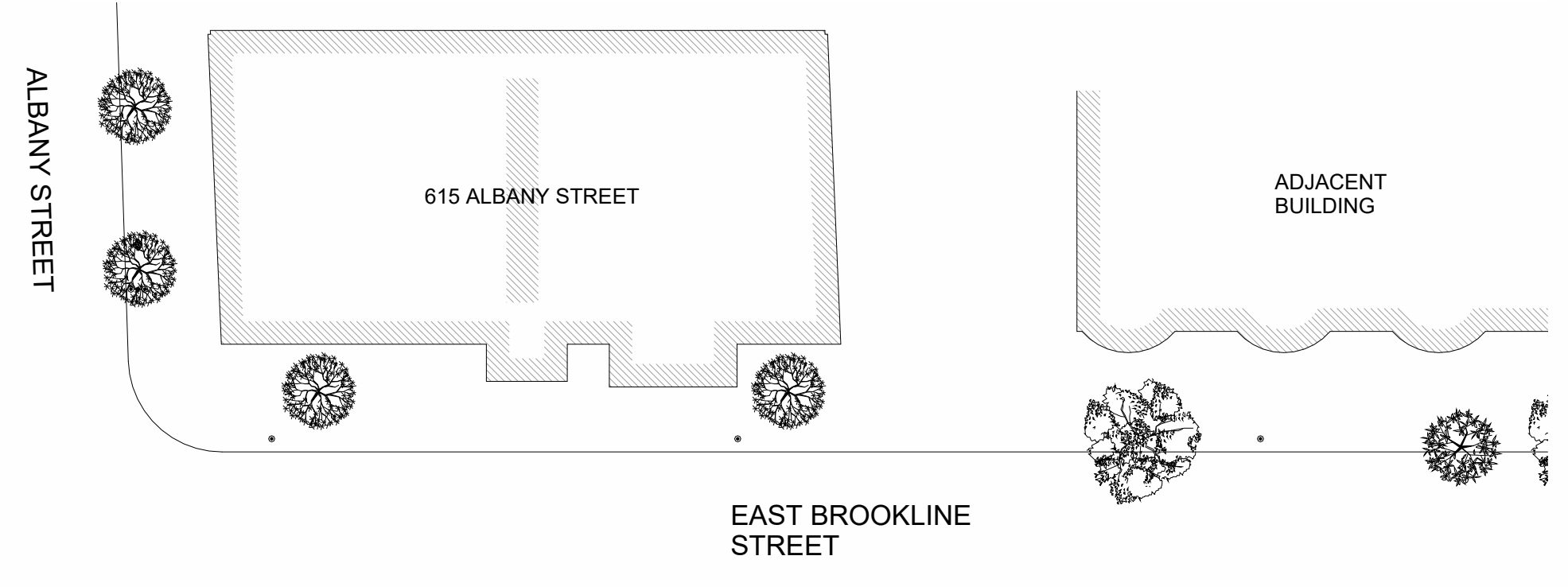
### ALBANY STREET ELEVATION



ALBANY STREET

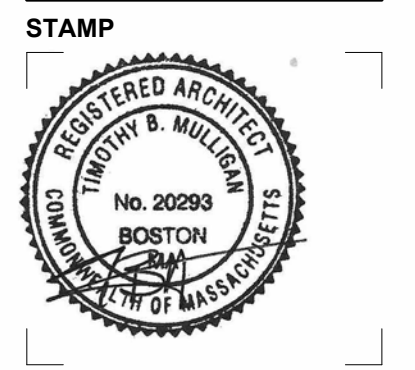


### BROOKLINE STREET ELEVATION



REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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DRAWING TITLE:  
**STREET ELEVATIONS**

