

SPRINGFIELD STREET RESIDENCES

8 E. Springfield Street, Boston, MA 02118

CODE ANALYSIS:

- APPLICABLE CODES:
BUILDING CODE :
IBC 2015 (780 CMR)
IEBC 2015
IECC 2018
IFC 2015 (527 CMR)
8TH EDITION AMENDMENTS
- ZONING DISTRICT - SOUTH END NEIGHBORHOOD
SETBACKS:
FRONT: ALLOWED: NONE PROPOSED: NONE
RIGHT: NONE NONE
LEFT: NONE NONE
REAR: 20' 6'-6"
HEIGHT: 70' 47'-10"

FAR: 2.0
LOT SIZE: 1,440SF
ALLOWED: 2,880SF
EXISTING: NA
PROPOSED: 4,585GSF
BASEMENT: 807GSF
FIRST FLOOR: 950GSF
SECOND FLOOR: 950GSF
THIRD FLOOR: 928GSF
FORTH FLOOR: 950GSF

MECH/STORAGE/LAUNDRY: 165GSF (NOT INCLUDED IN F.A.R.)
- USABLE OPEN SPACE REQUIREMENTS: 200SF PER DWELLING UNIT
REQUIRED U.O.S.: 400SF
PER TABLE C, NOTE #3: 25% OF REQ'D U.O.S. ALLOWED ON ROOF OF MAIN BUILDING: 150SF
PROPOSED:
REAR YARD: 330SF
ROOF DECK: 150SF
TOTAL U.O.S.: 480SF
- CHAPTER 3 - USE GROUP CLASSIFICATION :
SECTION 310.0 - R2
- CHAPTER 6 - CONSTRUCTION CLASSIFICATION
TABLE 602 - UNIT SEPERATION - 1HR
SECTION 602.5 - TYPE 5A CONSTRUCTION

PERFORMANCE SPECIFICATIONS:

- EXTERIOR WALLS:
2x6 WOOD FRAMING
R21 MIN INSULATION VALUE (CAVITY)
BASEMENT: R10 CONTINUOUS INSULATION OR
R13 CAVITY INSULATION
 - WINDOWS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .32
REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
5.75F OPERABLE CLEAR AREA,
44" MAX SILL HGT
 - EXTERIOR DOORS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .33
 - CEILING/ROOF
R49 MIN INSULATION VALUE
 - FOUNDATION
10" MIN 2,500PSI MIN
 - STAIRS:
COMMON: 7 1/2" MAX RISER
11" MIN TREAD
INSIDE DWELLING: 8 1/4" MAX RISER
10" MIN TREAD
- HANDRAILS:
34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING,
BALUSTERS: 4" MAX CLEAR WIDTH

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED

- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED

- Room name
- ROOM TAG

- SHEET #
- ELEVATION TAG
- VIEW #
- VIEW #
- SECTION TAG
- SHEET #

- 1HR RATED PARTITION (UL DESIGN U309)
- HEAT DETECTOR - KIDDE HD135F
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

DRAWING LIST

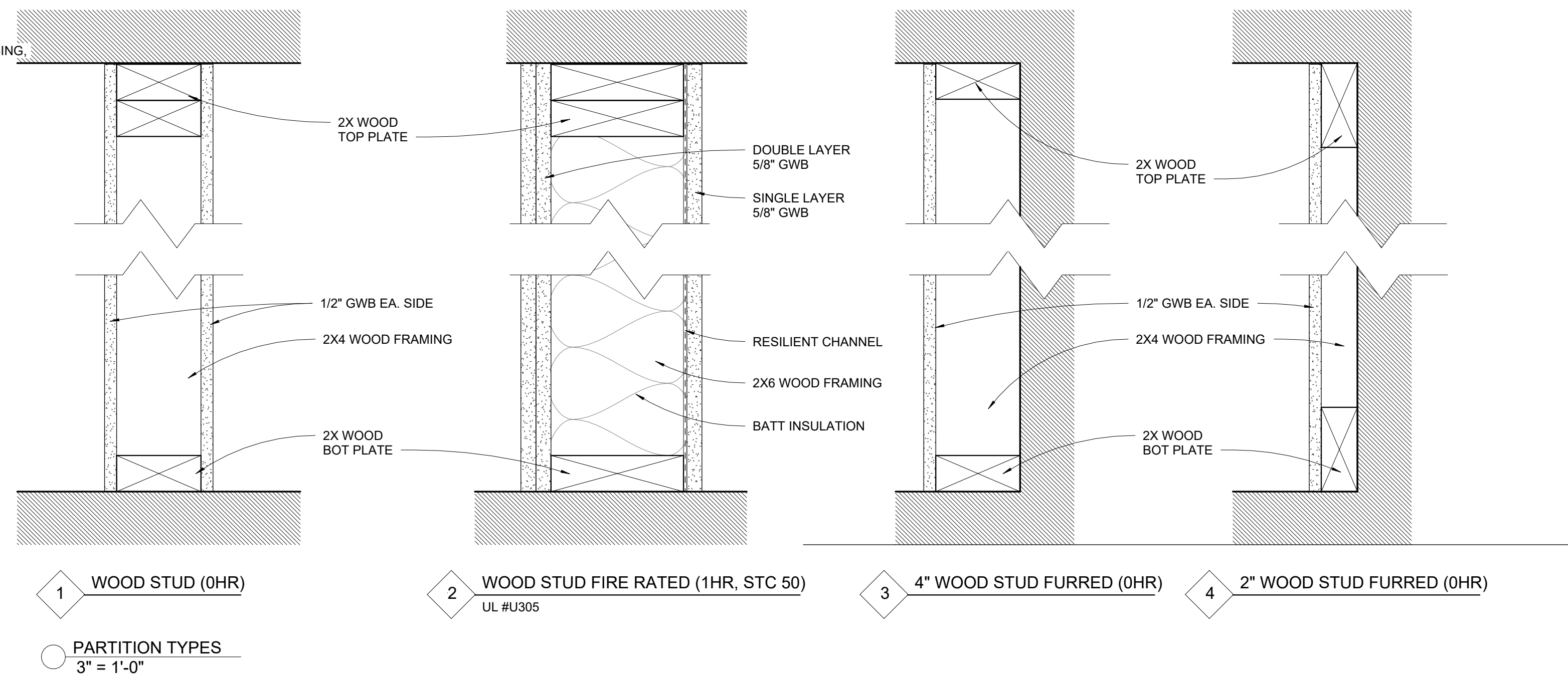
SHEET #	SHEET NAME
A000	TITLE SHEET
A100	FLOOR PLANS - BSMT, 1ST & 2ND
A101	FLOOR PLANS - 3RD, 4TH & ROOF
<varies>	<varies>

GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILINGS (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

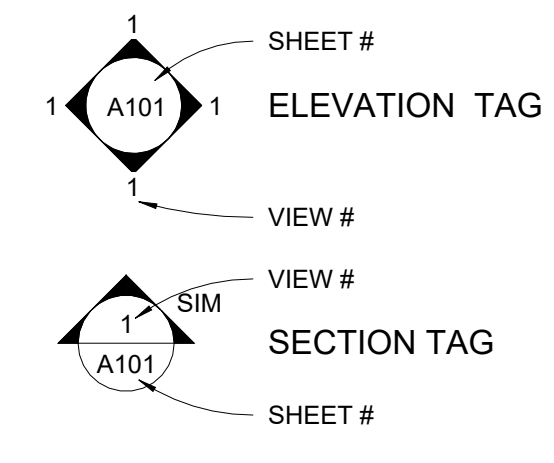
ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MECH	MECHANICAL
AWS	AMERICAN WELDING SOCIETY	MEMB	MEMBRANE
AB	ANCHOR BOLT	MEP	MECHANICAL EQUIPMENT PAD
& OR	AND	MID	MIDDLE
APPROX	APPROXIMATELY	MID-PT	MID-POINT
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
@	AT	MR	MOISTURE RESISTANT
BAL	BALANCE	NFPA	NATIONAL FOREST PRODUCTS ASSOCIATION
BETW	BETWEEN	NOM	NOMINAL
BM	BEAM	NWC	NORMAL WEIGHT CONCRETE
BRG	BEARING	N	NORTH
BLK	BLOCK	NIC	NOT IN CONTRACT
B OR BOT	BOTTOM	NTS	NOT TO SCALE
BEW	BOTTOM EACH WAY	NO OR #	NUMBER
BRKT	BRACKET	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
CIP	CAST-IN-PLACE	OPP	OPPOSITE
CTRD	CENTERED	OD	OUTSIDE DIAMETER
CL	CENTERLINE	OF	OUTSIDE FACE
CLR	CLEAR	P.T.	PRESSURE TREATED
COL	COLUMN	PT	POINT
CONC	CONCRETE	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	PTB	POST-TENSIONED BAR
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONSTJT OR	CONSTRUCTION JOINT	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CJ	CONTROL JOINT	P/C	PRECAST CONCRETE
DET	DETAIL	R	RADIUS
DIA OR Ø	DIAMETER	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
DN	DOWN	REQD	REQUIRED
DWG	DRAWING	RD	ROOF DRAIN
EA	EACH	Ⓢ	SEALANT
ELECT	ELECTRICAL	SCH OR SCHED	SCHEDULE
EL OR ⊕	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SH	SHEET
EMBED	EMBEDMENT	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	S	SOUTH
EXIST	EXISTING	SPECS	SPECIFICATIONS
EXP BOLT	EXPANSION BOLT	SPKR	SPRINKLER
EJ OR EXP JT	EXPANSION JOINT	SQ	SQUARE
EXT	EXTERIOR	STN STL	STAINLESS STEEL
FF	FINISH FACE	STD	STANDARD
FT	FEET OR FOOT	STL	STEEL
FIN	FINISH	ST STL	STAINLESS STEEL
FIN FL	FINISHED FLOOR	STRUCT	STRUCTURAL
FPRF	FIREPROOF	SYM	SYMMETRICAL
FL	FLOOR	TEMP	TEMPERATURE OR TEMPORARY
FD	FLOOR DRAIN	THK	THICK OR THICKNESS
FTG	FOOTING	x	TIMES OR BY
FDN	FOUNDATION	TO	TOP OF
GA	GAGE OR GAUGE	T & B	TOP AND BOTTOM
GALV	GALVANIZED	TOC	TOP OF CURB or CONCRETE
GWB or GYP	GYPSUM WALL BOARD	TOS	TOP OF STEEL
HGT	HEIGHT	TOW	TOP OF WALL
H OR HORIZ	HORIZONTAL	TYP	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
INFO	INFORMATION	V OR VERT	VERTICAL
INCL	INCLUDING OR INCLUSIVE	VIF	VERIFY IN FIELD
ID	INSIDE DIAMETER	W	WEST
IF	INSIDE FACE	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INV	INVERT	WP	WORKING POINT
JT	JOINT		
LWC	LIGHT WEIGHT CONCRETE		
LBS	POUNDS		



SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- HEAT DETECTOR - KIDDE HD135F
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC



FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5116	PROPRIETARY†	1 HOUR FIRE	50 to 54 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION			
One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws at 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 5/8" interior plywood with exterior glue subfloor and 1 5/8" perlite-sand concrete reinforced with No. 19 SWG galvanized hexagonal wire mesh. 3" glass fiber insulation 0.90 pcf in joist space stapled to subfloor.			
PROPRIETARY GYPSUM BOARD			
American Gypsum Company CertainTeed Gypsum, Inc. G-P Gypsum Lafarge North America Inc. National Gypsum Company	5/8" FireBloc Type C 5/8" ProRoc Type C Gypsum Panels 5/8" ToughRock® Fireguard® C 5/8" Firecheck® Type C 5/8" Gold Bond® Brand FIRE-SHIELD Cw Gypsum Wallboard	Approx. Ceiling Weight: Fire Test:	2 pcf UL R3453-7, 5-1-70; Based on UL R3660-7, -8, 11-12-87; R2717-81, 8-18-87; Based on UL R7394, 90NK10635, 10-24-90; Based on UL R8742, 88NK22581, 10-8-88; UL Design L516 UL Design L514
PABCO Gypsum Temple-Inland Forest Products Corporation	5/8" FLAME CUR® Super C' 5/8" TG-C	Sound Test: IIC & Test:	KAL L 224-28-65, 3-30-65 (74 C & P) KAL L 224-27-65, 3-30-65

†Contact the manufacturer for more detailed information on proprietary products.

MINIMUM FLOOR ASSEMBLY (STC 50)

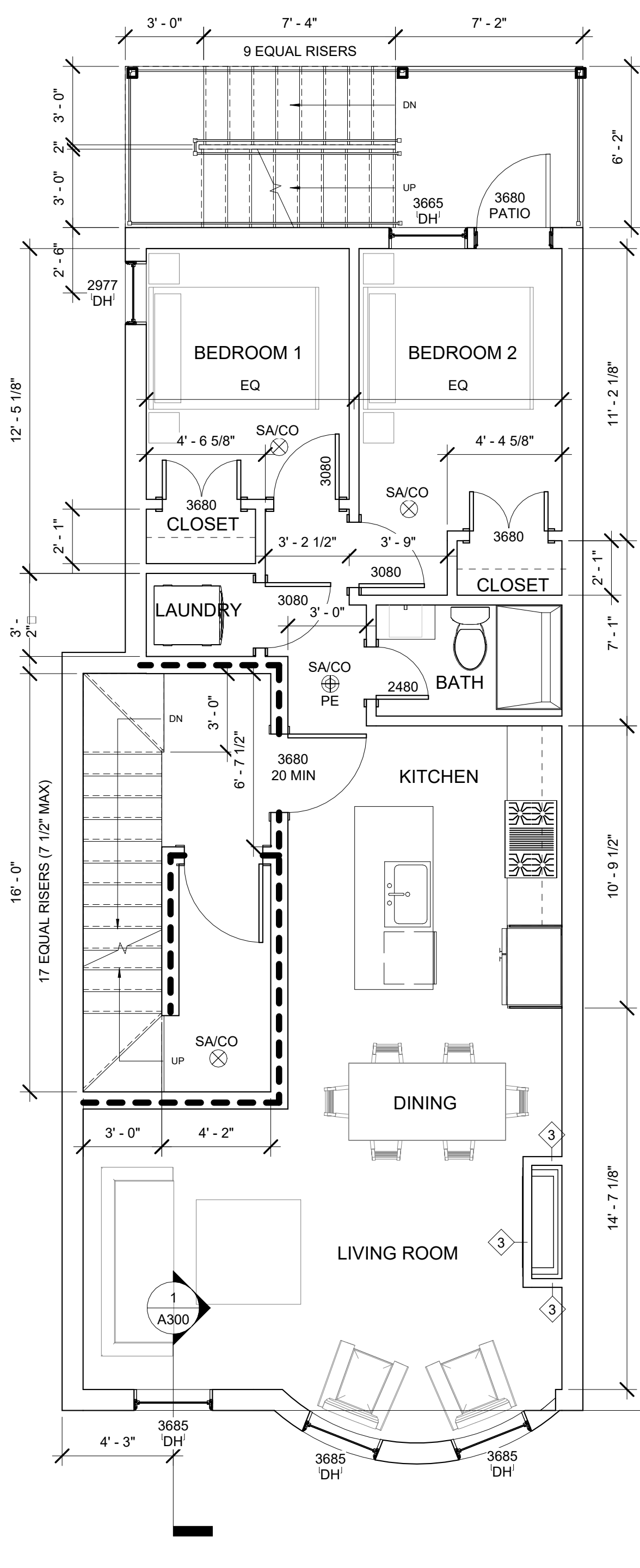
FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 49 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS			
One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 1" nominal T & G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.			
Approx. Ceiling Weight: Fire Test: Sound Test: IIC & Test:			
3 pcf UL R1319-65, 11-16-64 UL Design L514 CK 6512-6, 7, 4-15-65 39(67 C & P) CK 6512-6, 4-15-65			

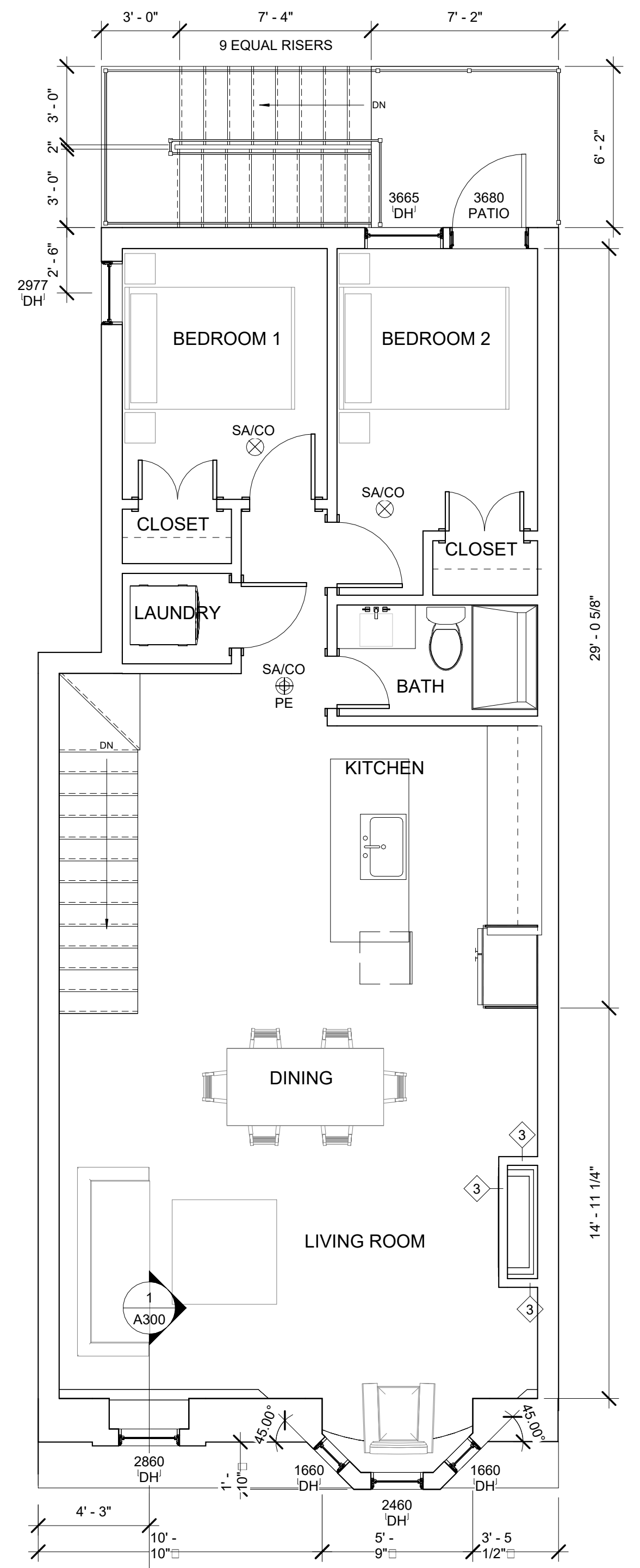
ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILINGS (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

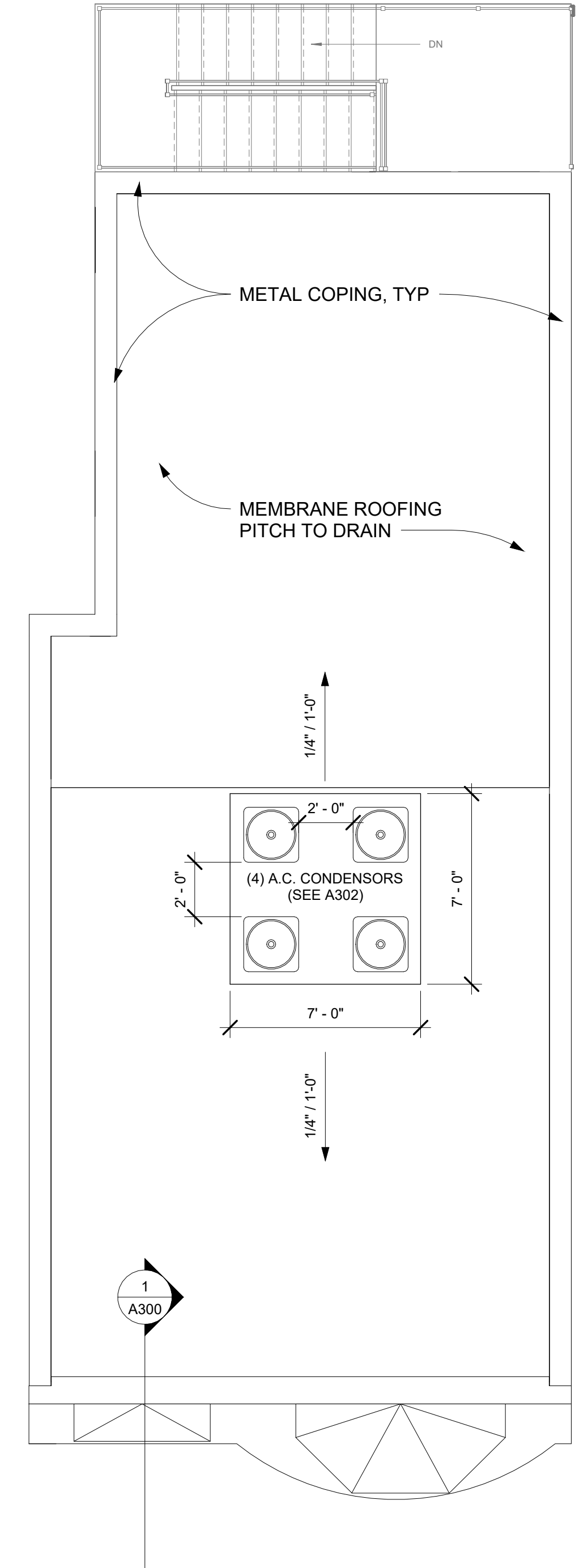


① 3RD FLOOR
 1/4" = 1'-0"
UNIT 3



② 4TH FLOOR
 1/4" = 1'-0"
UNIT 4

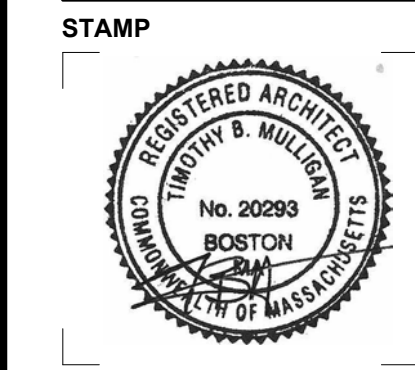
SEE 3RD FLOOR (1/A101) FOR TYPICAL 4TH FLOOR NOTES AND DIMENSIONS



③ ROOF PLAN
 1/4" = 1'-0"

REVISIONS:

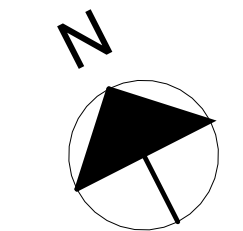
DRAWING TITLE:
FLOOR PLANS - 3RD, 4TH & ROOF



February 23, 2024
 DATE OF ISSUE
 SELDC APPROVAL
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2318.00
 PROJECT #

DRAWING NUMBER:

A101



1/4" = 1'-0"