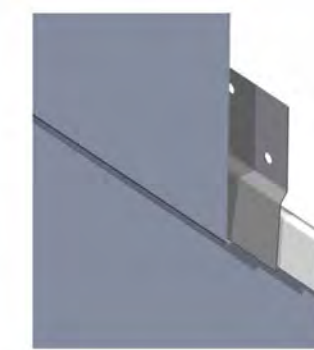
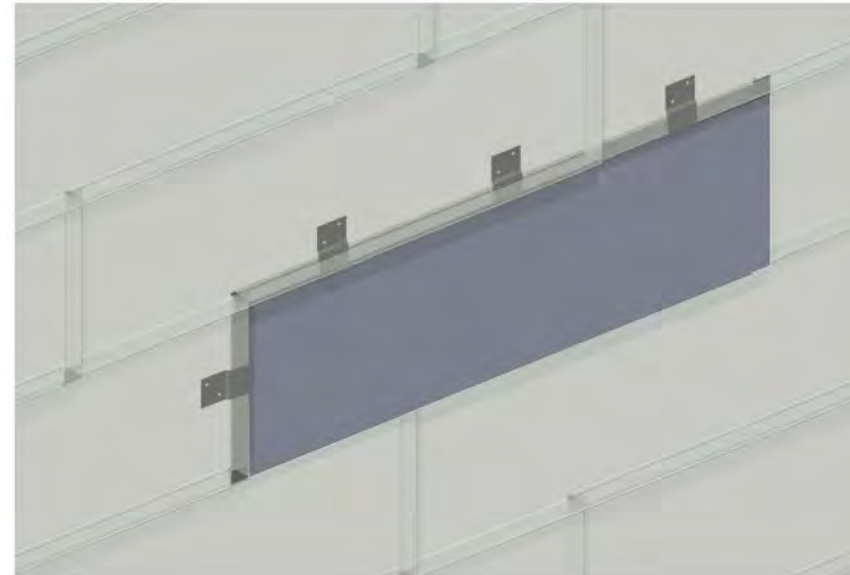


January 29, 2024  
DATE OF ISSUE  
DESIGN  
DOCUMENT PHASE  
1" = 20'-0"  
SCALE  
2310.00  
PROJECT #

DRAWING NUMBER:

**A210**

4/29/2024 1:02:27 PM



**VERSALOK™**  
SKU Horizontal: VSL123, VSL126, VSL163, VSL166  
SKU Vertical: VSL312, VSL316, VSL612, VSL616

**MATERIAL**  
.032, .040 aluminum  
16, 20 oz. copper\*\*  
1.0 mm zinc\*\*  
.0197 classic & tin matte stainless steel\*\*  
\*Inquire for available widths

**PANEL SIZE**  
Horizontal or Vertical Orientation:  
12" x 36", 12" x 60", 16" x 36", 16" x 60"  
Custom sizes available\*  
Must specify panel orientation and direction of panel installation

**TEXTURE**  
Smooth  
[www.atas.com/versalok](http://www.atas.com/versalok)



# SPECIFICATION DATA SHEET

**1. PRODUCT NAME**  
**VERSALOK™ PANEL**  
VSL123, VSL126, VSL163, VSL166, VSL312, VSL316, VSL612, VSL616

**2. MANUFACTURER**  
ATAS INTERNATIONAL, INC.  
Website: [www.atas.com](http://www.atas.com)  
Email: [info@atas.com](mailto:info@atas.com)  
Corporate Headquarters:  
Allentown, PA 18106  
Phone: (800) 468-1441

### 3. PRODUCT DESCRIPTION

**Basic Uses:**  
Versa-Lok is a modular wall panel with a classic rectangular design. This versatile panel is available in various sizes to satisfy mix-and-match designs. The system utilizes concealed clips and fasteners.

**Composition & Materials:**  
**Standard Offerings:** Versa-Lok panels are produced from .032 and .040 aluminum.  
**Special Offerings:** 16, 20 oz. copper; 1 mm zinc; and .0197 classic & tin matte stainless steel may be specified, subject to minimum quantities and lead time.

**Sizes:**  
Versa-Lok panels are available in standard sizes with a horizontal coverage of 36" or 60" and a vertical coverage of 12" or 16". Inquire for special panel sizes.