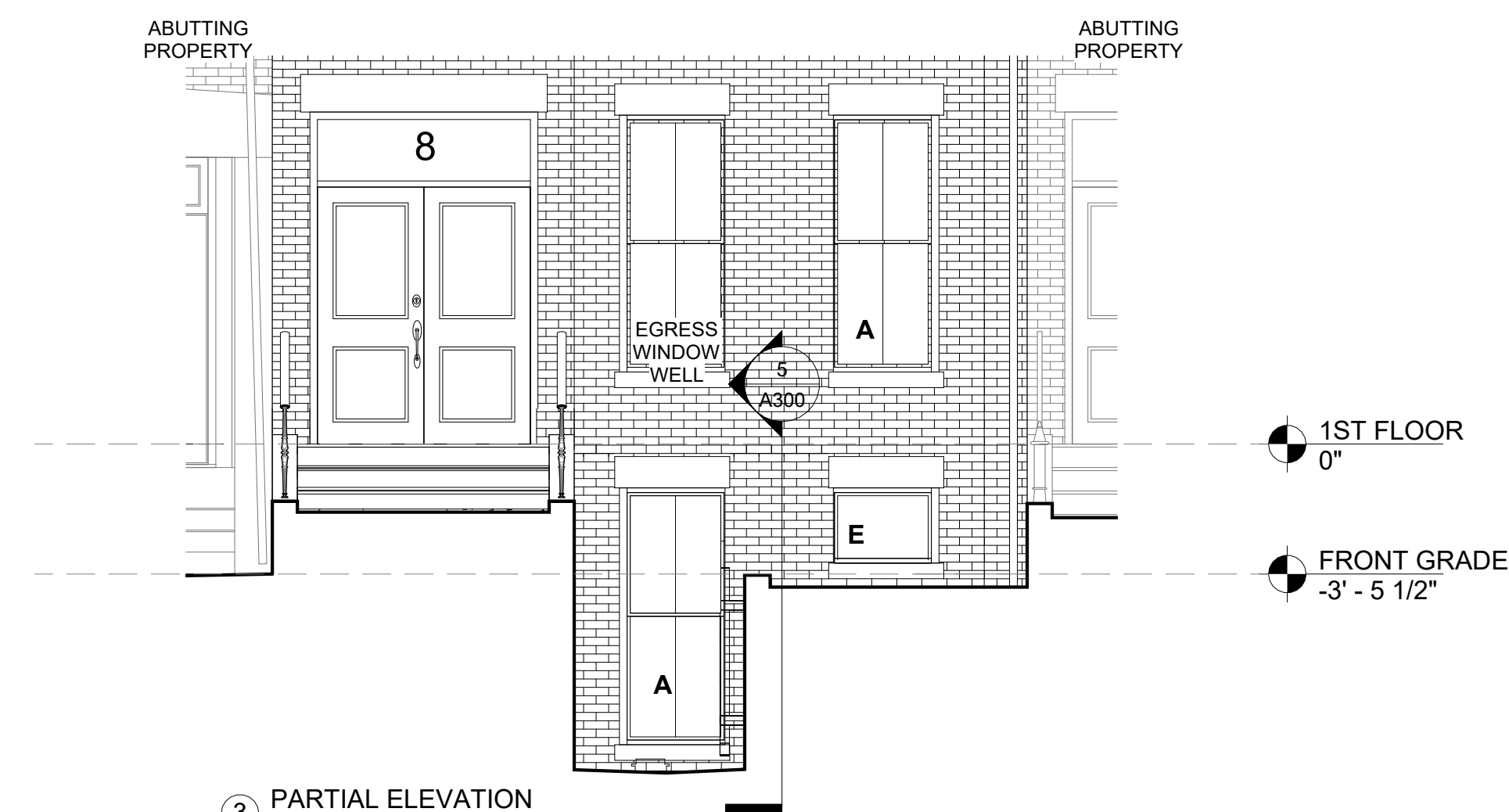
4/20/2024 10:46:50 PM



4-6 SPRINGFIELD

8 SPRINGFIELD

10 SPRINGFIELD



3 PARTIAL ELEVATION
1/4" = 1'-0"

SOUTH END LANDMARK DISTRICT STANDARDS AND CRITERIA (INFORMATIONAL PURPOSES ONLY)

II. NEW CONSTRUCTION

A. GENERAL STATEMENT OF INTENT

1. The District contains vacant parcels of varying sizes and shapes, many of which once held rowhouses. New construction on these sites have a potential for reinforcing and enhancing the streetscape of the South End. Inappropriate design could introduce the intrusive elements of incompatible bulk, material and detail. To insure that new construction has a positive effect on the historic physical character of the Landmark District, proposals for new construction will be reviewed for compatibility with the existing architecture in such critical factors as land coverage, bulk, material, and proportion. Therefore, the focus of the standards and criteria is on the compatibility of new construction with the existing character of the South End without dictating style or taste.

2. Plans of proposed new construction shall be submitted to the South End District Subcommittee for review. A building permit may not be issued prior to the issuance of a Certificate of Design Approval or of Exemption.

3. These regulations shall apply only to facades visible from a public street or avenue, existing or proposed, in accordance with Sections 1.A., 3 and 5.

4. For buildings of monumental character, such as schools, churches, or other institutional uses, the Commission may waive portions of these standards and criteria which it deems to be inappropriate. The standards and criteria pertaining to height and materials shall be enforced. Where a new non-residential building has frontage on a block of predominantly residential rowhouse character, the Commission may require stricter adherence to these standards and criteria for that frontage alone.

5. The Landmark Commission shall determine the required degree of conformity of the new construction to the architecture of adjacent buildings, according to the strength of the existing neighborhood design and the configuration of the parcels to be developed. The applicable definitions and intent of the two categories are as follows:

- a. Category A, defined as any vacant parcel or collection of parcels that share a party wall with an existing structure. Within this category, stricter conformity will be required of the new construction on the narrower parcels, especially those with existing buildings adjoining two sides, corner parcels, and parcels on a block of exceptionally strong or uniform character.
- b. Category B, defined as any parcel or group of parcels which is not abutted by an existing structure. Within this category, less strict conformity to existing neighborhood design will be required.

6. Traditional architectural designs are permitted if in nineteenth century styles which are appropriate to the Landmark District, but shall not be expressly required by these standards and criteria.

7. These regulations shall not be deemed to supplant or nullify provisions of the Boston Zoning Ordinance or Sign Code, beyond the immediate scope of these provisions, nor any portion of the Massachusetts Building Code.

B. HEIGHTS

1. The maximum height of any new construction shall be seventy feet, and minimum shall be thirty feet, the latter being exclusive of eaves.
2. Within this limitation, the following shall apply to any new construction on parcels in Category A:
 - a. The new building shall have the same height and cornice line as adjacent existing buildings having common property lines.
 - b. In the event a new building has two such abutters of differing heights and cornice lines, it shall conform to one of them, or it may step to match, i.e., each at the common property line.
 - c. In the event the height of the adjacent existing building is greater or smaller than the overall limitation, or is radically different from the remainder of the block, the Commission may set the height for the new building.

C. SETBACK:

1. The maximum setback for a new building shall be ten feet, except as follows:
 - a. A new building in Category A shall have the same setback as adjacent buildings having common property lines.
 - b. In the event a new building in Category A has two such abutters with different setbacks, it shall have the same setback as one of them, or it may step to match both of them.
 - c. A corner building in Category A shall have the same setback as its abutters on the primary frontage. No setback is required on the secondary frontage; if one is provided, it shall be the same as the adjacent building on the secondary frontage.

D. LOT COVERAGE:

A new building shall occupy the full width of its primary frontage, at the property or setback line.

E. BUILDING MATERIALS:

The following materials shall be required on all exterior surfaces within the scope of these regulations:

1. Walls shall be of masonry construction similar in color and texture to the majority of adjacent buildings. In general, smooth-textured red brick in standard size and coursing is acceptable; a standard brick being defined as 2 1/4" x 4" x 8", nominal dimension. Other materials will be judged on their own merits and the neighborhood design context.
2. Exterior steps shall be of stone, or concrete having the appearance of stone on exposed surfaces. Lintels and sills, if expressed, shall be of similar material.
3. Cornices, if expressed, shall be of brick, wood or a combination thereof. If metal is used as a flashing or covering, it shall be of an appropriate finish or color; white or shiny metal other than copper is unacceptable.
4. Windows, storm sash and trim shall be wood or anodized aluminum in appropriate colors and finishes; white or shiny metal is unacceptable.
5. Visible roofs, such as mansards and gables, shall be of slate or of composition shingle similar in appearance to slate. Metal may be allowed if subdued in color and detail; white or shiny metal other than copper is unacceptable.

2. Window openings shall approximate the number, size and positioning of those of its abutters. The vertical dimension of the opening should exceed the horizontal.
3. The entrance doorway shall approximate those of adjacent buildings in overall size, proportion and position.
4. For new buildings in either category, the use of elements which give the existing buildings of the district their essential character is recommended. Where used, they should approximate the proportions and materials of the existing buildings. These elements include, but are not limited to the following:
 - a. Bay, bow, oriel, and dormer windows
 - b. Mansard and gable roofs
 - c. Cornices
 - d. Exterior steps
 - e. Decorative ironwork, railings and fences
 - f. Recessed doorways
 - g. Entrance canopies
 - h. Chimneys
 - i. Exterior lighting

III. PUBLIC AREAS

A. GENERAL

The intent is to retain and improve those aspects of the public areas which contribute to and enhance the character of the South End. Alterations to existing street layouts or proposed new streets must be reviewed for conformance to the criteria below:

1. **Sidewalks and Curbs:**
 - a. Public sidewalks should be designed and constructed to reinforce the character of the district.
 - b. Granite and brick are preferred materials, but concrete walking surface may be allowed after review. Existing brick sidewalks must be repaired and restored. New or repaired concrete sidewalks must be approved for color or tone, and may not be patched with asphalt.
 - c. Granite curbs must be retained and raised wherever possible.
 - d. Existing sidewalks shall not be reduced in width.
 - e. Permanent use of Jersey barriers is not allowed.

B. SIDEWALKS

The intent is to retain and improve those aspects of the public areas which contribute to and enhance the character of the South End. Alterations to existing street layouts or proposed new streets must be reviewed for conformance to the criteria below:

1. **Sidewalks and Curbs:**
 - a. Public sidewalks should be designed and constructed to reinforce the character of the district.
 - b. Granite and brick are preferred materials, but concrete walking surface may be allowed after review. Existing brick sidewalks must be repaired and restored. New or repaired concrete sidewalks must be approved for color or tone, and may not be patched with asphalt.
 - c. Granite curbs must be retained and raised wherever possible.
 - d. Existing sidewalks shall not be reduced in width.
 - e. Permanent use of Jersey barriers is not allowed.

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:

EXTERIOR
ELEVATIONS

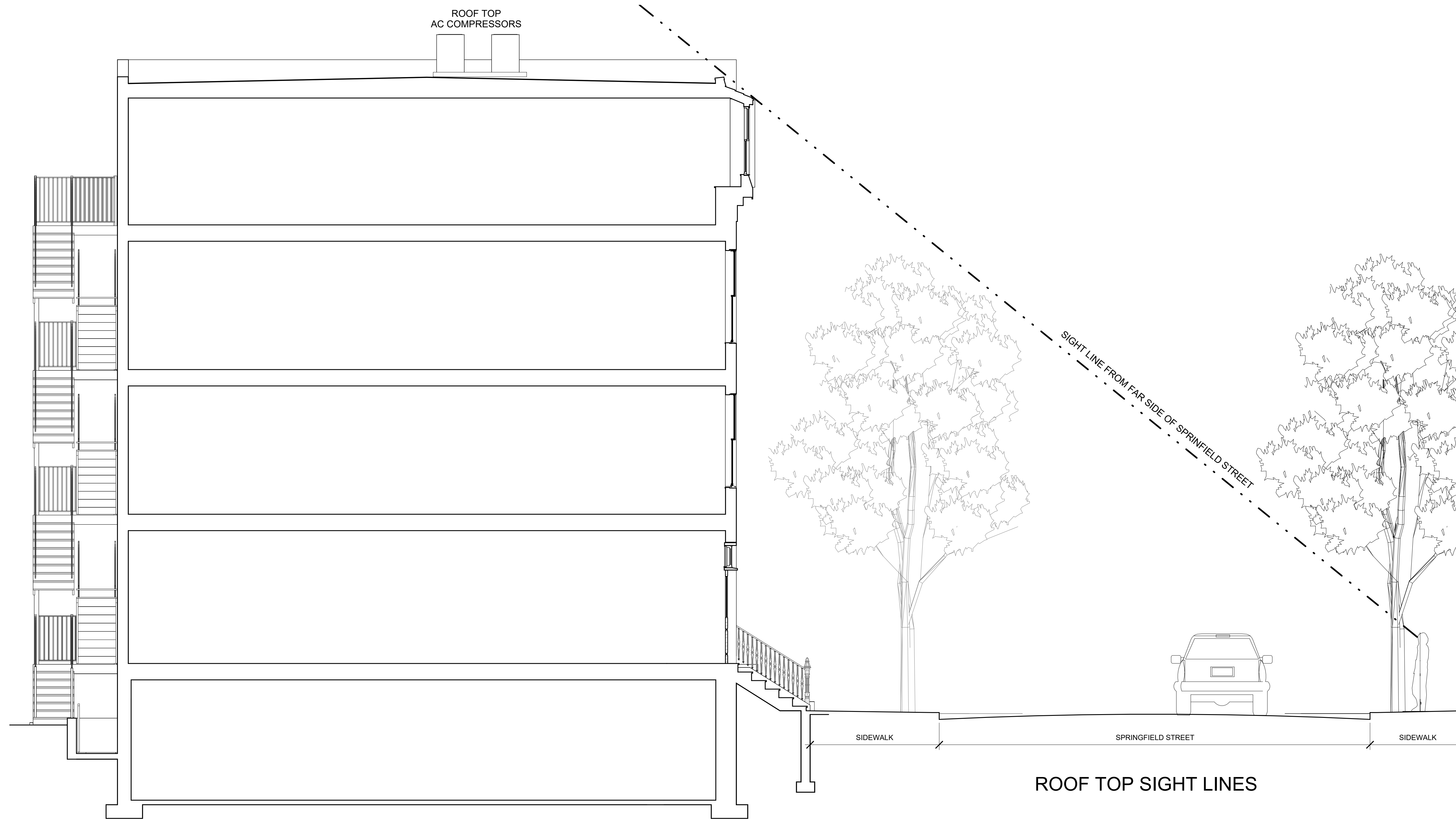
STAMP

February 23, 2024
 DATE OF ISSUE
 SELDC APPROVAL
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2318.00
 PROJECT #

DRAWING NUMBER:

A200

1/4" = 1'-0" (VERTICAL SCALE)

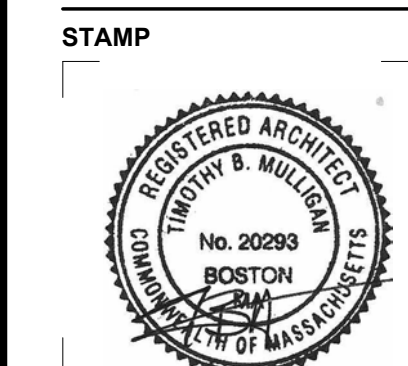


① SITE SECTION
1/4" = 1'-0"

4/20/2024 10:46:28 AM

REVISIONS:

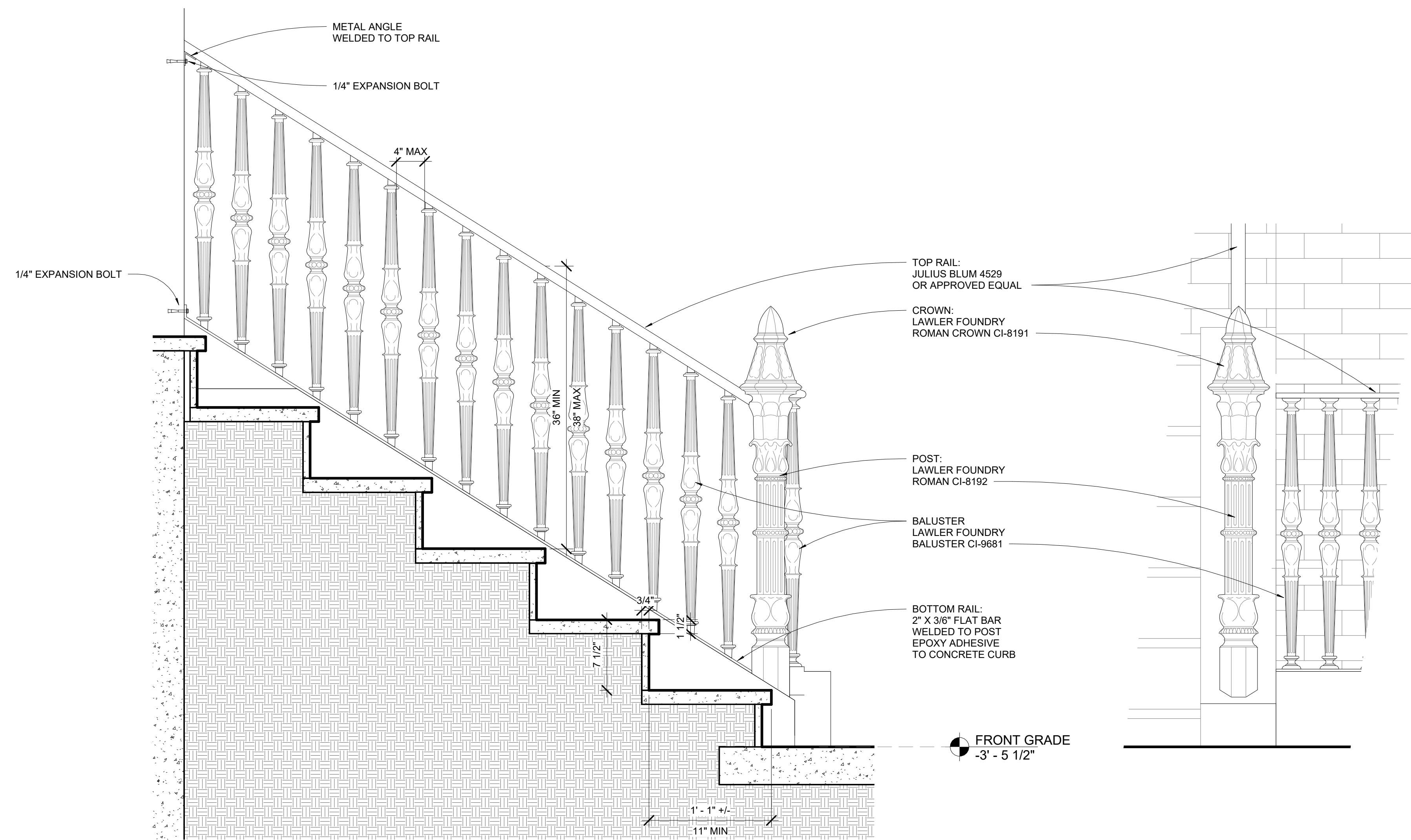
DRAWING TITLE:
**SITE
 SECTION**



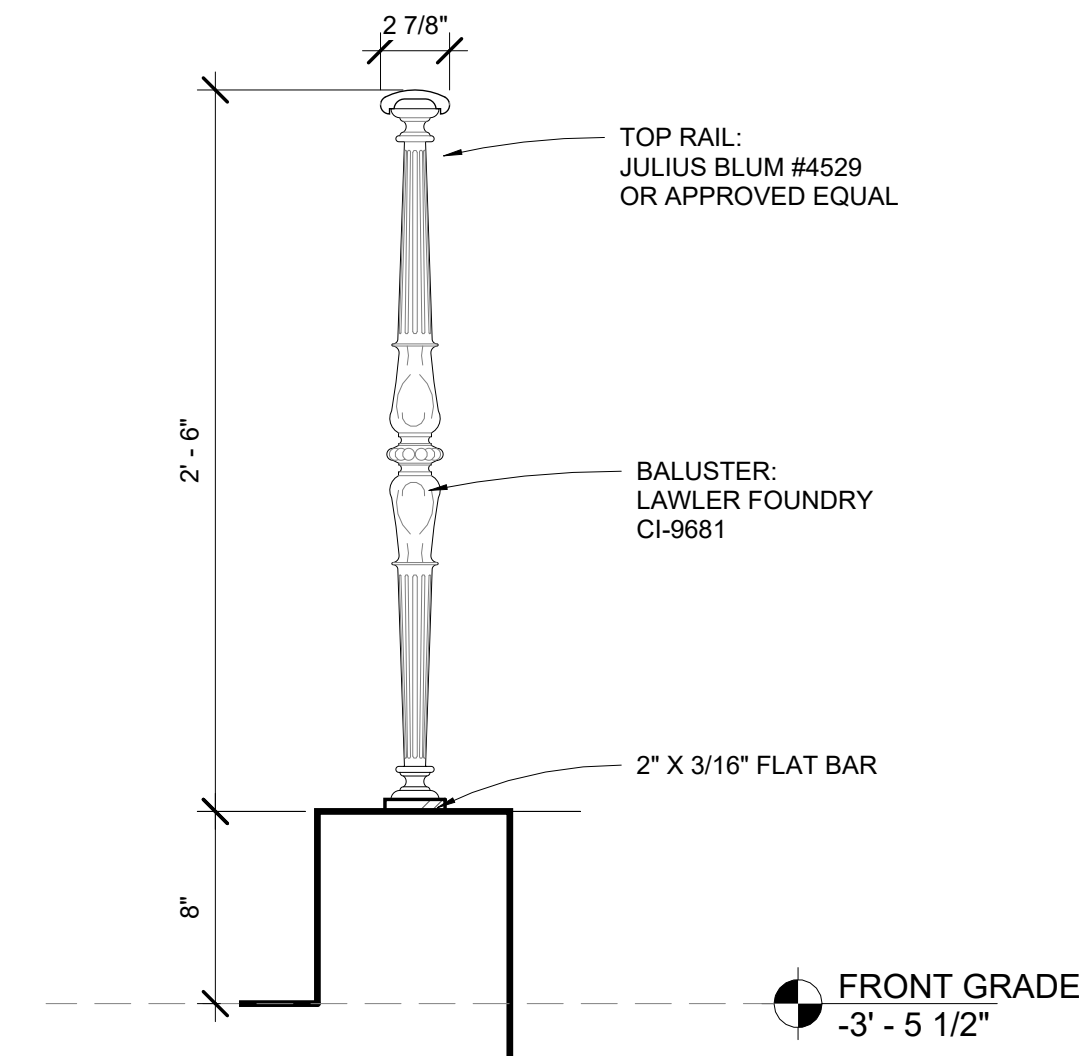
February 23, 2024
 DATE OF ISSUE
 SELDC APPROVAL
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2318.00
 PROJECT #

DRAWING NUMBER:

A201



② RAILING ELEVATION DETAIL
 1 1/2" = 1'-0"



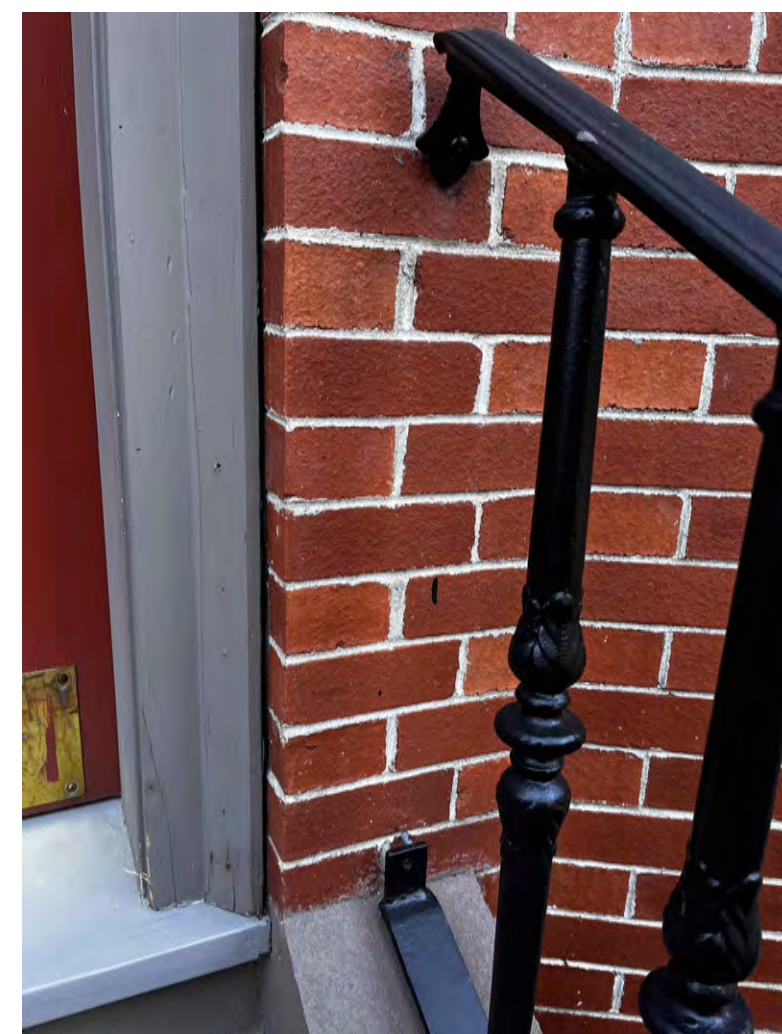
③ BALUSTER DETAIL
 1 1/2" = 1'-0"



Two Half Sections
ROMAN CROWN
#CI-8191



BOTTOM RAIL TO CURB AND CORNER POST

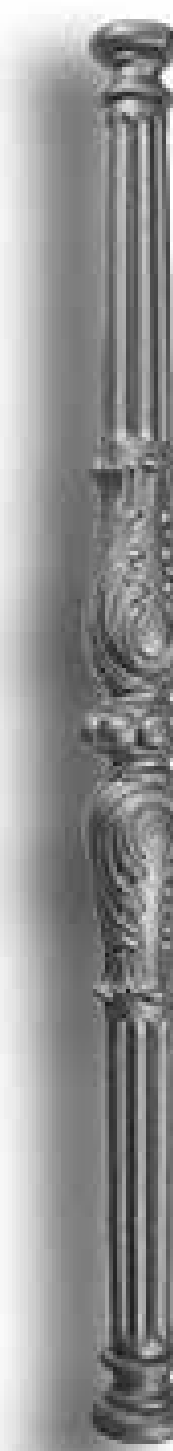


TOP & BOTTOM RAIL TO MASONRY



TOP RAIL TO CORNER POST

BALUSTER AND CORNER POST CHOSEN TO MATCH THE STYLE AND PROFILE OF THE EXISTING RAILING AT THE ABUTTING PROPERTY AT #10 EAST SPRINGFIELD.