**Colors & Finishes:**  
A choice of over 40 stock colors is available in a 70% PVDF finish. (Request color chart or chips). Custom colors available. An anodized finish is available in Clear Satin or Dark Bronze. Texture is smooth.

### 4. TECHNICAL DATA

- 70% PVDF based finishes tested by paint supplier for:
- Dry Film Thickness: ASTM D 1005, ASTM D 1400, ASTM D 4138 or ASTM D 5796
  - Specular Gloss: ASTM D 523
  - Pencil Hardness: ASTM D 3363
  - T-Bend Flexibility: ASTM D 4145
  - Mandrel Bend Flexibility: ASTM D 522
  - Impact Resistance: ASTM D 2794
  - Adhesion: ASTM D 3359
  - Water Immersion Resistance: ASTM D 870
  - Abrasion Resistance: ASTM D 968
  - Acid Resistance: ASTM D 1309
  - Acid Rain Resistance (Kesternich): ASTM G 87 or DIN 50018
  - Salt Spray: ASTM B 117
  - Cyclic Salt Spray: ASTM D 5894 and ASTM D 5487
  - Humidity Resistance: ASTM D 2247

- Accelerated Weathering: ASTM D 822 and ASTM G 155, ASTM G 161 or ASTM G 153
- Color Retention, Florida Exposure: ASTM D 2244
- Chalking Resistance: ASTM D 4214
- Cleveland Condensing Cabinet: ASTM D 4585
- Cure Test, MEK Resistance: ASTM D 5402
- Alkali Resistance, Sodium Hydroxide: ASTM D 1308, Procedure 7.2
- Flame Spread Rating: ASTM E 84
- Organic coatings meet requirements of AAMA 2605 when applied to aluminum.

**Panel testing/ratings:**

- Aluminum: ASTM B 209
- Coil Coating: ASTM A 755

### 5. INSTALLATION

Versa-Lok panels have hems on all four sides. Panels are staggered and are installed from right to left using clips to secure the panel at the top and left edge as work progresses from the bottom of the wall to the top. Panels must be installed over a solid substrate covered with the appropriate water and air barrier system underlayment. Installation details and hands-on training via seminars are available through ATAS. Visit [www.atas.com](http://www.atas.com) for more information.

### 6. AVAILABILITY & COST



**Availability:**  
Versa-Lok panels are available through ATAS product distributors. A complete line of related components and trim accessories is available to complete the system. In addition, a complete line of rainware and perimeter roof edge trims can be supplied by ATAS to complement the application. Flat sheet and/or coil stock is available in matching color for fabrication of related components by the installing contractor.

**Cost:**  
Contact ATAS product distributors for current pricing.

### 7. WARRANTY

The fluoropolymer, 70% PVDF finish carries a limited warranty against chalking and fading.

### 8. MAINTENANCE

Versa-Lok panels require minimal maintenance. Surface residue may be easily removed by conventional cleaning methods. For painted products, minor scratches should be touched up with a matching paint, available from the manufacturer.

### 9. TECHNICAL SERVICES

Complete technical information and literature are available at [www.atas.com](http://www.atas.com). ATAS will assist with design ideas and shop drawings.

### 10. FILING SYSTEM

- [www.atas.com/versalok](http://www.atas.com/versalok)
- Additional product information is available from the manufacturer upon request.



Versa-Lok™ is a trademark of ATAS International, Inc.  
© 2022 ATAS International, Inc.

Information contained in Item 4 Technical Data may be dependent upon panel material, gauge and width.  
Please contact ATAS for panel specific test data as applicable for a particular use or application.

LR006022

**PROJECT:**  
**Albany Street Residences**  
615 Albany St  
Boston, MA 02118

**CLIENT:**  
**River Front Realty**  
275 Main St  
Charlestown, MA

**PROJECT TEAM:**

**REVISIONS:**

**DRAWING TITLE:**

**SIDING INFO**

**STAMP**



January 29, 2024

DATE OF ISSUE

DESIGN

DOCUMENT PHASE

SCALE

2310.00

PROJECT #

**DRAWING NUMBER:**

**A213**