BALUSTER
#CI-9681

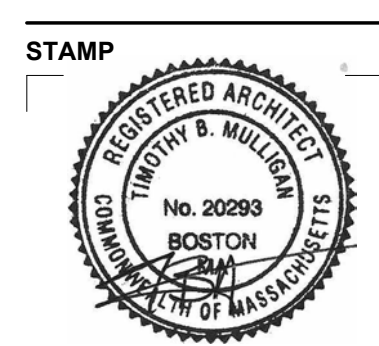


Two Half Sections
ROMAN POST
#CI-8191

RAILING PRECEDANT SAMPLES FROM THE ABUTTING PROPERTY AT #10 E. SPRINGFIELD

REVISIONS:

DRAWING TITLE:
DETAILS

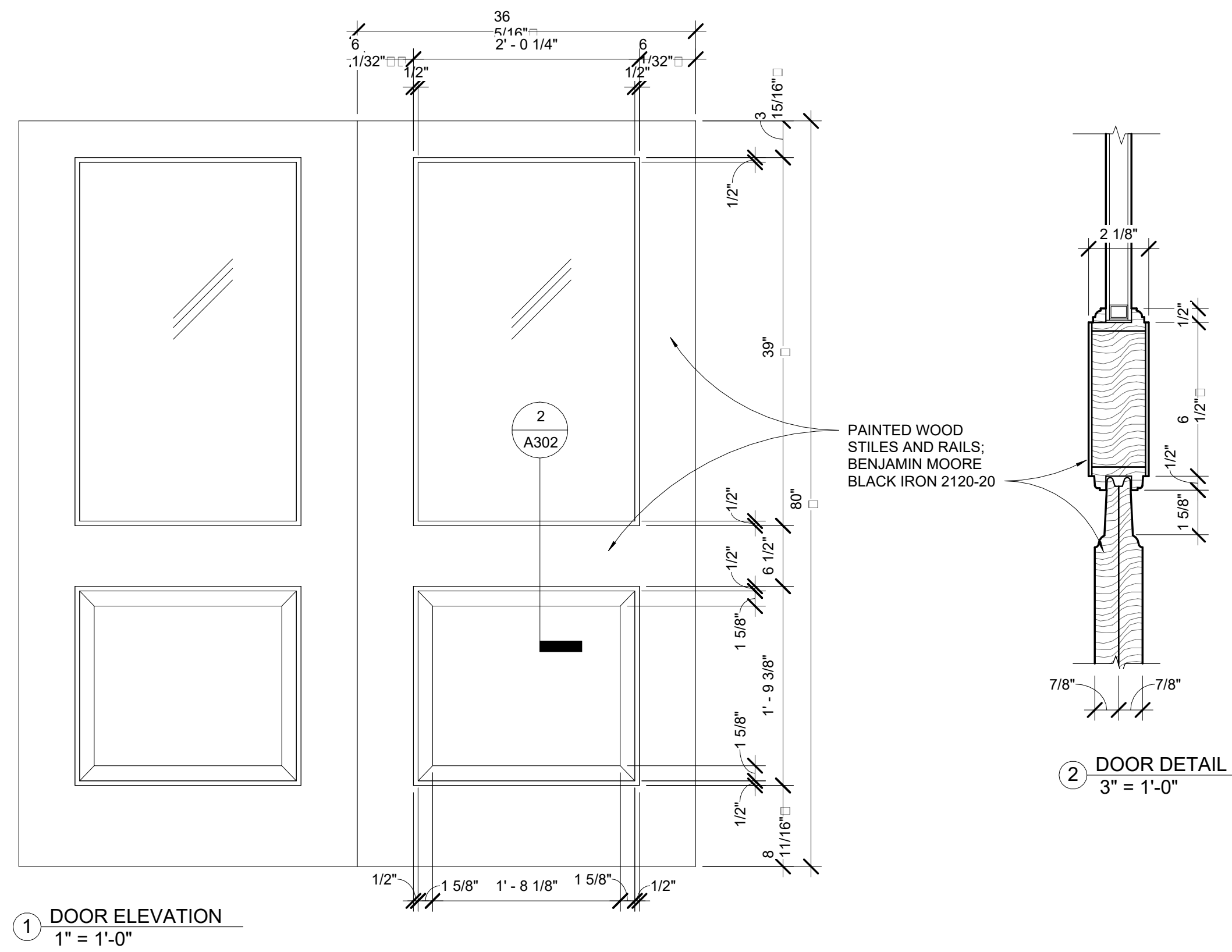


February 23, 2024
 DATE OF ISSUE
 SELDC APPROVAL
 DOCUMENT PHASE
 1 1/2" = 1'-0"
 SCALE
 2318.00
 PROJECT #

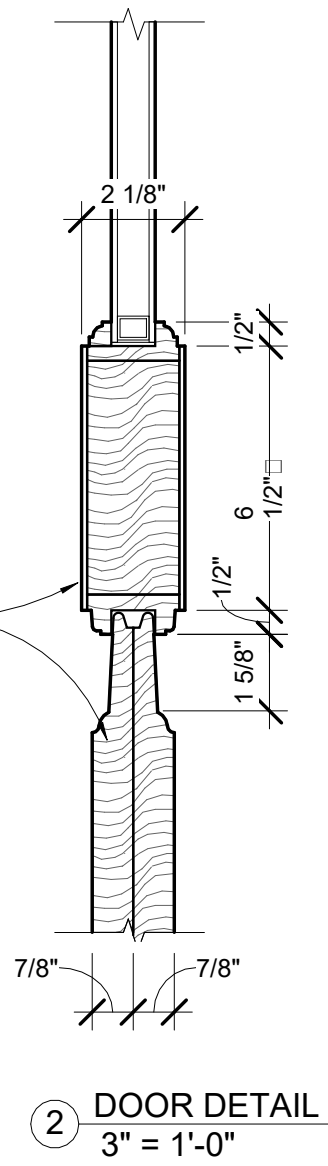
DRAWING NUMBER:



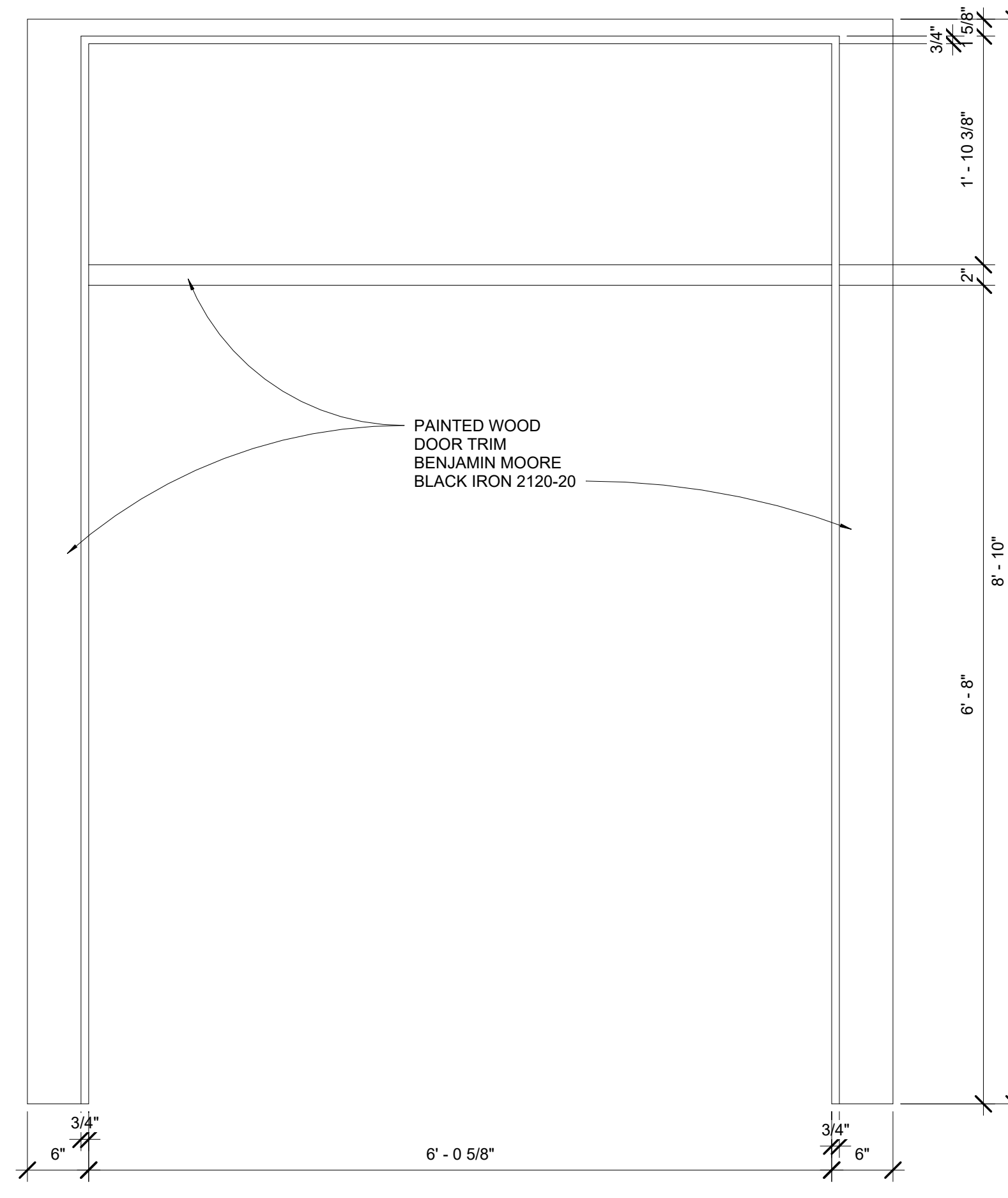
15/03/2024 10:58:31 AM



1 DOOR ELEVATION
1" = 1'-0"



2 DOOR DETAIL
3" = 1'-0"



3 DOOR FRAME
1" = 1'-0"

Simpson
Door Company

INSPIRATION
AT YOUR DOOR

QUOTE #: P4652091-100-1
QUOTE VALID THROUGH: 2/14/2024

7081 Thermal Sash

SERIES: Exterior French & Sash Doors
DOOR DESIGN: 7081
QUANTITY: 1

DOOR SPECIFICATIONS

SPECIES: Fir
WOOD GRADE: Select
WIDTH: 3'-0 5/16"
HEIGHT: 6'-8"
THICKNESS: 1 3/4"
PROFILE: Ovolo Sticking
GLASS: Clear / Clear w/ Film
PANEL: 1-7/16" Innerbond DHRP
ADDITIONAL OPTIONS:
UltraBlock® Technology
Solid Bottom Rail
Carloned
PYD

ENTRY DOOR



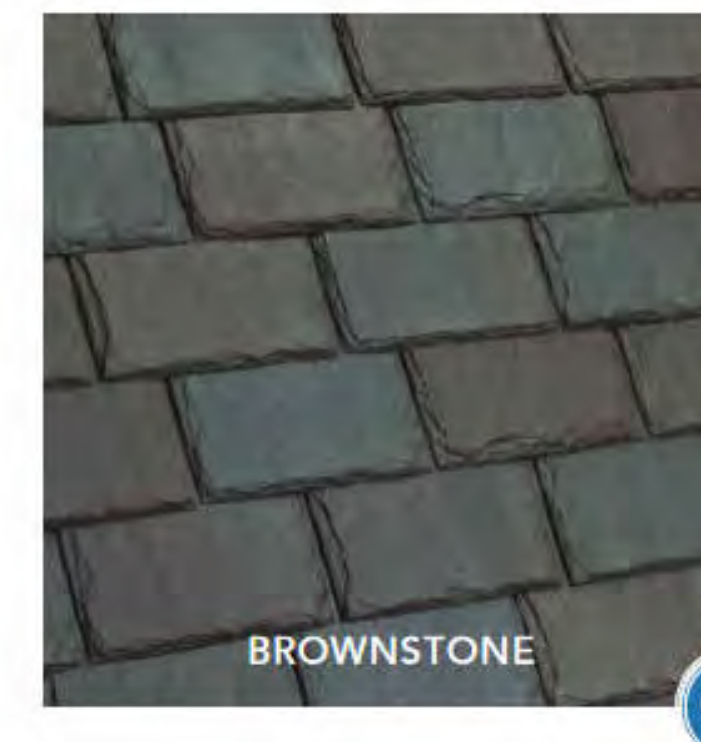
XV20i TruComfort
Variable Speed Air Conditioner
AC COMPRESSOR



CRAFTMADE
ARGENT II 1-LIGHT 6" OUTDOOR WALL LIGHT
EXTERIOR LIGHTING



SINGLE-WIDTH SLATE



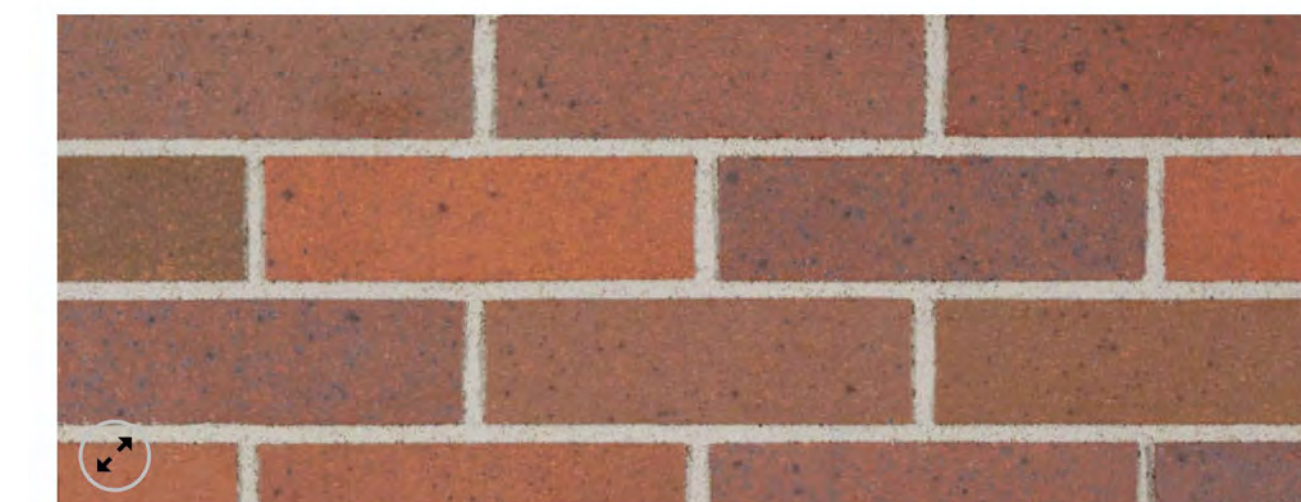
BROWNSTONE



ROOFING



SPALDING BRICK
COMPANY, INC.
an employee owned company



BRICK VENEER - BELDEN DARK 470-470

MASONRY



CAST STONE: HC-69



WOOD TRIM: 2120-20

PAINT BENJAMIN MOORE

ARCHITECT
S47a
studios architects, inc
517 Boston Post Rd
Suite #30
Sudbury, MA 01776
P: 508.500.4730
www.s47a.com

PROJECT:
**Springfield Street
Residences**
8 Springfield St
Boston, MA 02118

CLIENT:
River Front Realty
275 Main St
Boston, MA

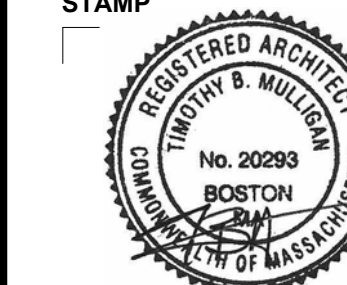
PROJECT TEAM:

REVISIONS:

DRAWING TITLE:

MATERIALS

STAMP



February 23, 2024

DATE OF ISSUE

SELDC APPROVAL

DOCUMENT PHASE

As Indicated

SCALE

2318.00

PROJECT #

DRAWING NUMBER:

A302

15/03/2024 10:58:31 AM

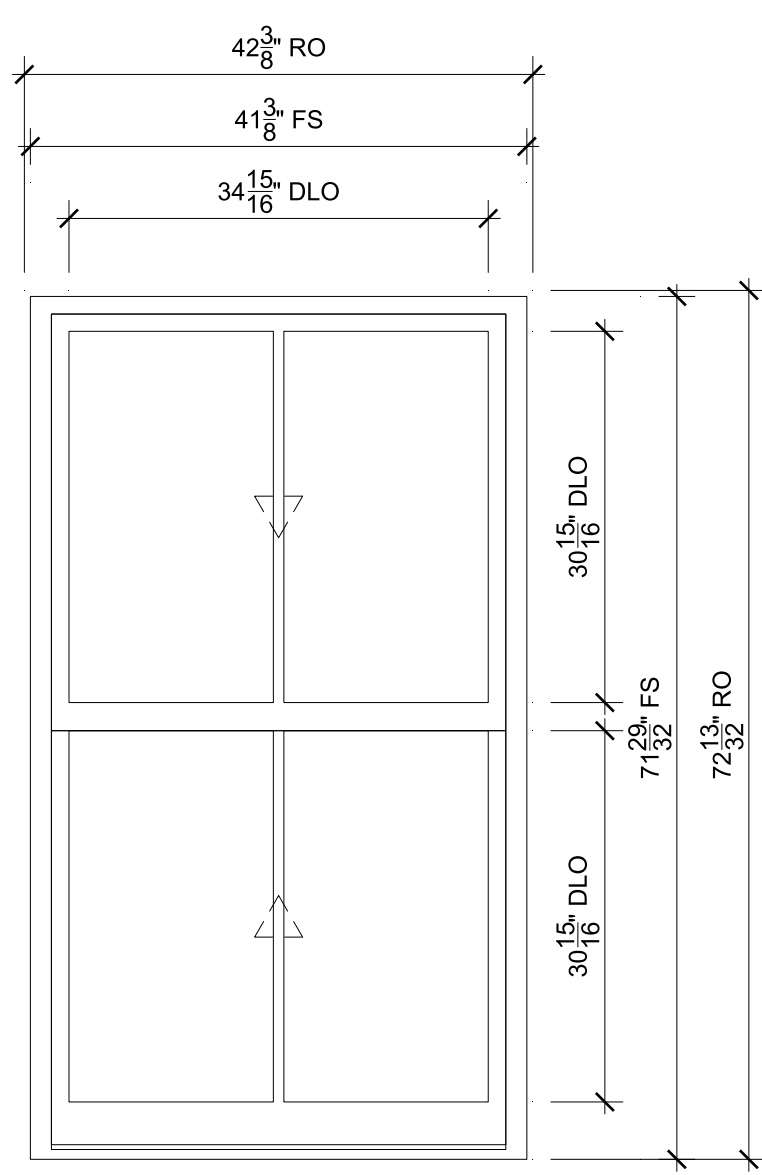
ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department at Marvin Windows & Doors, P.O. Box 100, Grand Rapids, Michigan 49503. The purchaser must also return a copy of these drawings to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

PROJ/JOB: RIVER FRONT 8 SPRINGFIELD / RIVER FRONT 8 SPRINGFIELD
 DIST/DEALER: KOOPMAN LUMBER-GO
 DRAWN: LEE HARPER
 QUOTE#: FCL0UGX

REVISION:

CREATED: 04/30/2024

PK VERSION: 0004.08.00

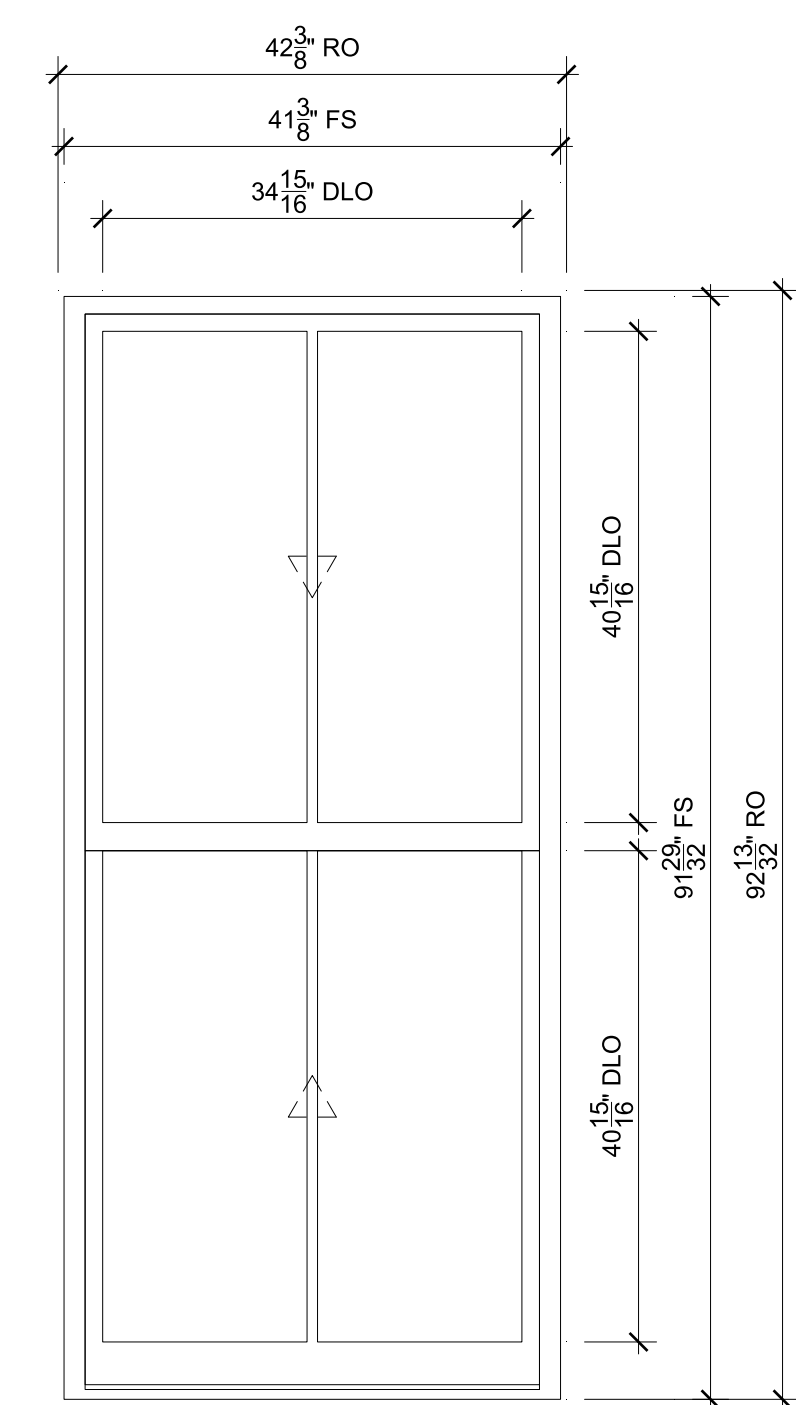


A
 SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

SPECIFICATIONS

Line #: 1
 Qty: 9
 Mark Unit: A
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 42 3/8" X 72 13/32"
 Frame Size: 41 3/8" X 71 29/32"
 Masonry Opening: 41 7/8" X 72 5/32"
 Sash Opening: 42 3/8" X 72 13/32"
 Inside Opening: 42 3/8" X 72 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN3632
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Subsill: Subsill Type : None

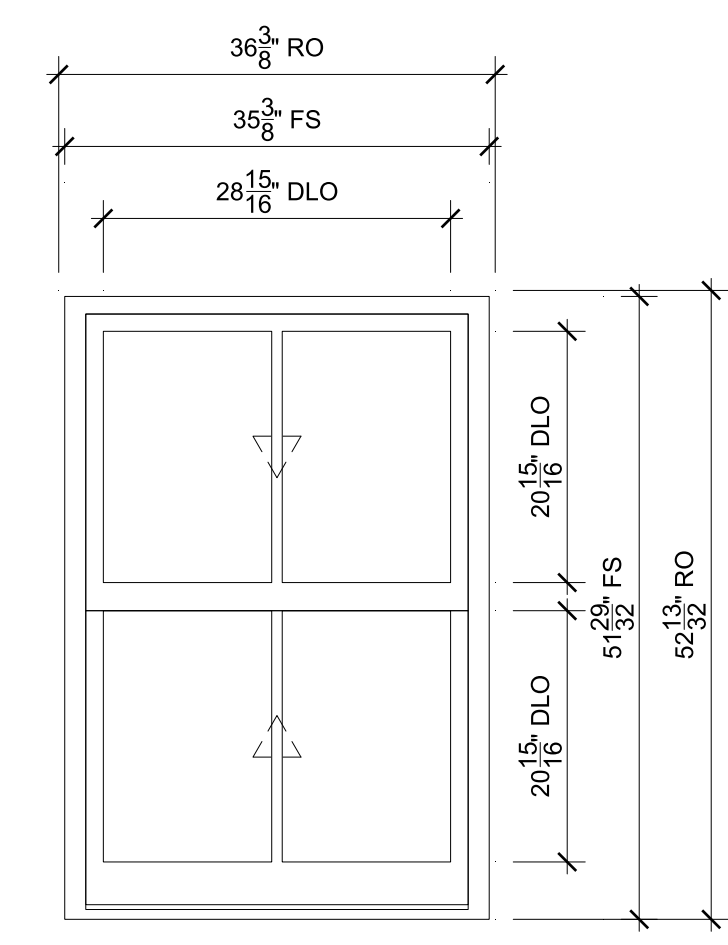


A
 SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

SPECIFICATIONS

Line #: 2
 Qty: 2
 Mark Unit: A
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 42 3/8" X 92 13/32"
 Frame Size: 41 3/8" X 91 29/32"
 Masonry Opening: 41 7/8" X 92 5/32"
 Sash Opening: 42 3/8" X 92 13/32"
 Inside Opening: 42 3/8" X 92 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN3642
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Subsill: Subsill Type : None

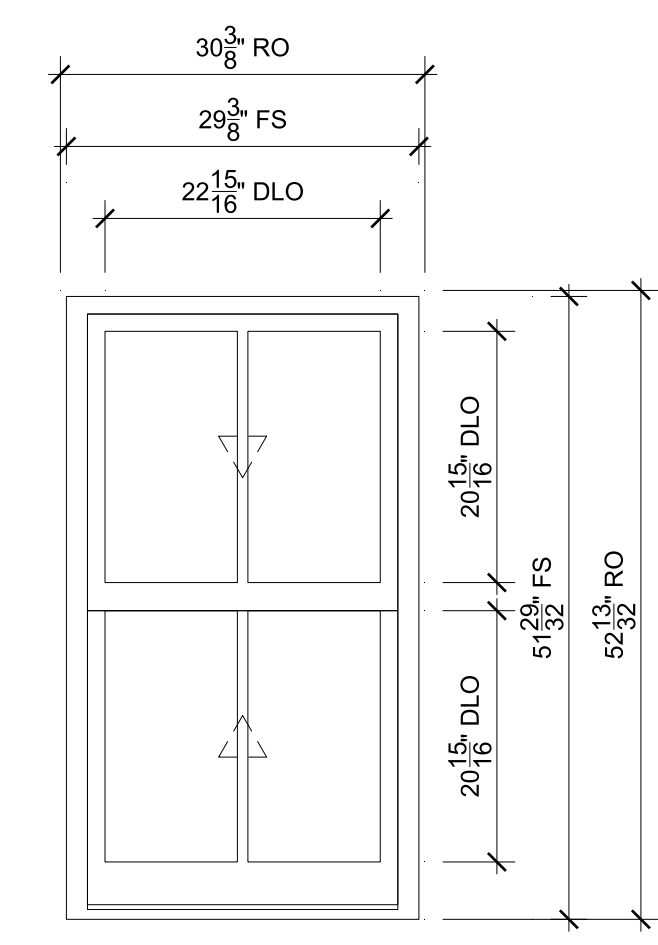


B
 SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

SPECIFICATIONS

Line #: 3
 Qty: 2
 Mark Unit: B
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 36 3/8" X 52 13/32"
 Frame Size: 35 3/8" X 51 29/32"
 Masonry Opening: 35 7/8" X 52 5/32"
 Sash Opening: 36 3/8" X 52 13/32"
 Inside Opening: 36 3/8" X 52 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN3022
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Subsill: Subsill Type : None

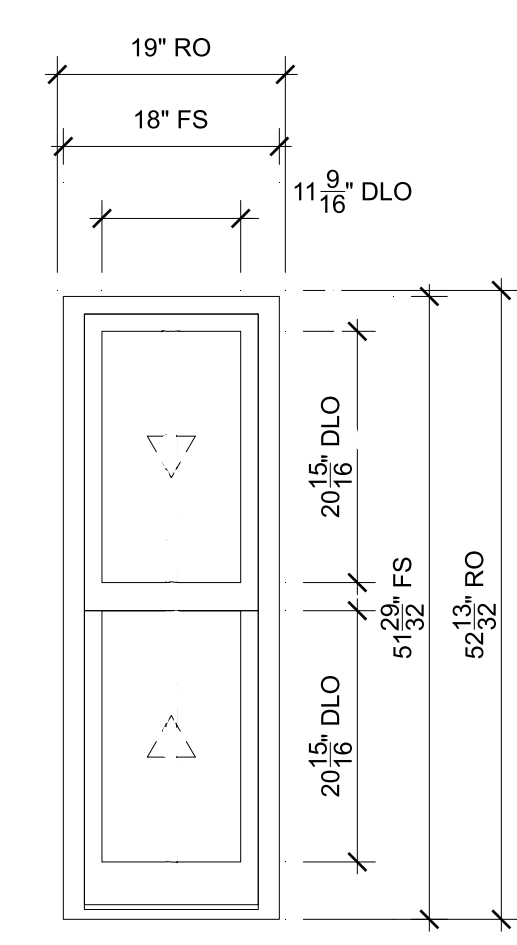


C
 SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

SPECIFICATIONS

Line #: 4
 Qty: 1
 Mark Unit: C
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 30 3/8" X 52 13/32"
 Frame Size: 29 3/8" X 51 29/32"
 Masonry Opening: 29 7/8" X 52 5/32"
 Sash Opening: 30 3/8" X 52 13/32"
 Inside Opening: 30 3/8" X 52 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN2422
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Subsill: Subsill Type : None



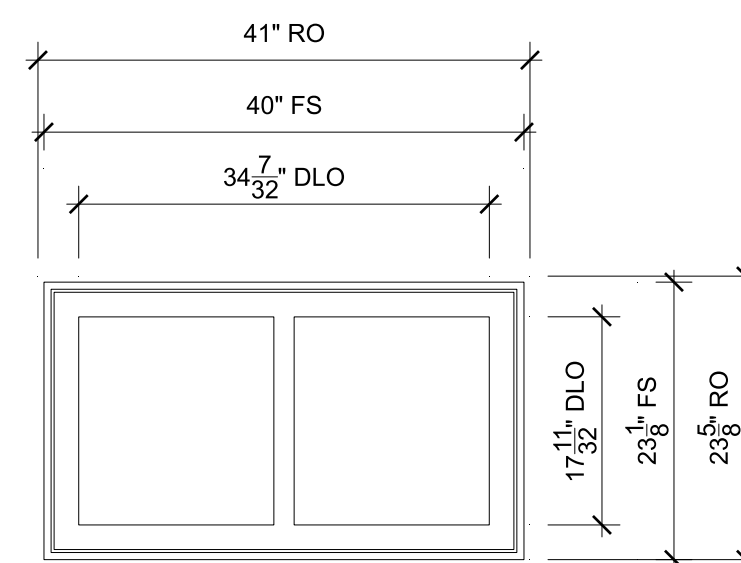
D
 SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Jamb
- ⊕ Sill
- ⊕ Checkrail

SPECIFICATIONS

Line #: 5
 Qty: 2
 Mark Unit: D
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 19" X 52 13/32"
 Frame Size: 18" X 51 29/32"
 Masonry Opening: 18 1/2" X 52 5/32"
 Sash Opening: 19" X 52 13/32"
 Inside Opening: 19" X 52 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN22 height
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Subsill: Subsill Type : None

ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department at Marvin Windows & Doors, 10000 Grandview Avenue, Suite 100, Grandview, MO 64030. The purchaser's signature must be returned to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.



*** E**
 SCALE: 3/4" = 1'-0"

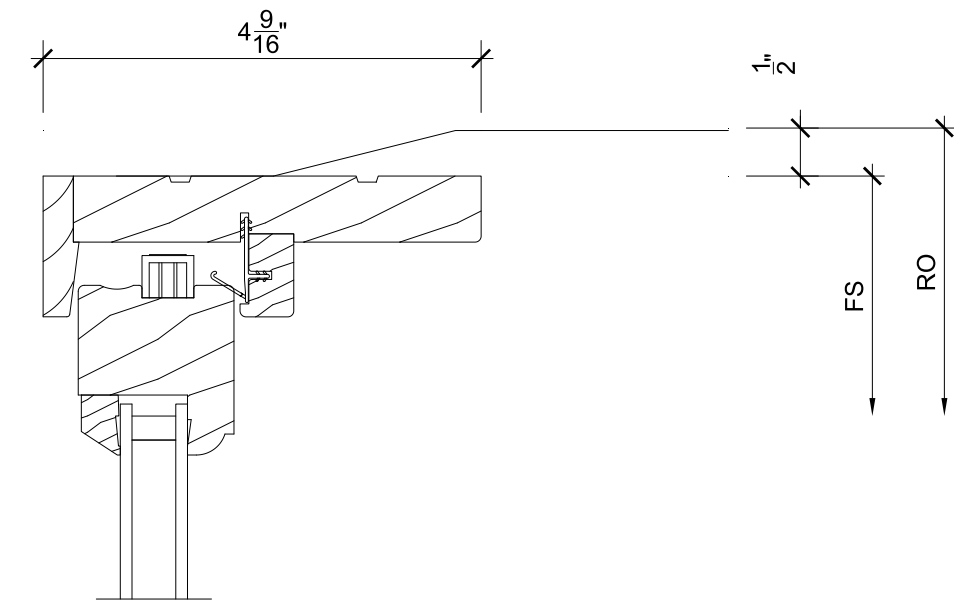


SPECIFICATIONS

Line #: 6
 Qty: 1
 Mark Unit: E
 Product Line: Ultimate Wood
 Unit Description: Casement
 Rough Opening: 41" X 23 5/8"
 Frame Size: 40" X 23 1/8"
 Masonry Opening: 40 1/2" X 23 3/8"
 Sash Opening: 41" X 23 5/8"
 Inside Opening: 41" X 23 5/8"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Casement, Stationary
 Call Number: CN4024
 Glass Information: IG, Low E2 w/Argon, Black
 Divider Type: Rectangular ADL
 Hardware Type: None
 Screen Type: None
 Hardware Color: None
 Screen Surround Color: None
 Screen Mesh Type: None
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Sub sill: Sub sill Type : None

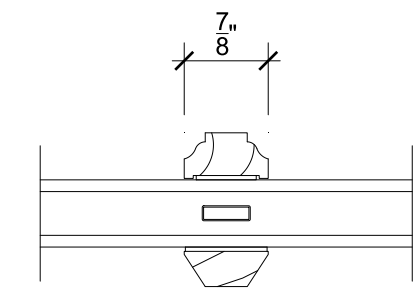
* The quote for this unit has an error on it. Please verify availability prior to order.

PROJ/JOB: RIVER FRONT 8 SPRINGFIELD / RIVER FRONT 8 SPRINGFIELD
 DIST/DEALER: KOOPMAN LUMBER-GO
 DRAWN: LEE HARPER
 QUOTE#: FCL0UGX
 PK VERSION: 0004.08.00
 CREATED: 04/30/2024
 REVISION:



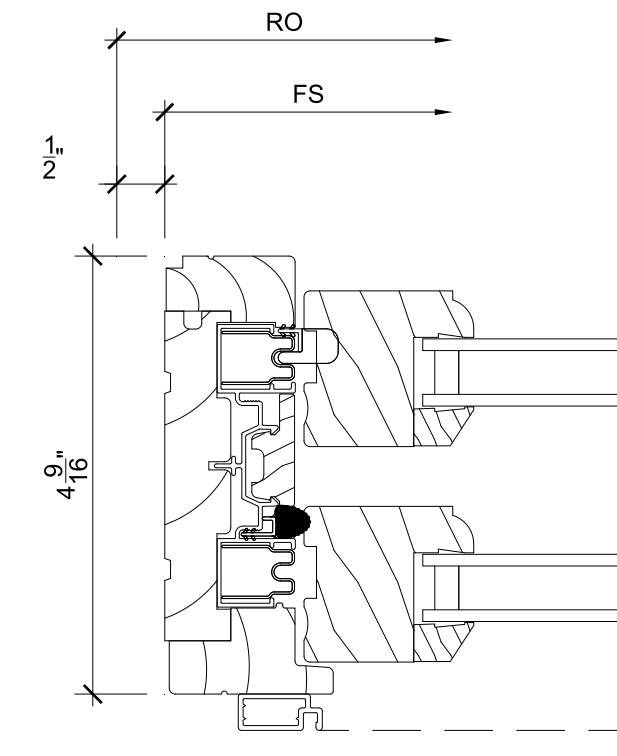
1
3 Head

SCALE: 6" = 1'-0"



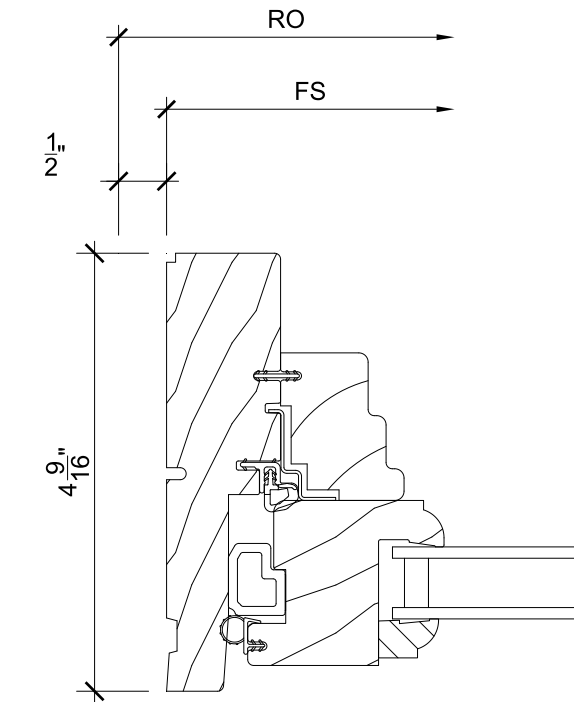
4
3 Divided Lite

SCALE: 6" = 1'-0"



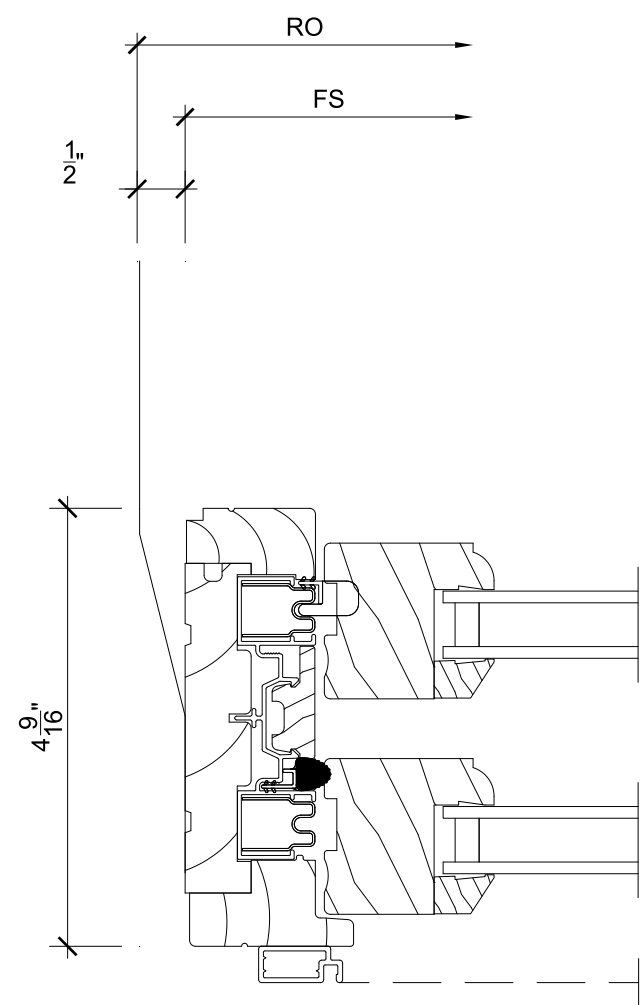
7
3 Jamb

SCALE: 6" = 1'-0"



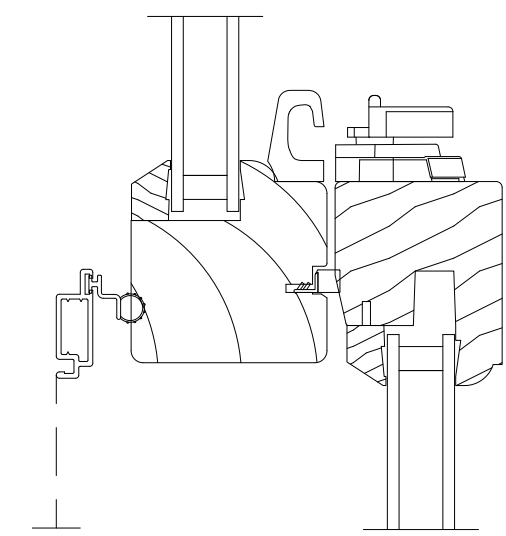
10
3 Jamb

SCALE: 6" = 1'-0"



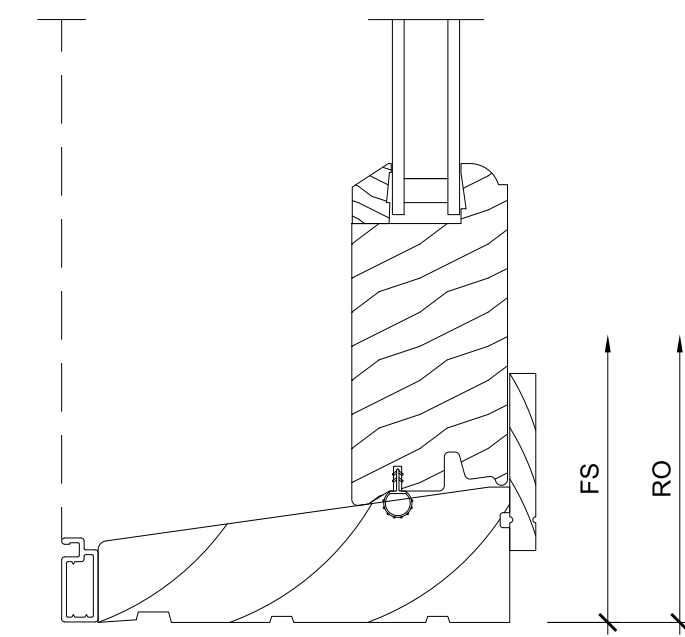
2
3 Jamb

SCALE: 6" = 1'-0"



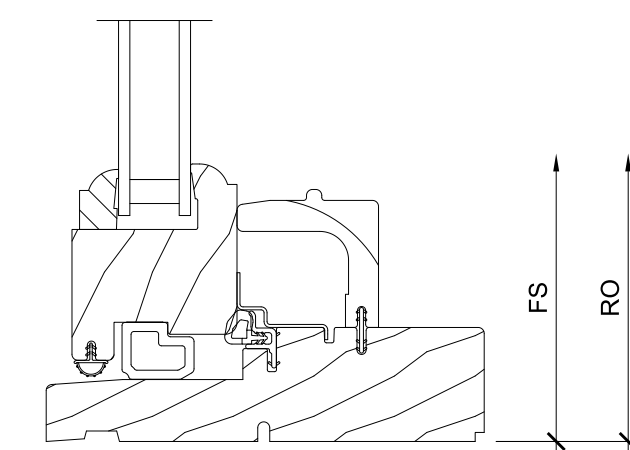
5
3 Checkrail

SCALE: 6" = 1'-0"



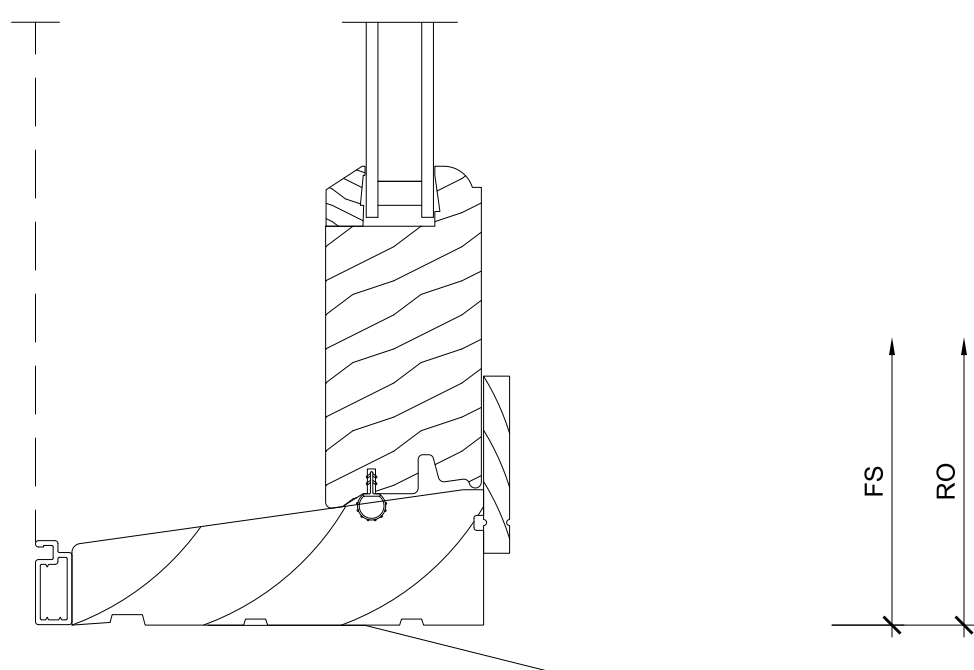
8
3 Sill

SCALE: 6" = 1'-0"



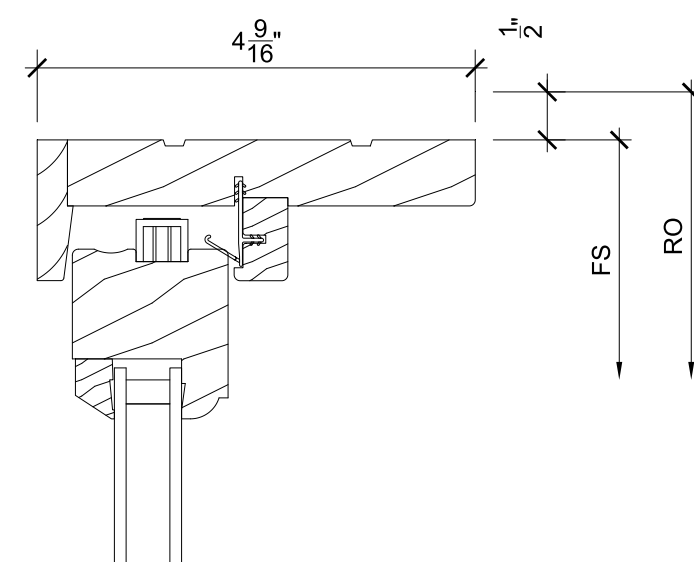
11
3 Sill

SCALE: 6" = 1'-0"



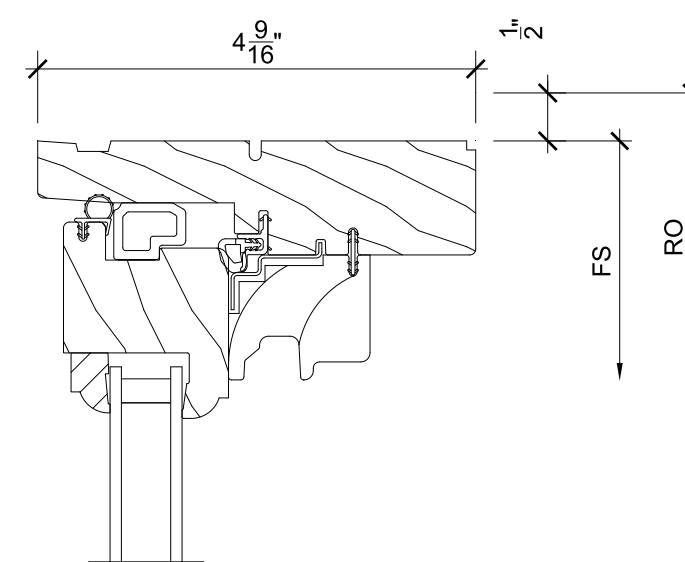
3
3 Sill

SCALE: 6" = 1'-0"



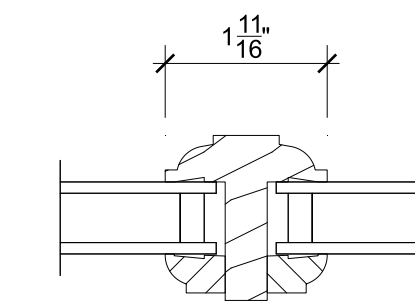
6
3 Head

SCALE: 6" = 1'-0"



9
3 Head

SCALE: 6" = 1'-0"



12
3 Divided Lite

SCALE: 6" = 1'-0"